

List of Abbreviations

AFFL	Above Finished Floor Level	TBD	Timber Bi-folding Doors
AG	Agricultural Pipe	TD	Timber Framed Doors
AP	Access panel	TDB	Timber Decking Boards
AS	Adjustable Shelves	TW	Timber Framed Windows
AW	Awning Window	TB	Timber Floor Boards
BFD	Bifolding Glazed Doors	TF	Timber Flooring acoustic floating floor
BS	Bath Spout	TH	Timber Handrail
BSN	Basin	TL	Timber Lining boards
BW	Brickwork	TS	Timber Slats
BWB	Brickwork with pebble n dash textured cement render	TSS	Timber Sliding Screen
BWF	Brick face work	TSF	Timber Slats fibre cement sheet
BWS	Brick work soldier course	TSD	Timber Sliding Door
CFC	Compressed Fibre Cement Wall Cladding	TW	Timber wall cladding
CL	Centre Line	TPH	Toilet Paper Holder 500 AFFL
CB	Concrete block reinforced if retaining wall	TR	Towel Rail 850 AFFL unless noted otherwise
CBF	Concrete Broom Finish	UB	Universal Steel Beam
CST	Concrete Steel Trowel finish	UC	Universal Steel Column
CJ	Control Joint	U/S	Underside
COS	Check On Site	UG	Underground
CPT	Carpet	VB	Vapour Barrier
CR	Cement Render	VP	Vent Pipe
CRW	Cement Render Waterproof	WA	Window Awning
CT	Ceramic Tiling	WC	Water Closet
CW	Casement Window	WM	Washing Machine
CWS	Cold Water Service	WPM	Water Proof Membrane
DP	Downpipe	WRC	Western Red Cedar
DPC	Damp Proof Course	WS	Window Sliding
DPM	Damp Proof Membrane	WOV	Wall Oven
EDB	Electrical Distribution Board		
EGL	Existing Ground Level		
EJ	Expansion Joint		
EX	Existing		
FC	Fibrous Cement		
FCP	Fibrous Cement Panel		
FCVL	Fibrous Cement - Vitrified		
FD	Floor Drain, cast into concrete		
FFL	Finished Floor Level		
FGL	Finished Ground Level		
FG	Fixed Glazing		
FMP	Fixed Mirror Panel		
FMF	Folded Metal Flashing		
FSS	Frameless Shower Screen		
FW	Floor Waste		
GB	Glass balustrade		
GD	Garage Door		
GL	Glazing		
GLL	Glazing Laminated Glass		
GPO	General Purpose Outlet		
GU	Gutter		
HC	Hose Cock		
HSS	Handrail stainless steel 35mm dia		
HTR	Heated Towel Rail 850 AFFL		
LS	Louvre Screen		
LV	Louvre Vent		
LW	Louvre Window		
M	Masonry wall		
MB	Metal Balustrade		
MD	Mixer Diverter		
MX	Mixer 850 AFFL		
MR	Metal Roofing		
MS	Mild Steel		
MW	Metal Walling		
OP	Opaque Glazing		
OPR	Opaque Roofing		
OS	Overflow Spitter		
OFC	Off Form Concrete		
PB	Plasterboard		
PBL	Pebble Ballast		
PBM	Plasterboard Moisture Resistant		
PBF	Plasterboard or Fibre Cement Fire Rated Lining to BCA		
PWC	Plywood Panel Wall Cladding		
PD	Planter Drain		
PL	Planter		
P	Painted		
PR	Polycarbonate Roofing		
PV	Paving concrete		
R	Robe		
RA	Return Air		
RH	Rangehood		
RWH	Rainwater Head		
RWO	Rainwater Outlet		
RWT	Rainwater Tank		
RS	Roller Shutter		
RTC	Roof Tile - Concrete		
RTT	Roof Tile - Terracotta		
ST	Stone		
SA	Supply Air		
SD	Smoke Detector		
SDH	Sashless Double Hung Window		
SHR	Shower Head 2000 AFFL unless noted otherwise		
SKCT	Skirting ceramic tile		
SK	Skirting		
SKL	Skylight		
SHS	Square Hollow Steel Section		
SLD	Sliding door		
SLW	Sliding window		
SLS	Sliding Louvre Screen		
SP	Set Plaster		
SPD	Spitter drain		
SR	Slate Roof		
SPM	Set Plaster Moisture resistant		
SRP	Setout Reference Point		
SS	Steel Stainless		
S	Steel		
SF	Steel frame		
STD	Strip drain		
STP	Stormwater Pipe		

