

BASIX & SITE INFORMATION

BASIX CERTIFICATE NUMBER: ---
CONSTRUCTION CERTIFICATE NUMBER: ---

SITE DETAILS

LOT NUMBER: 61
DP NUMBER: 237862
UBD REFERENCE: 157. K.14
SITE AREA: 809.40m²
HOUSE AREAS: (MEASURED TO EXTERNAL WALLS)
GROUND FLOOR: 149.36m²
FIRST FLOOR: 141.0m²
GARAGE: 33.85m²
PATIO: 2.46m²
FIRST FLOOR BALCONY: 11.91m²
AREA: 347.71m²
DRIVEWAY/PATHS TO BOUNDARY: 44.98m²

PROJECT DETAILS

NO. OF BEDROOMS: 4
ROOF AREA: 232.50m²
TOTAL AREA OF ROOF MEASURED TO THE OUTSIDE OF GUTTERS EXCLUDES PARAPETS & TRAFFICABLE TERRACES (OUTER WIDTH 150mm)
GARDEN & LAWNS (AREA OF PROPOSED GARDENS & LAWN): 570.78m²

STORMWATER

MIN. RAINWATER TANK SIZE REQ: 4200 litre
MIN. ROOF AREA CONNECTED TO RAINWATER: 174.370m²
RAINWATER USES: GARDEN, TOILET & LAUNDRY
REMAINDER OF ROOFWATER & OVERFLOW TO: STREET
HYDRAULIC DESIGN REQUIRED: YES

WATER

KITCHEN TAP FITTING RATING: 4 STAR
SHOWERHEAD RATING: 3 STAR
TOILET RATING: -DUAL FLUSH (3/6 litre) 3 STAR
BATHROOM TAP FITTING RATING: 3 STAR

THERMAL COMFORT/ENERGY

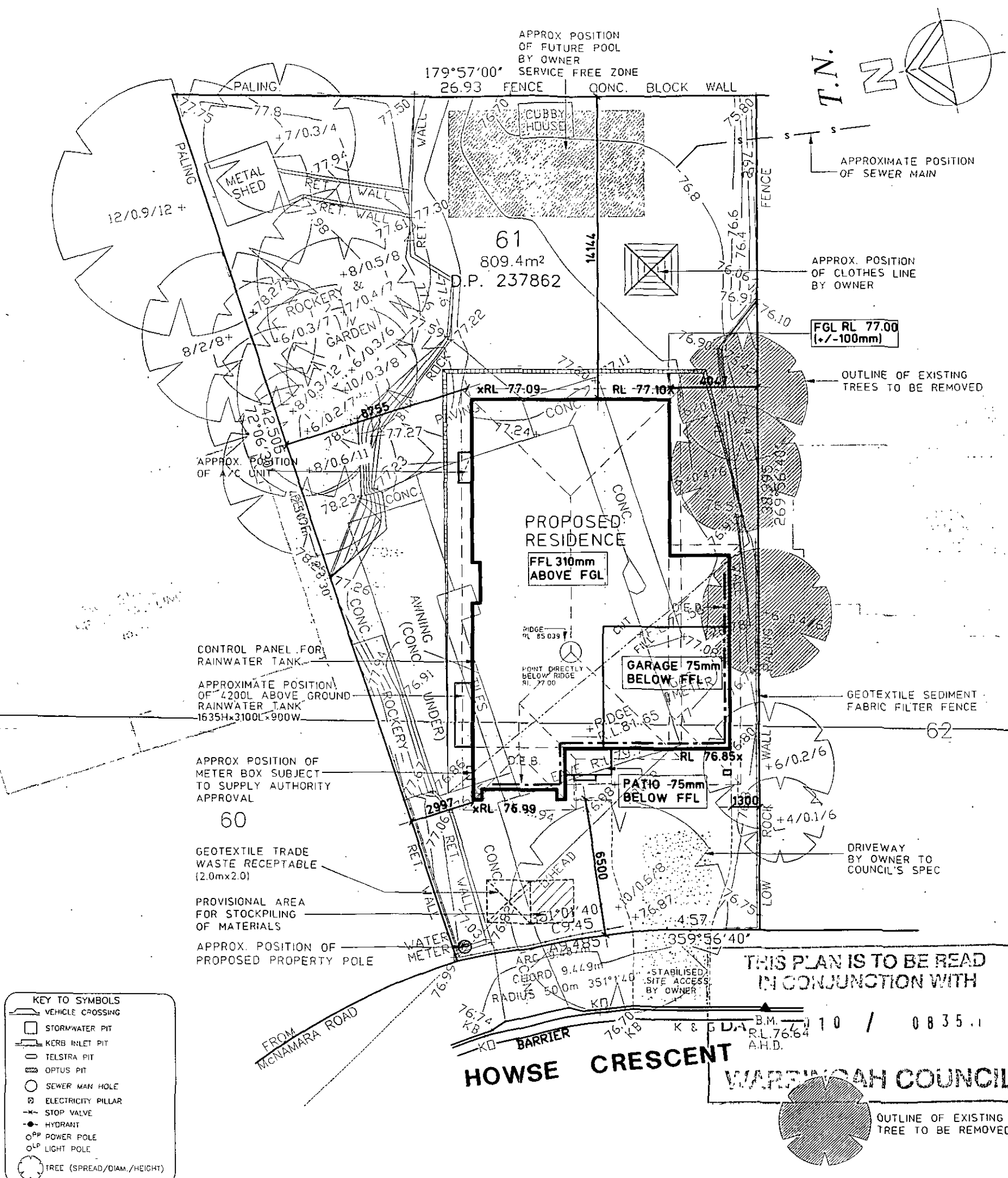
EXTERNAL WALL SURFACE: BRICK
EXTERNAL WALL INSULATION: R1.5
WALL COLOUR: MEDIUM
ROOFING MATERIAL: TILED
ROOF INSULATION: ---
ROOF COLOUR: DARK
CEILING INSULATION: R3.5
AIR CONDITIONING INCLUDED: YES
EER: 2.5 OR HIGHER
HOT WATER SYSTEM: GAS INSTANTANEOUS
STAR RATING: 5.0
COMPACT FLUORESCENT LIGHTING: AS PER BASIX
COOKING APPLIANCES: GAS COOKTOP & ELECTRIC OVEN
CLOTHES DRYING LINE REQUIRED: AS PER BASIX
WIND-DRIVEN VENTILATORS REQUIRED/Qty: ---/-

