



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0205



Wall Legend

- Denotes Existing Wall
- - - Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
159 Victor Road, Dee Why is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
159 Victor Road, Dee Why is not considered a heritage item.

Construction
Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Sheet Metal Cladded Timber Framed Roof to have R1.74 Insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A341100
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Tim Powell
Project Name: **Alterations & Additions**
159 Victor Road, Dee Why 2099

Lot 20 D.P. 23155

Drawing Title:

Site Plans - Demolition Lower Ground Floor Plan

Demolition Lower Ground Floor

Scale: A3 as noted Date: 27/02/19

Status: DA Checked By: GBJ

Project No: RP118POW Drawing No:

DA1007

Demolition Lower Ground Floor
1:100

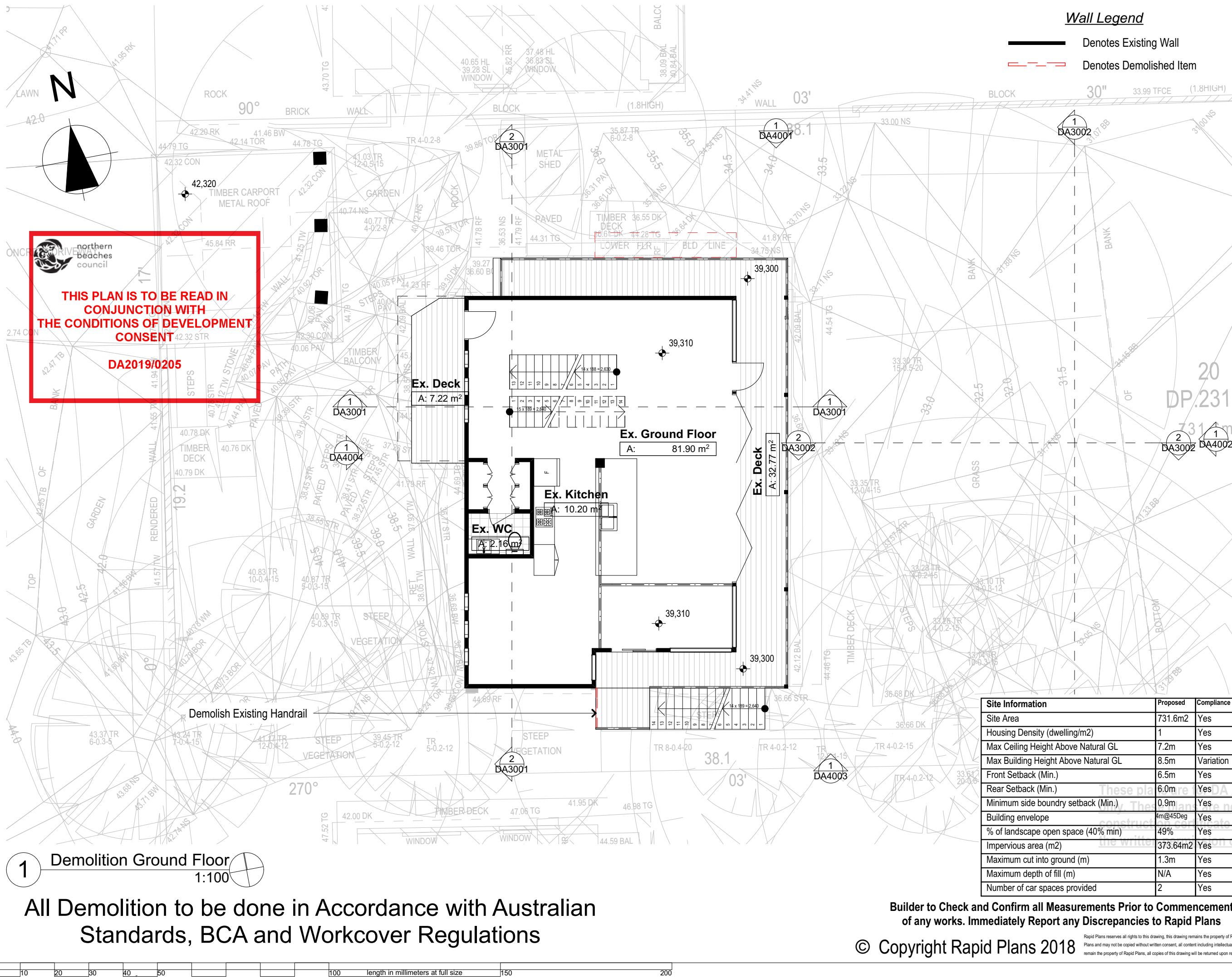
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Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m2)	373.64m2	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



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Tim Powell

Project Name
Alterations & Additions

159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155

Drawing Title:
Site Plans - Demolition Ground Floor Plan

Demolition Ground Floor

Scale: A3 as noted

Date: 27/02/19

Status: DA

Checked By: GBJ

Project No:
RP118POW

Drawing No:
DA1008

Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m2)	373.64m2	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