Drawing list

Issue

MD01 Existing Floor Plan
MD02 Existing North Elevation
MD03 Existing East Elevation
MD04 Existing South Elevation

A
A
A
A

A00 Site Analysis Plan
A01 Site Plan
A02 Ground Floor Plan
A03 Upper Floor Plan
A04 North Elevation
A05 East Elevation
A06 South Elevation
A07 Section A-A
A08 Section B-B
A09 Driveway detail
A10 External Colours & Finishes
A11 Photomontage

D
D
D
D
D
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D
D
D
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D
D

SD01 Shadow Diagram - Winter 9am
SD02 Shadow Diagram - Winter 12pm
SD03 Shadow Diagram - Winter 3pm
SD04 Shadow Diagram - Equinox 9am
SD05 Shadow Diagram - Equinox 12pm
SD06 Shadow Diagram - Equinox 3pm

C
C
C
C
C
C

Legend

	Existing masonry walls
	New masonry walls
	New timber framed walls
	New masonry landscape walls
	Demolished walls

Revised Development Application Issue D

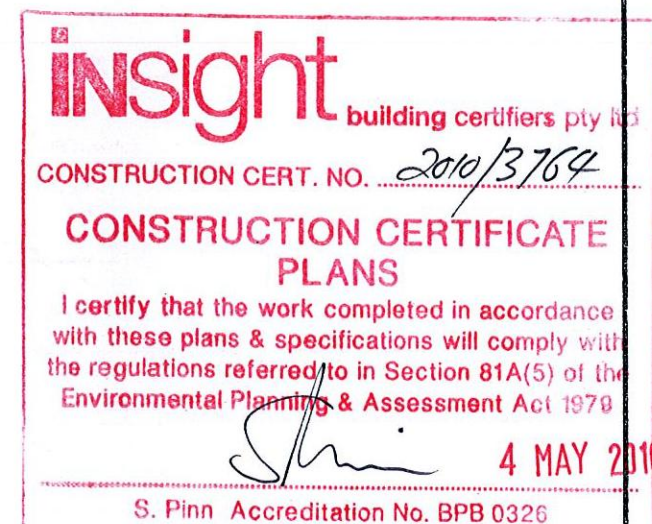
06 February 2007

for
Alterations and Additions
at

8 Cliff St, Manly

for

Gavin & Sharyn Bradley



CLIFF STREET

existing tree to be removed shown dashed, refer to Tree Permit Application and arborist report

existing street tree to be removed and replaced, refer landscape architect's drawings and arborist report

new driveway and crossover to Manly Council's requirements

new stormwater line to street, refer hydraulic engineers dwgs

rebuild existing sandstone retaining wall and steps, blocks to be reused where possible

proposed new street tree, refer to landscape architect's drawings

existing metal and timber fence on boundary

existing frangipani tree to be retained and protected during construction, refer to landscape architects drawings