LANDSCAPING
REQUIRED: 40%
PROVIDED: 71%
PRIVATE OPEN SPACE
REQUIRED: 60m²
PROVIDED: 349m²

CARPARKING
REQUIRED: 2 SPACES
PROVIDED: 2 SPACES
RIDGE-HEIGHT
MAXIMUM: 8.500m
PROPOSED: 8.039m

DRAWING:	DRAWN:	TENDER:
1 PRESENTATION	K.B. 10.03.10	1
2 VARIATION	K.B. 10.03.10	DOC. 1
3 COUNCIL SUBMISSION	J.U. 12.04.10	
4 AMENDMENT (F10)	J.P. 06.07.10	02.07.10
5		
6		
7		
8		
9		
10		

KEY TO SYMBOLS
VEHICLE CROSSING
STORMWATER PIT
KERB INLET PIT
TELSTRA PIT
OPTUS PIT
SEWER MAN HOLE
ELECTRICITY PILLAR
STOP VALVE
HYDRANT
OPP POWER POLE
OLP LIGHT POLE
TREE (SPREAD/DIAM./HEIGHT)



Proposed Residence

For: Mr J. & Mrs K. HAMILL

Lot No: 61 (No.37) Howse Crescent
Suburb: CROMER
Council: WARRINGAH

EXCAVATION & SITE NOTES

EXCAVATE/FILL TO FORM DATUM APPROX 100mm
(EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL 150mm AGAINST FOOT OF SLAB).
SEWER CONNECTION TO AUTHORITIES REQUIREMENTS TO EXISTING JUNCTION OF SUPPLY AUTHORITY'S MAIN WITHIN THE PROPERTY BOUNDARY.
WATER CONNECTION FROM EXISTING WATER METER TO HOUSE.
TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS.
SITE LEVELS SUBJECT TO SECOND SITE INSPECTION.
SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE & BOUNDARY POSITIONS. DRIVEWAY GRADIENT
SUBJECT TO POSITION OF SERVICES

ITEMS BY OWNER

RETAINING WALLS TO BE COMPLETED TO ENG'S DETAILS (IF REQUIRED).
DISH DRAINS (IF NEEDED) TO AUTHORITIES' REQUIREMENTS.
EXISTING TREES, STUMPS, CONC. PATHS, BUILDINGS, ETC., TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO 2ND SITE INSPECTION.
PROVIDE A GEOTECHNICAL REPORT.
SUPPLY AND MAINTAIN AN ALL WEATHER ACCESS.
GRASS AND RUBBISH IN BUILDING AREA TO BE REMOVED PRIOR TO 2ND SITE INSPECTION.
PROVIDE, TAGGING, DE-ENERGIZING/RE-ENERGIZING OF OVERHEAD SERVICES THAT CROSS THE PROPOSED BUILDING SITE.