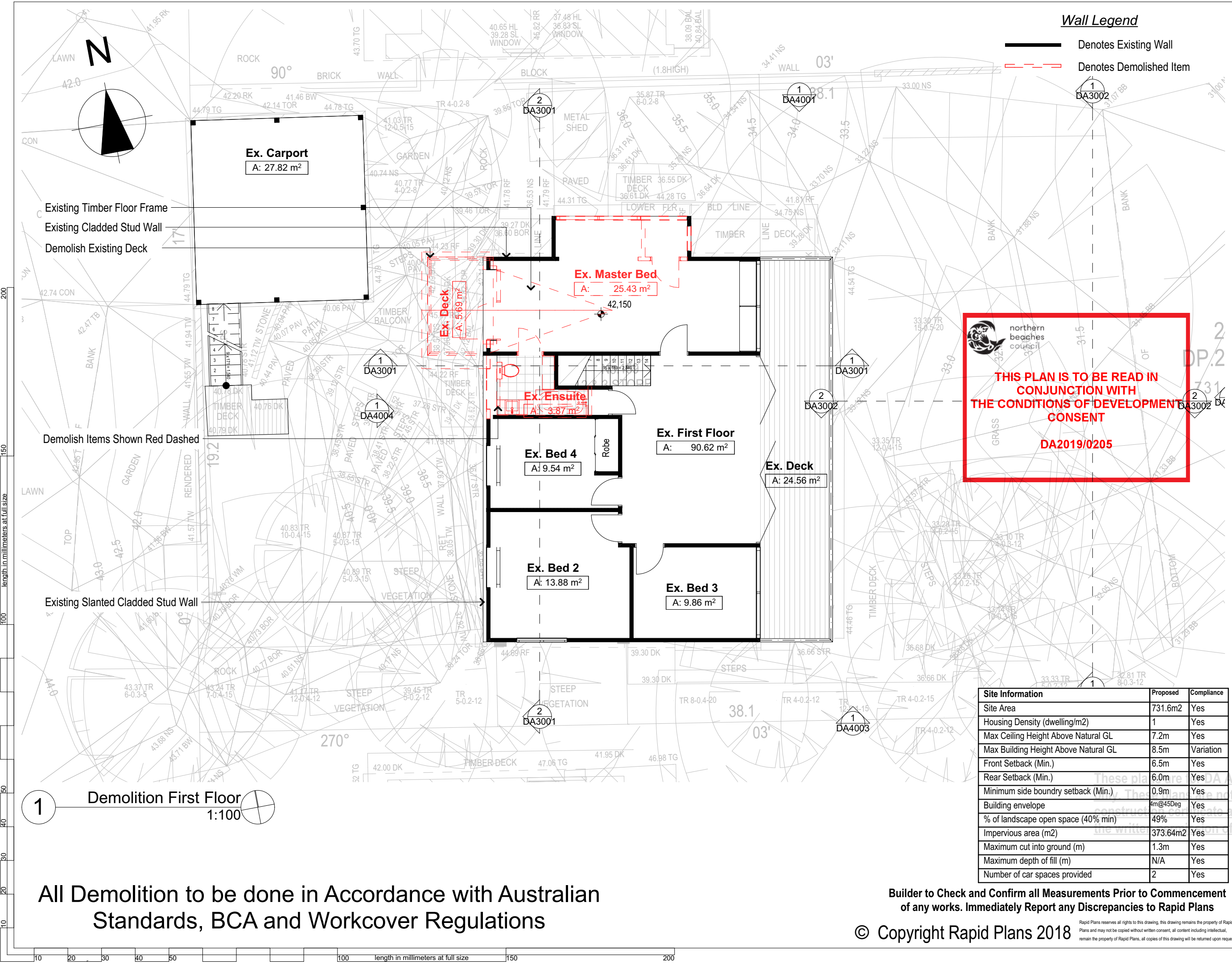
1 Demolition Ground Floor 1:100

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Tim Powell

Project Name
Alterations & Additions

159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155

Drawing Title:
Site Plans - Demolition First Floor
Demolition First Floor

Scale: A3 as noted	Date: 27/02/19
Status: DA	Checked By: GBJ
Project No: RP118POW	Drawing No: DA1009

Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
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Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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Project North 

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Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155

Drawing Title:

Plans - Lower Ground Floor Plan

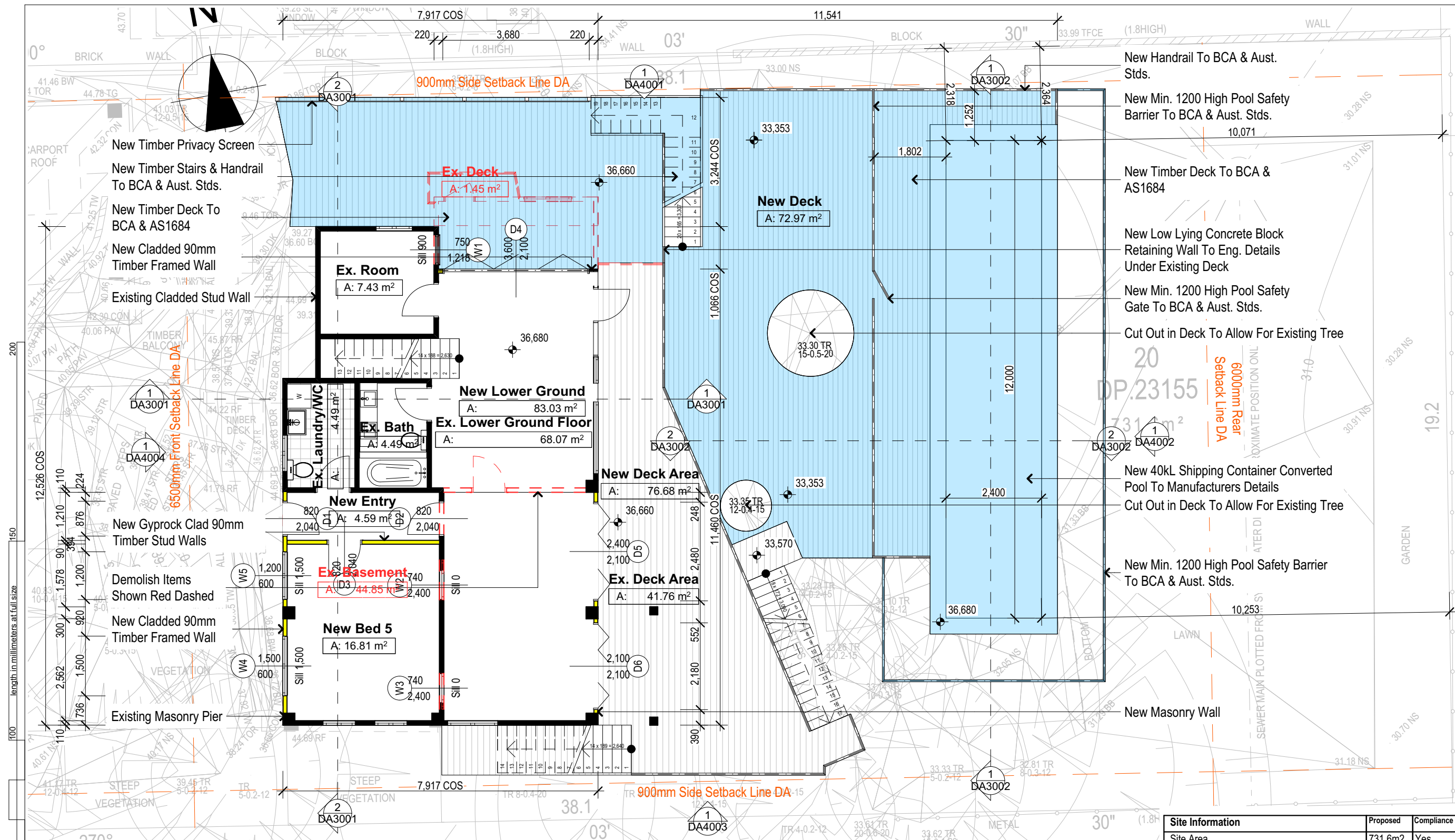
Lower Ground Floor

Scale: A3 as noted Date: 27/02/19

Status: DA Checked By: GBJ

Project No: RP118POW Drawing No.

DA2001



BASIX Certificate number: A341100

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 880 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 173 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 26 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: gas.

 Denotes New Works

Wall Legend

 Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes Existing Wall
 Denotes Demolished Item

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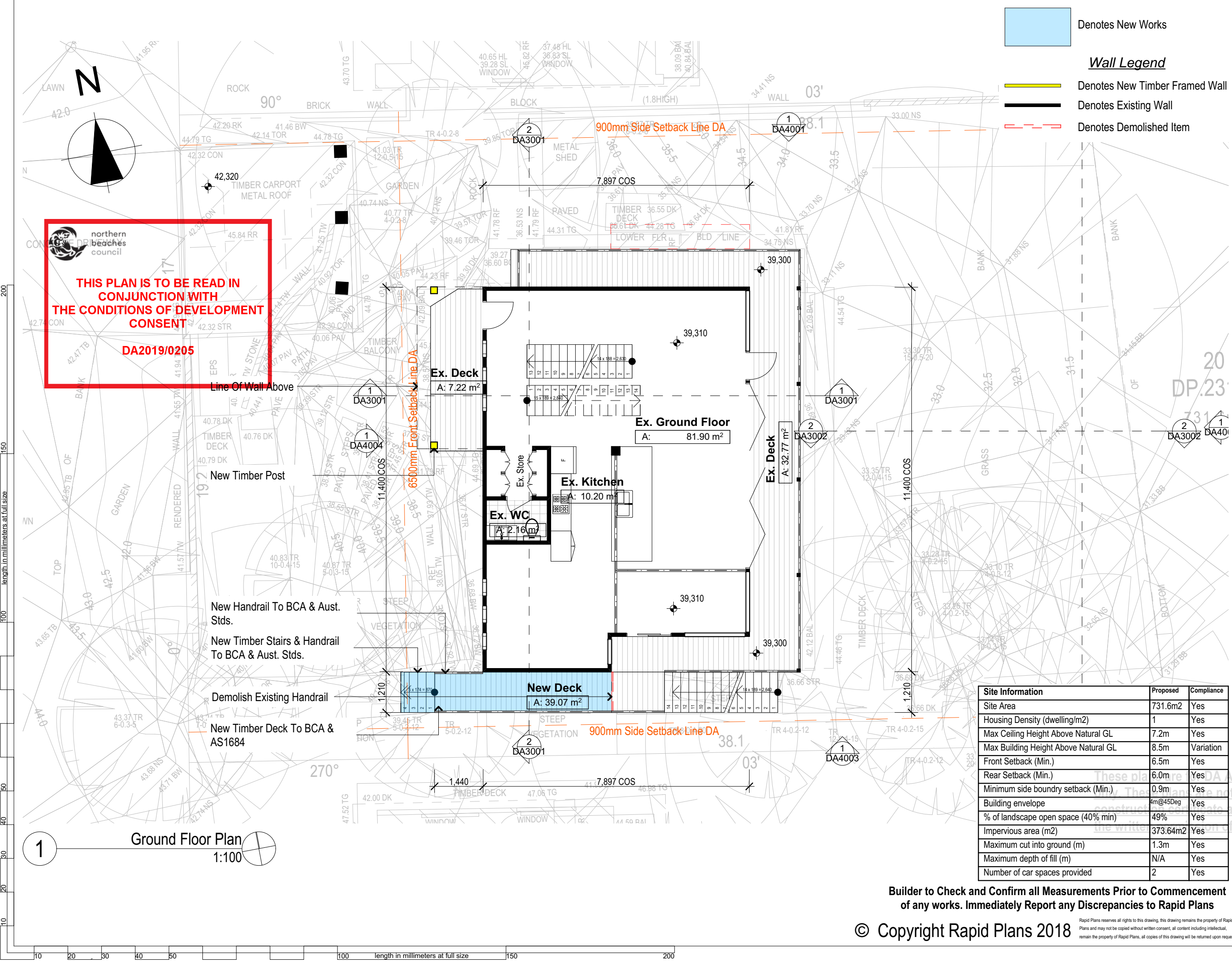