SEPARATE CC

new driveway refer dwg A09 to detail

new MR

new DP

new DP to be replaced

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

No. 12
SEMI-DETACHED BRICK COTTAGE

No. 10
SEMI-DETACHED BRICK COTTAGE

No. 8
SEMI-DETACHED BRICK COTTAGE

No. 6
SEMI-DETACHED BRICK COTTAGE

No. 4
SEMI-DETACHED BRICK COTTAGE

study deleted

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

outline of existing walls to be demolished shown dashed

new carport roof below

water feature

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

new DP

wall moved to 900mm off boundary

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

new MR

NOTE: SWIMMING POOL SUBJECT TO A SEPARATE CONSTRUCTION CERTIFICATE

existing tree to be removed shown dashed, refer arborist report

sound proof pool plant

paling fence to boundary 1.8m above natural ground, refer to Bandicoot assessment for bandicoot access

proposed swimming pool and landscape works, refer to landscape architects drawings

existing tree to be removed shown dashed, refer arborist report

new timber paling fence to boundary 1.8m high above natural ground, refer to Bandicoot Impact assessment for bandicoot access

swimming pool gate to AS1926

8.0m rear setback

8.0m rear setback

8.0m rear setback

8.0m rear setback

8.0m rear setback

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8.0m rear setback

8.0m rear setback

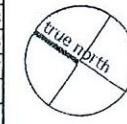
8.0m rear setback



notes

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no	amendment	date
A	Sketch Plan Issue	31/08/06
B	Preliminary DA Issue	26/09/06
C	DA Issue	29/09/06
D	Revised DA Issue	06/02/07



client Sharyn & Gavin Bradley

project Alterations + Additions

address 8 Cliff St
Manly NSW 2095
LOT D, DP438914

title Proposed site plan

job no 06007

drawn mg

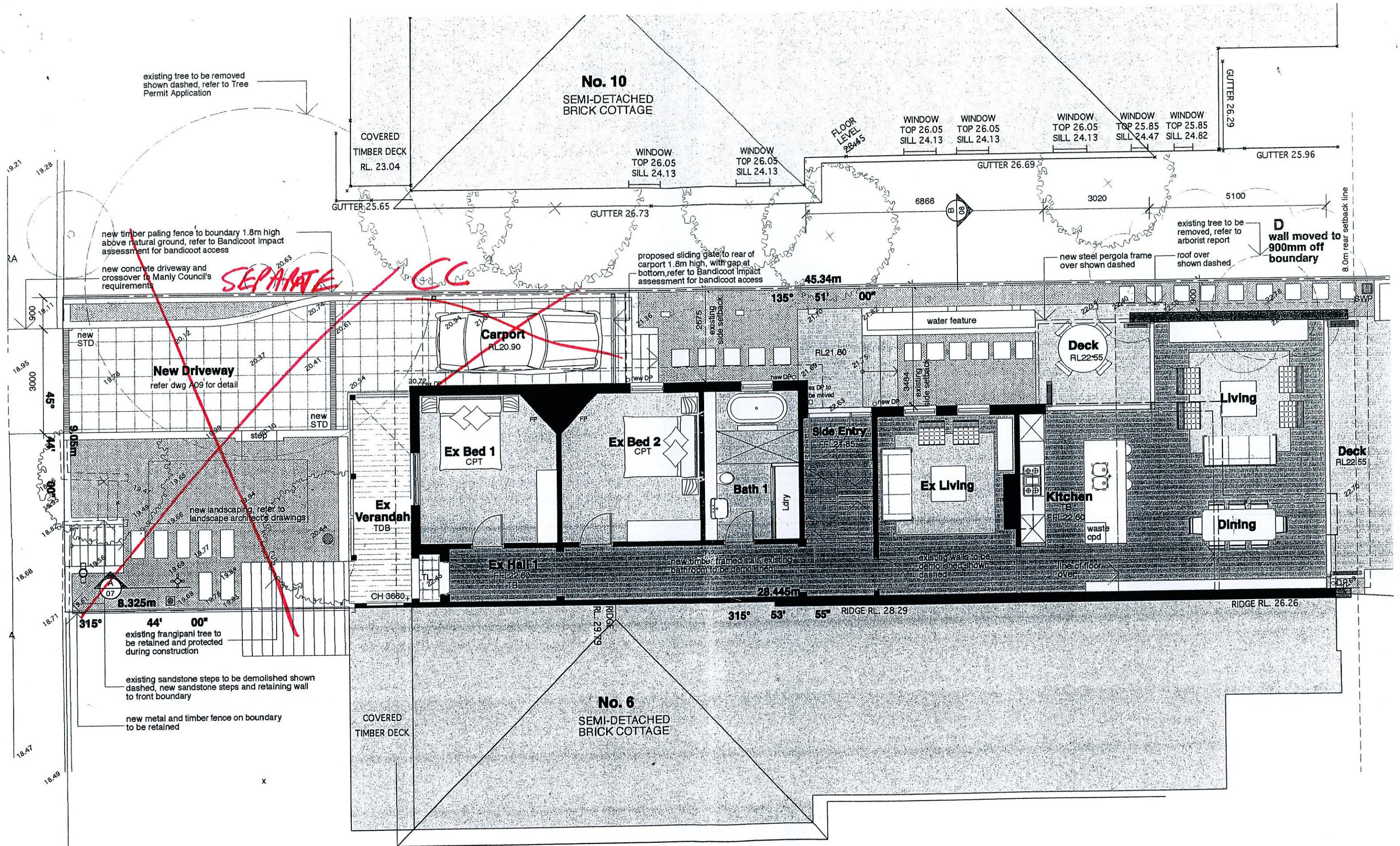
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drawing no A01