WEEKEND BONUS OFFER

MASTERTON'S 2010 MANSION PACKAGE

CID: 37266-HAMILL.dwg 06-07-2010/08.57 1:100 - JOEPA

Design: VILLINA

Facade: CONTEMPORARY

Edition: DESIGNER

DRAWN BY:	DATE:	JOB No.
K.B.	10-03-2010	37266
SHEET TITLE:		SHEET No.
SITE PLAN		1/6
SCALE:	FINAL PLAN	FINAL PLAN
1:200	1:100	

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.



PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au

COLOURBOND QUAD GUTTERS,
FASCIAS, BARGES & UPVC D'PIPES

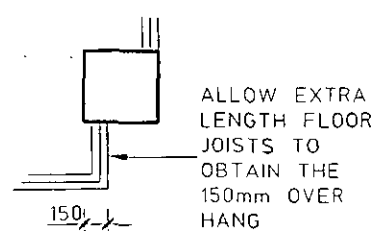
CONCRETE TILES ON
TIMBER TRUSSES AT
PITCH 25°

NEWPORT PRIMELINE
WEATHERBOARD 170MM

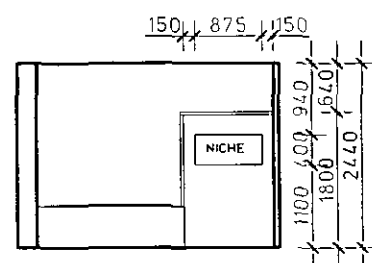
REINFORCED RIBBED RAFT
SLAB TO ENGINEER'S
DETAIL

160mm APPROX.
EDGE BEAM

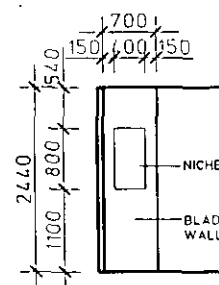
TYPICAL SECTION



DETAIL B



DETAIL C



DETAIL D

WINDOW SCHEDULE

No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1	DF1	2390	1261	T.E.F./TO SUIT 1200Wx2340H DR
2	A/F2106	2060	610	
3	A/F2109	2060	910	SPECIAL
4	A/F2106	2060	610	
5	XDX/D01818	1800	1810	
6	DF1	2390	890	T.E.F./TO SUIT 2340H DR
7	XDX0627	600	2650	
8	XD/D1812	1800	1210	
9	DXD2436	2400	3590	ALUM. SLIDING DOOR
10	XD/D1812	1800	1210	
11	XDX2427	2400	2688	A.S.D.
12	XD1218	1200	1810	
13	DX2418	2400	1810	A.S. DOOR
14	XD/D1812	1800	1210	
15	A1506	1460	610	
16	A1506	1460	610	
17	A1506	1460	610	
18	DXD2133	2100	3230	ALUM. SLIDING DOOR
19	F2712	2700	1210	SPECIAL/FIXED
20	XD0618/DT	600	1810	TOUGH. OBS. GLASS
21	XDX0627	600	2650	
22	XD1216	1200	1570	
23	XD1216	1200	1570	
24	XD0618/DT	600	1810	TOUGH. OBS. GLASS
25	XD1218	1200	1810	
26	XD0618	600	1810	

BLADE WALL IN
BATHROOM

Standard Electrical Schedule For Villina

ROOM	SP	DPP	LIGHT	W/LIGHT	SD	EX FAN	2WAY	3WAY	WPP	TEL	TV
Living		2	1								
Dining		1	1								
Great Room		3	2								
Study		1	1								
Lounge		2	2		1						
Bed 1		2	2								
Bed 2		1	1								
Bed 3		1	1								
Bed 4		1	1								
Kitchen	1	2	1								
Bathroom		1	1			1					
Pow der		1	1			1					
Ensuite		1	1			1					
Laundry		1	1								
Garage		1	2								
Entry			2								
Hallway 1			1		1						
Hallway 2			1		1						
Stairs				2			1				
Front Patio			1								
External			1	1							
Misc										2	2
TOTAL	1	21	25	3	3	3	1	0	0	2	2