northern
beaches
council

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DA2019/0205

Lower Ground Floor
1:100



Denotes New Works

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Denotes New Works



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Tim Powell

Project Name

Alterations & Additions

159 Victor Road, Dee Why

2099

Lot 20 D.P. 23155

Drawing Title:

Plans - Ground Floor Plan

Scale: A3 as noted

Date: 27/02/19

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP118POW

DA2002

Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m2)	373.64m2	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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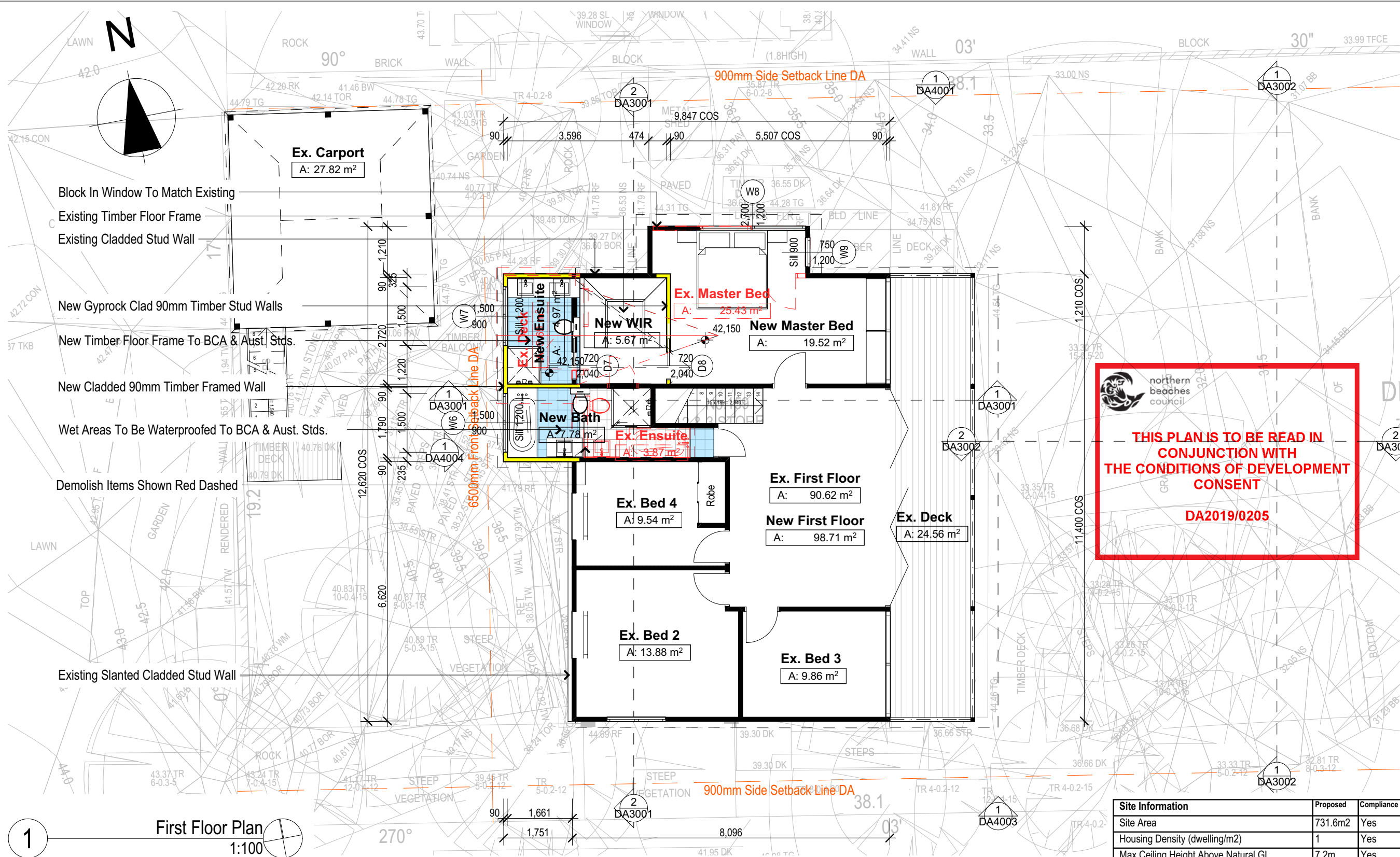
Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155
Drawing Title:

Plans - First Floor Plan
First Floor Plan

Scale: A3 as noted Date: 27/02/19
Status: DA Checked By: GBJ

Project No:
Drawing No.
RP118POW DA2003



BASIX Certificate number: A341100

Construction		
Insulation requirements		
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Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

 Denotes New Works

Wall Legend

 Denotes New Timber Framed Wall

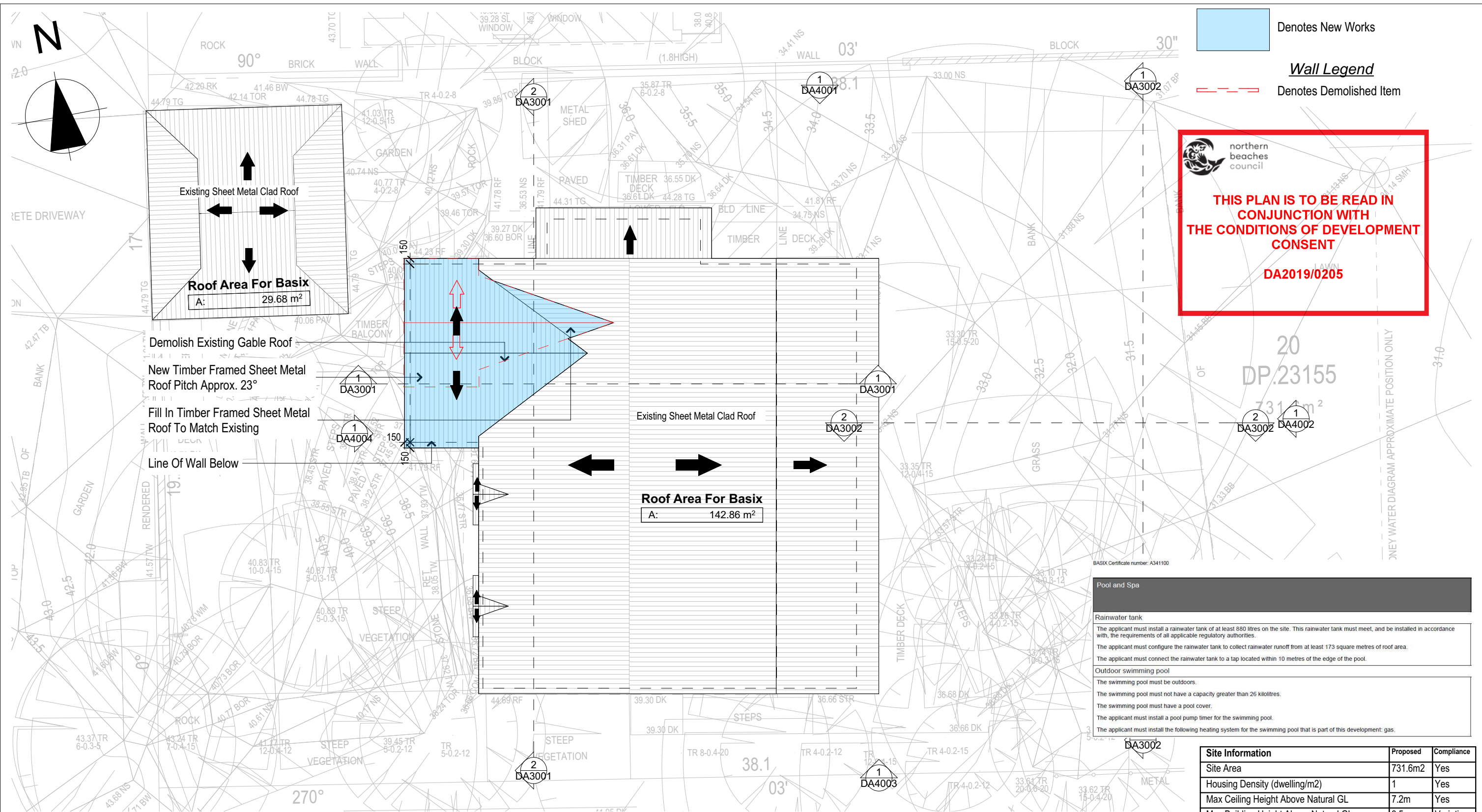
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Pool and Spa	
Rainwater tank	
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The applicant must configure the rainwater tank to collect rainwater runoff from at least 173 square metres of roof area.	
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	
Outdoor swimming pool	
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Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

1 Roof Plan 1:100

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0205

RL +46,010
Ridge
RL +44,550
FCL
RL +42,150
First
RL +39,310
Ground
RL +36,680
Lower Ground
RL +33 353
LWR Deck & Copping

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Cladded 90mm Timber Framed Wall

Height From Copping Level To Lower Ground Level

New 40kL Shipping Container Converted Pool To Manufacturers Details

New Min. 1200 High Pool Safety Barrier To BCA & Aust. Stds.

Line Of Natural Ground Level

New Concrete Slab To Eng. Details

New Strip Footings To Eng. Details

Section Pool 1

1:100

RL +36,680
Lower Ground

Line Of Natural Ground Level

New 40kL Shipping Container Converted Pool To Manufacturers Details

RL +33 353
LWR Deck & Pool Copping

New Min. 1200 High Pool Safety Barrier To BCA & Aust. Stds.