issue D

06/02/07
06007-07 DA Plans D

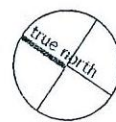


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address 8 Cliff St
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title Ground Floor Plan

job no 06007

drawn mg

checked mk

scale 1:100

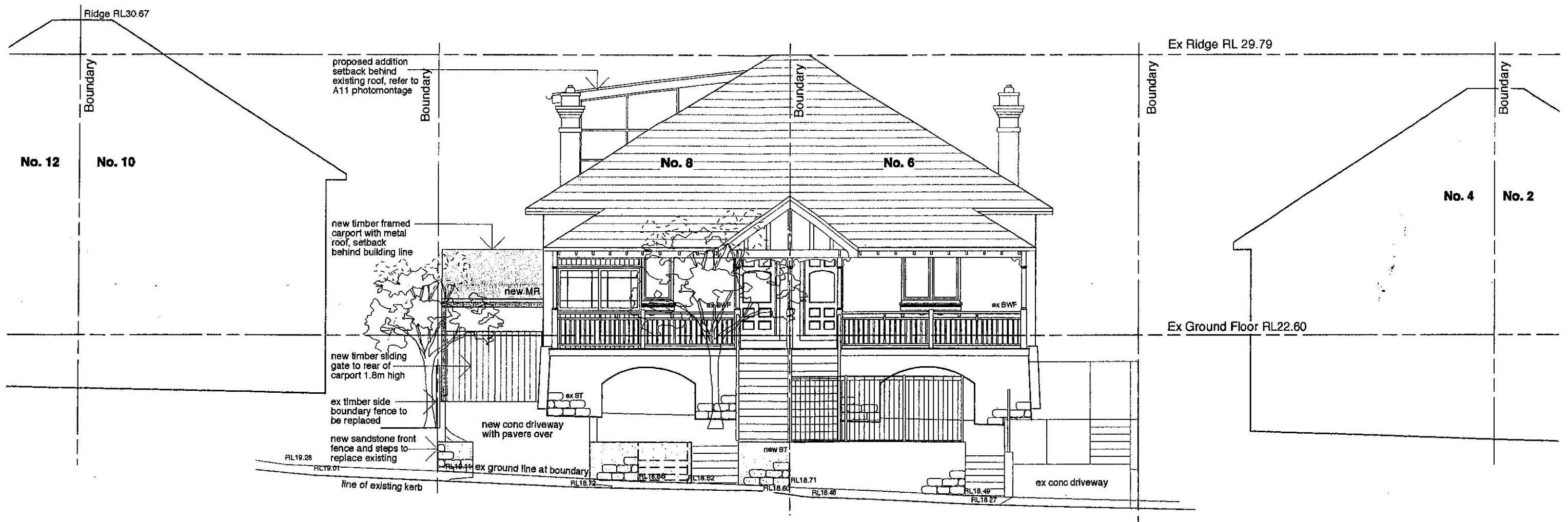
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06/02/07
06007-07 DA Plans D