Proposed Residence

For: Mr J. & Mrs K. HAMILL

Lot No: 61 (No.37) Howse Crescent

Suburb: CROMER

Council: WARRINGAH

FRAMING NOTES

SO. SET OPENINGS TO GROUND FLOOR 2340mm HIGH
(UNLESS SPECIFIED ON FLOOR PLANS)

SO. SET OPENINGS TO FIRST FLOOR 2100mm HIGH
(UNLESS SPECIFIED ON FLOOR PLANS)

STRENGTHENING OF ROOF TRUSSES AS REQUIRED DUE TO
AIR CONDITIONING.

PROVIDE TERMITE RESISTANT TREATED TIMBER FRAME AND ROOF
TRUSSES (INCLUDING FLOORING IN TWO STOREY DESIGNS).

2340mm HIGH INTERNAL DOORS, TO GROUND FLOOR

INSULATION REQUIREMENTS

R1.5 BRADFORD INSULATION BATTS TO EXTERNAL FRAMED WALLS
OF LIVING AREAS & INCLUDING WALLS BETWEEN GARAGE &
LIVING AREAS

R3.5 BRADFORD INSULATION BATTS TO CEILINGS OF LIVING
AREAS (EXCLUDING GARAGE)

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

DA 2010 / 0835

WARRINGAH COUNCIL

H2 TREATED TIMBER TO
FRAME & TRUSSES

CID: 37266-HAMILL.dwg 06-07-2010/08.57 1:100 - JOEPA

Design: VILLINA

Facade: CONTEMPORARY

Edition: DESIGNER

DRAWN BY: K.B. DATE: 10-03-2010 JOB No 37266

SHEET TITLE: SECTION SHEET No. 4/6

SCALE: 1:100 FINAL PLAN ISSUE: FINAL PLAN

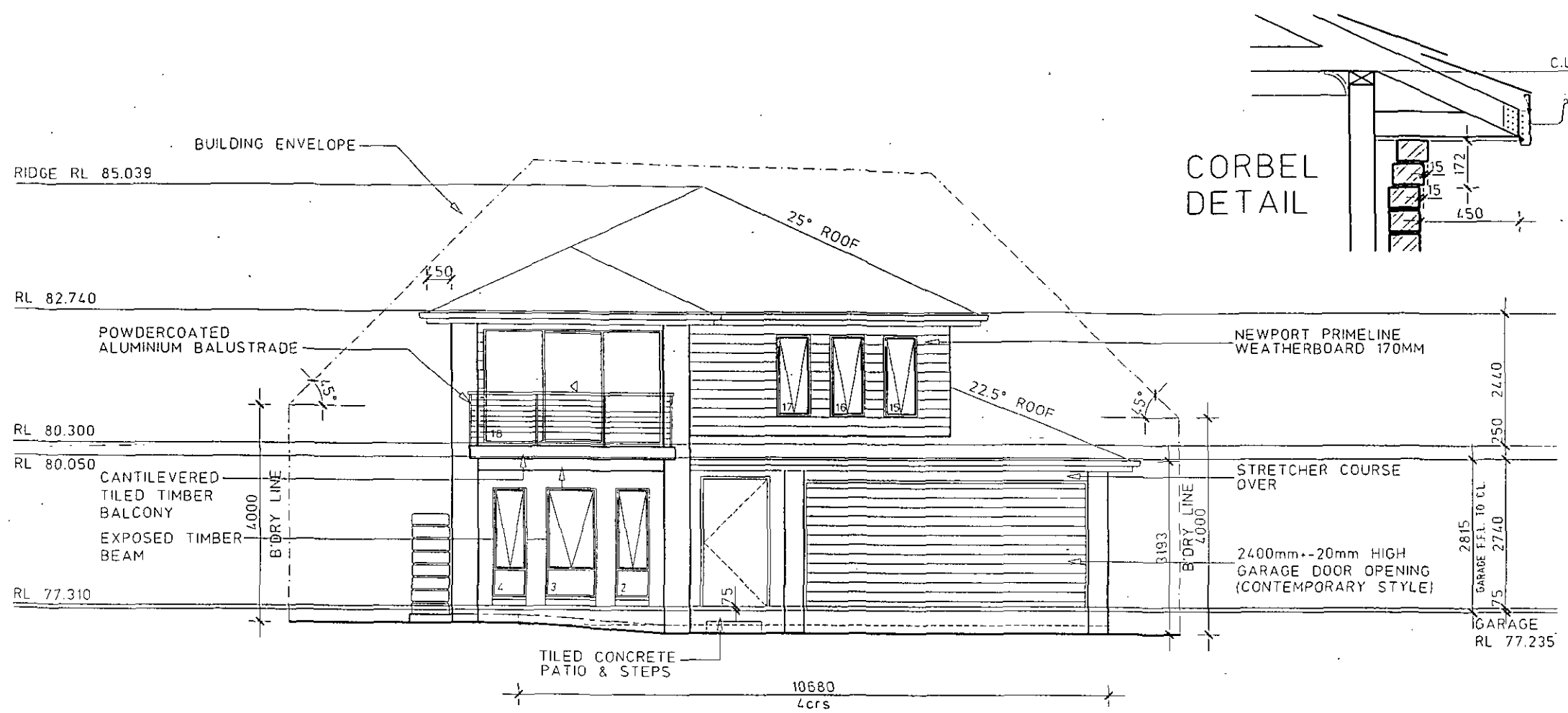
GENERAL NOTES

Do not scale drawings use figured dimensions only. Check
& verify dimension & levels prior to the commencement of
any work. All discrepancies to be reported to the drafting office.

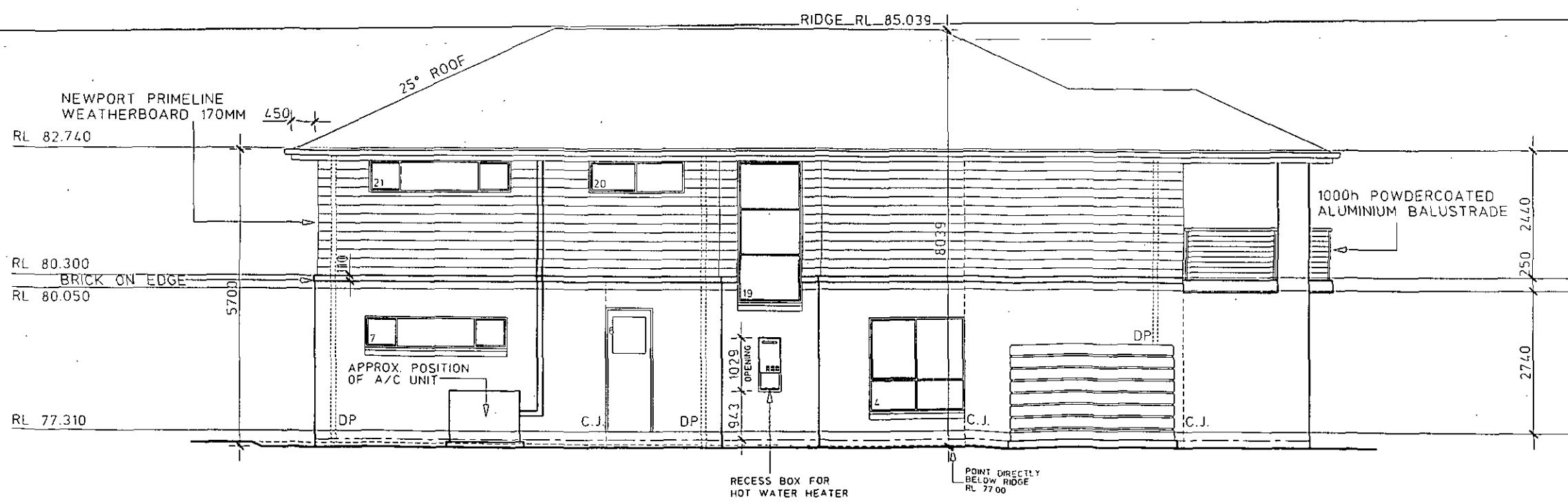
COPYRIGHT: Masterton Homes is the legal and
beneficial owner of the copyright in this plan and no
part of this plan may be reproduced. Unauthorised
use, copying, amendment or adaption will be prosecuted.