New Strip Footings To Eng. Details

New Concrete Slab To Eng. Details

Section Pool 2

1:100

RL +36,680
Lower Ground

RL +36,680
Lower Ground

New Min. 1200 High Pool Safety Barrier To BCA & Aust. Stds.

RL +33 353
LWR Deck & Pool Copping

New Timber Deck To BCA & AS1684

RL +46,010
Ridge

RL +44,550
FCL

RL +42,150
First

RL +39,310
Ground

RL +36,680
Lower Ground

RL +33 353
LWR Deck & Copping

Denotes New Works

Wall Legend

- Denotes New Timber Framed Floor
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Demolish Items Shown Red Dashed

New Handrail To BCA & Aust. Stds.

New Timber Deck To BCA & AS1684

New Timber Privacy Screen

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Min. 1200 High Pool Safety Gate To BCA & Aust. Stds.

New Low Lying Concrete Block Retaining Wall To Eng. Details

New Timber Post

New Min. 1200 High Pool Safety Barrier To BCA & Aust. Stds.

New Timber Deck To BCA & AS1684

BASIX Certificate number: A341100

Pool and Spa

Rainwater tank:

The applicant must install a rainwater tank of at least 880 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 173 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 26 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: gas.

Site Information	Proposed	Compliance
Site Area	731.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m ²)	373.64m ²	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



NOTES

159 Victor Road, Dee Why is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 159 Victor Road, Dee Why is not considered a heritage item.

Construction

Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Sheet Metal Cladded Timber Framed Roof to have R1.74 Insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA. Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A341100
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Tim Powell
Project Name: Alterations & Additions
159 Victor Road, Dee Why 2099

Lot 20 D.P. 23155

Drawing Title:

Sections - Section 2

Section Pool 1, Section Pool 2

Scale: A3 as noted

Date: 27/02/19

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP118POW DA3002

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0205

RL +46,010
Ridge

RL +44,550
FCL

RL +42,150
First

RL +39,310
Ground

RL +36,680
Lower Ground

w Low Lying Concrete Block Retaining Wall To Eng. Details

New Timber Deck To BCA & AS1684

New Min. 1200 High Pool Safety
Barrier To BCA & Aust. Stds.

RL +33 353
LWR Deck & Copping

New 40KL Shipping Container Converted
Pool To Manufacturers Details

New Concrete Slab To Eng. Details

Max Building Height 8500 Above GL
Max Ceiling Height 7200 Above GL

Natural Ground Level

BASIX Certificate number: A341100

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W8	NE	3.2	0	0	eave/verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	SW	0.9	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D4	NE	7.9	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	SE	5.3	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	4.7	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

NOTES

159 Victor Road, Dee Why is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
159 Victor Road, Dee Why is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Roof Sheet Metal Cladded Timber Framed to have R1.74 insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A341100

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Existing Sheet Metal Clad Roof
Demolish Existing Gable Roof
New Timber Framed Sheet Metal Roof
Pitch Approx. 23°
RL +46,010
Ridge
New Cladded 90mm Timber Framed Wall
RL +44,550
FCL
Block In Window To Match Existing
Existing Cladded Stud Wall
RL +42,150
First
Demolish Existing Deck
New Timber Post
Demolish Items Shown Red Dashed
RL +39,310
Ground
New Cladded 90mm Timber Framed Wall
New Timber Privacy Screen
RL +36,680
Lower Ground
New Timber Deck To BCA & AS1684
New Timber Stairs & Handrail To BCA & Aust. Stds.

 Denotes New Works
Wall Legend
 Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m2)	373.64m2	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Project North



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Client:
Tim Powell

Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155
Drawing Title:
Elevations - Elevations 1
North