 **Masterton**
HOMES

PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au



WEST (FRONT) ELEVATION



NORTH (LEFT) ELEVATION

Proposed Residence

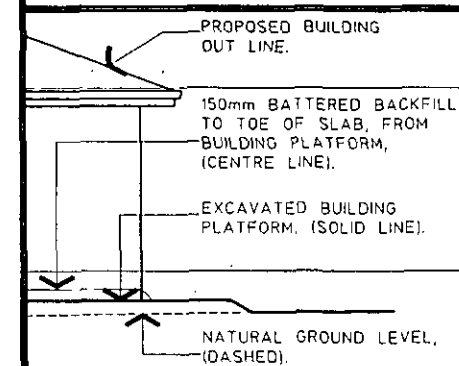
For: Mr J. & Mrs K. HAMILL

Lot No: 61 (No.37) Howse Crescent

Suburb: CROMER

Council: WARRINGAH

PLATFORM DETAIL...



"FLASHING TO DAMPCOURSE LEVEL TO BE FINISHED FLUSH WITH OUTSIDE FACE OF BRICKWORK"

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

DA 2010 / 0835

WARRINGAH COUNCIL

CID: 37266-HAMILL.dwg 06-07-2010/08.57 1:100 - JOEPA

Design: VILLINA

Facade: CONTEMPORARY

Edition: DESIGNER

DRAWN BY:	K.B.	DATE:	10-03-2010	JOB No	37266
SHEET TITLE:	ELEVATIONS			SHEET No.	5/6
SCALE:	1:100	FINAL PLAN ISSUE:		FINAL PLAN	

GENERAL NOTES

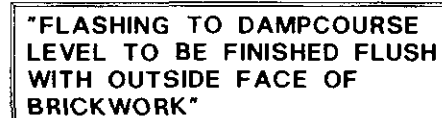
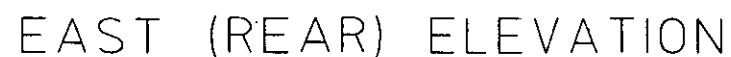
Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.



PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au

Lot No: 61 (No.37) Howse Crescent
Suburb: CROMER
Council: WARRINGAH



DA 2010 / 0835

WARRINGAH COUNCIL
CID: 37266-HAMILL.dwg 06-07-2010/08:57, 1:100, --JO

Edition: DESIGNER

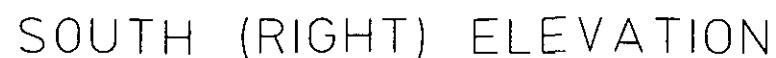
DRAWN BY: K.B.	DATE: 10-03-2010	JOB No 37266
SHEET TITLE: ELEVATIONS		SHEET No. 6/6
SCALE: 1:100	FINAL PLAN ISSUE:	FINAL PLAN

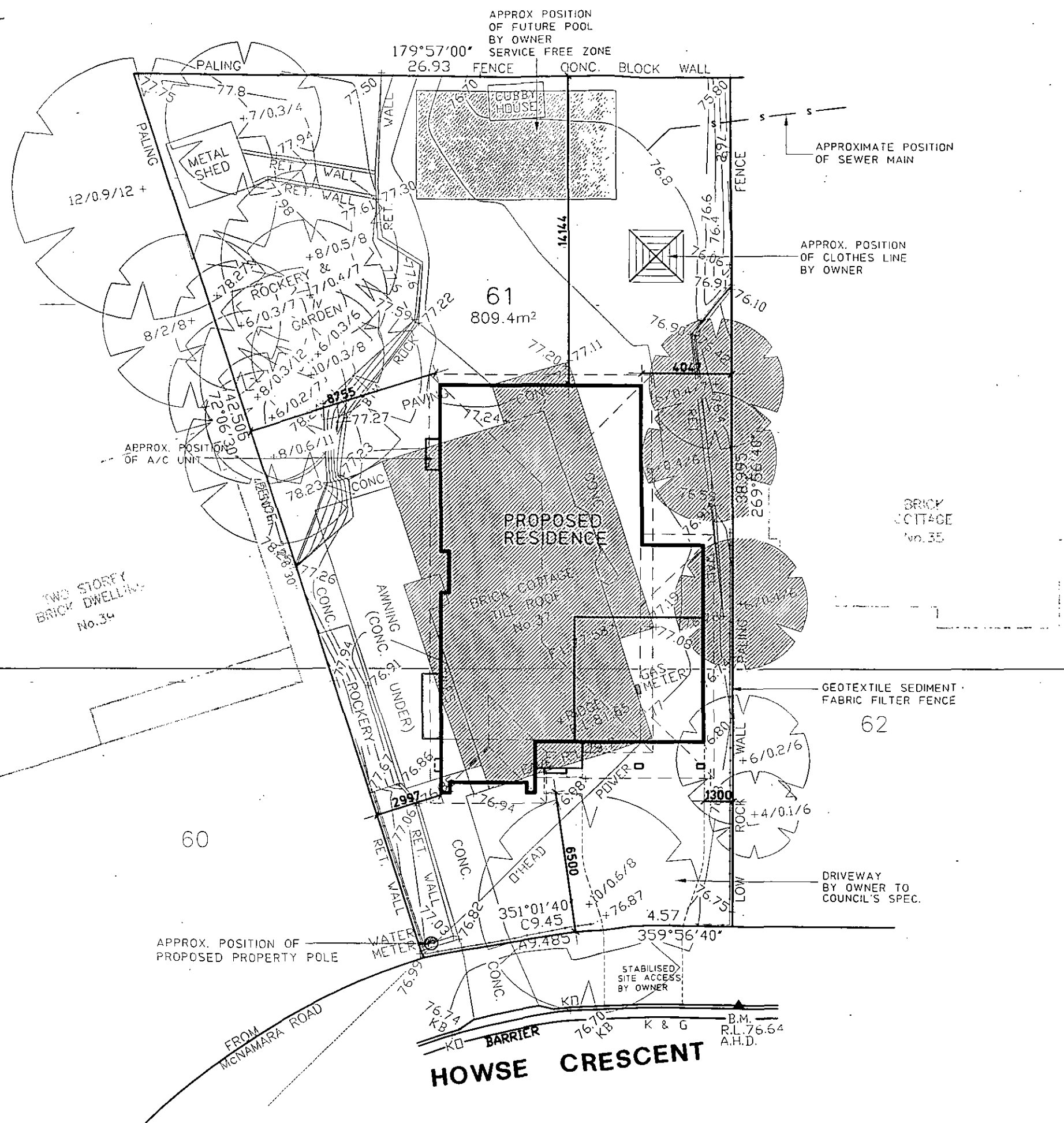
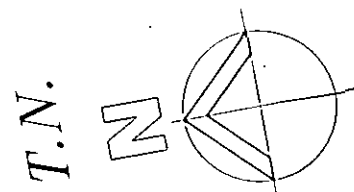
Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.



PH: 1300 4HOMES Licence. No.: 355580
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au





Proposed Residence

For: Mr J. & Mrs K. HAMILL

Lot No: 61 (No.37) Howse Crescent
Suburb: CROMER
Council: WARRINGAH

KEY



OUTLINE OF PROPOSED RESIDENCE



OUTLINE OF EXISTING STRUCTURE TO BE DEMOLISHED



OUTLINE OF EXISTING TREE TO BE REMOVED

Design: VILLINA

Facade: CONTEMPORARY

Edition: DESIGNER

DRAWN BY:	K.B.	DATE:	08.04.10	JOB No.	37266
SHEET TITLE:	SITE ANALYSIS			SHEET No.	1/1
SCALE:	1:200	FINAL PLAN ISSUE:		FINAL PLAN	

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.