Scale: A3 as noted
Status: DA
Project No.
RP1118POW

Date: 27/02/19
Checked By: GBJ
Drawing No.
DA4001

**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**



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Fax : (02) 9905-8865
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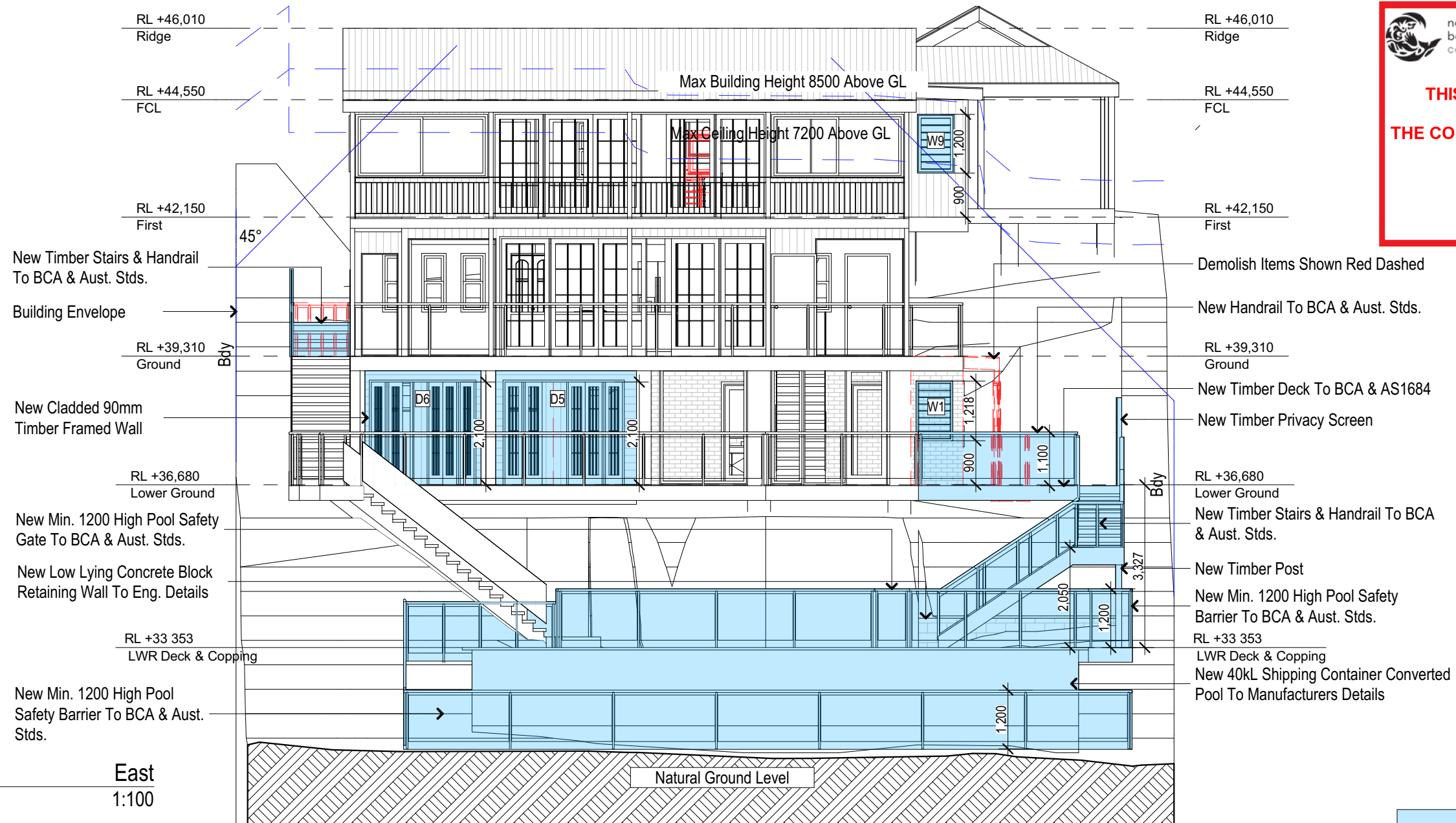


BUILDING
DESIGNERS
AUSTRALIA NSW



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0205



Denotes New Works

Wall Legend

Denotes Demolished Item

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 880 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 173 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 26 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: gas.

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans

NOTES
159 Victor Road, Dee Why is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
159 Victor Road, Dee Why is not considered a heritage item
Certifying
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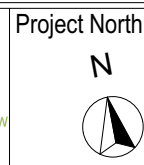
Construction
Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Roof Sheet Metal Cladded Timber Framed to have R1.74 Insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A341100
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	731.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m ²)	373.64m ²	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



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PO Box 6193 Frenchs Forest
DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
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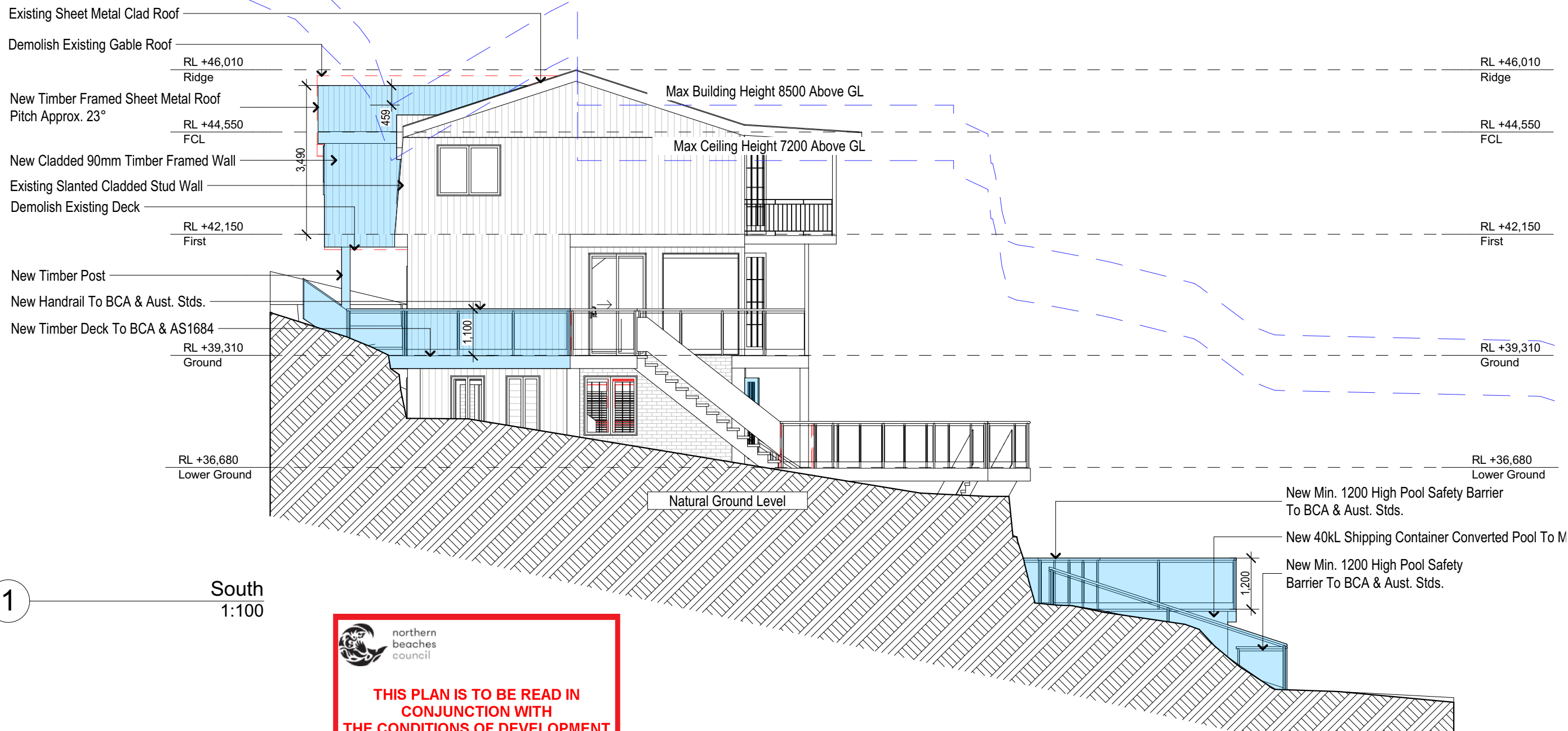
Client:
Tim Powell

Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155
Drawing Title:
Elevations - Elevations 2
East

Scale: A3 as noted
Status: DA
Project No.
RP1118POW

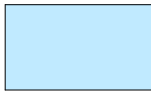
Date: 27/02/19
Checked By: GBJ
Drawing No.
DA4002



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0205

 Denotes New Works

Wall Legend

 Denotes Demolished Item

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
159 Victor Road, Dee Why is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
159 Victor Road, Dee Why is not considered a heritage item

Certifying
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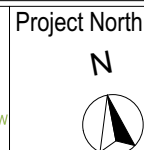
Construction
Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Roof Sheet Metal Cladded Timber Framed to have R1.74 Insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A341100
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	731.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m ²)	373.64m ²	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



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Client:
Tim Powell

Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155
Drawing Title:
Elevations - Elevations 3
South

Scale: A3 as noted
Status: DA
Project No.
RP1118POW

Date: 27/02/19
Checked By: GBJ
Drawing No.
DA4003

Existing Sheet Metal Clad Roof

New Timber Framed Sheet Metal Roof Pitch Approx. 23°

Fill In Timber Framed Sheet Metal
Roof To Match Existing

Demolish Existing Gable Roof

Building Envelope

New Cladded 90mm Timber Framed Wall

Existing Cladded Stud Wall

New Timber Post

Existing Timber Deck

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

Existing Slanted Cladded Stud Wall

New Timber Stairs & Handrail To BCA & Aust. Stds.

Demolish Items Shown Red Dashed

1

West

1:100

BASIX Certificate number: A341100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SE	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SW	0.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SW	0.7	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SW	1.35	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	SW	1.35	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

BASIX Certificate number: A341100

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

NOTES

159 Victor Road, Dee Why is zoned R2 - Low Density Residential

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 159 Victor Road, Dee Why is not considered a heritage item

Certifying

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Construction

Timber Framed Floors, Cladded Timber Framed & Masonry Walls

Roof Sheet Metal Cladded Timber Framed to have R1.74 Insulation

Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A341100

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0205

Denotes New Works

Wall Legend

Denotes New Timber Framed Floor

Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	731.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m ²)	373.64m ²	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Project North



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:
Tim Powell

Client
Tim Powell
Project Name
Alterations & Additions
159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155
Drawing Title:
Elevations - Elevations 4
West

Scale: A3 as noted
Status: DA
Project No.
RP1118POW

Date: 27/02/19
Checked By: GBJ
Drawing No.
DA4004



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



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Denotes Sheet Metal Roofing (Typical). Owners To Choose Type & Colour.



Denotes Timber Framed Bi-folding Doors (Typical). Owners To Choose Colour.



Denotes Vertical Cladding (Typical). Owners To Choose Type & Colour.



Denotes Glass & Steel Balustrade(Typical). Owners To Choose Type & Colour.



Denotes Pre-fabricated Shipping Container Pool. Owners To Choose Type & Colour.



Denotes Timber Framed Staircase & Handrail (Typical). Owners To Choose Type of Timber & Colour.



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0205

Site Information	Proposed	Compliance
Site Area	731.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	49%	Yes
Impervious area (m2)	373.64m2	Yes
Maximum cut into ground (m)	1.3m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 6193 Frenchs Forest DC NSW 2086

Fax : (02) 9905-8865

Mobile: 0414-945-024

Email : gregg@rapidplans.com.au



BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES
159 Victor Road, Dee Why is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
159 Victor Road, Dee Why is not considered a heritage item.

Construction
Timber Framed Floors, Cladded Timber Framed & Masonry Walls
Sheet Metal Cladded Timber Framed Roof to have R1.74 Insulation
Insulation to External Cladded Timber Framed & Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A341100
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



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Client
Tim Powell

Project Name:
Alterations & Additions

159 Victor Road, Dee Why
2099

Lot 20 D.P. 23155

Drawing Title:
Sunstudy - Material & Colour Sample Board

Scale: A3 as noted

Date: 27/02/19

Status: DA

Checked By: GBJ

Project No:
RP118POW

Drawing No:
DA5002