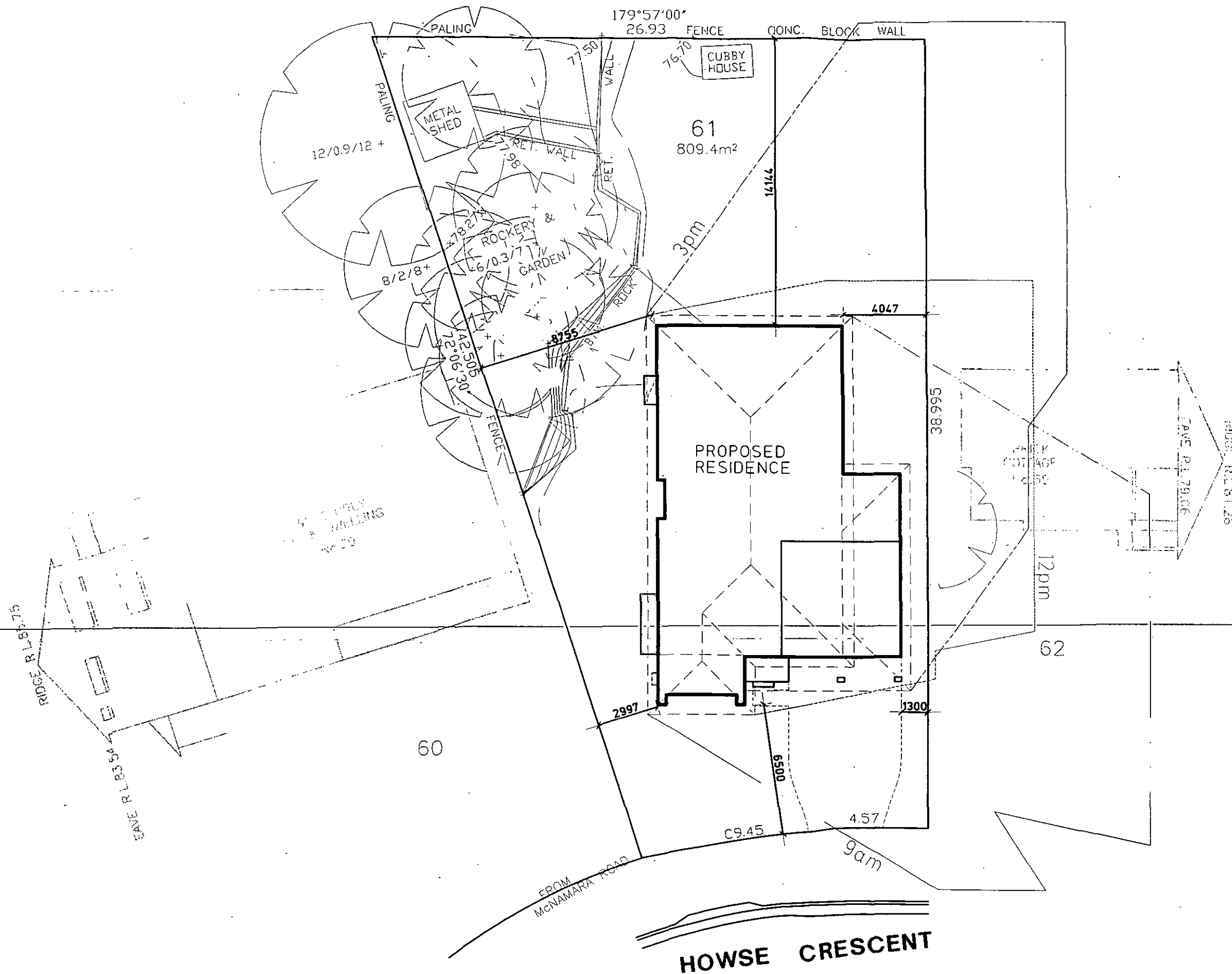


Masterton
HOMES

PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au

PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au

PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au



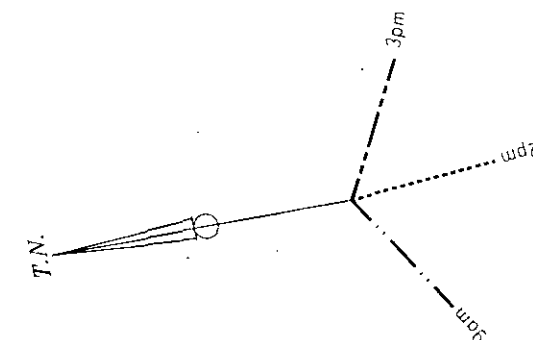
Proposed Residence

For: Mr J. & Mrs K. HAMILL

Lot No: 61 (No.37) Howse Crescent

Suburb: CROMER

Council: WARRINGAH



Shadow outline for
March 21 / Sep 22 Equinox

Design: VILLINA

Facade: CONTEMPORARY

Edition: DESIGNER

DRAWN BY:	K.B.	DATE:	08.04.10	JOB No.	37266
SHEET TITLE:	EQUINOX SOLSTICE SHADOW DIAGRAM			SHEET No.	1/1
SCALE:	1:200			FINAL PLAN	

GENERAL NOTES

Do not scale drawings use figured dimensions only. Check & verify dimension & levels prior to the commencement of any work. All discrepancies to be reported to the drafting office.

COPYRIGHT: Masterton Homes is the legal and beneficial owner of the copyright in this plan and no part of this plan may be reproduced. Unauthorised use, copying, amendment or adaption will be prosecuted.



Masterton
HOMES

PH: 1300 4HOMES Licence. No.: 35558C
PH: 1300 446637 ABN. 52 002 873 047
www.masterton.com.au