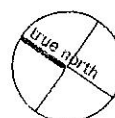
Street Elevation

notes

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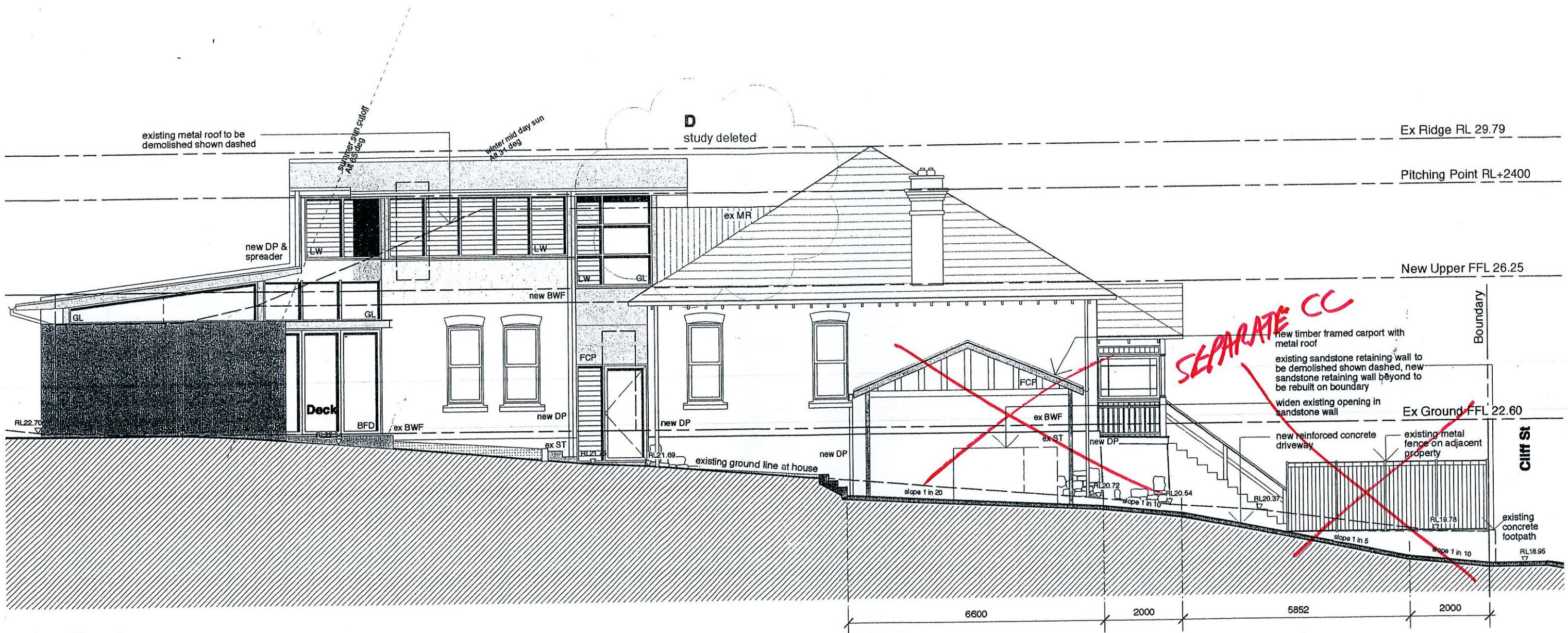
project Alterations + Additions

address 8 Cliff St
Manly NSW 2095
LOT D, DP438914

title North Elevation

job no	06007	drawing no	A04
drawn	mg	issue	D
checked	mk		
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06/02/07
06007-07 DA Plans D



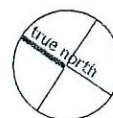
East Elevation

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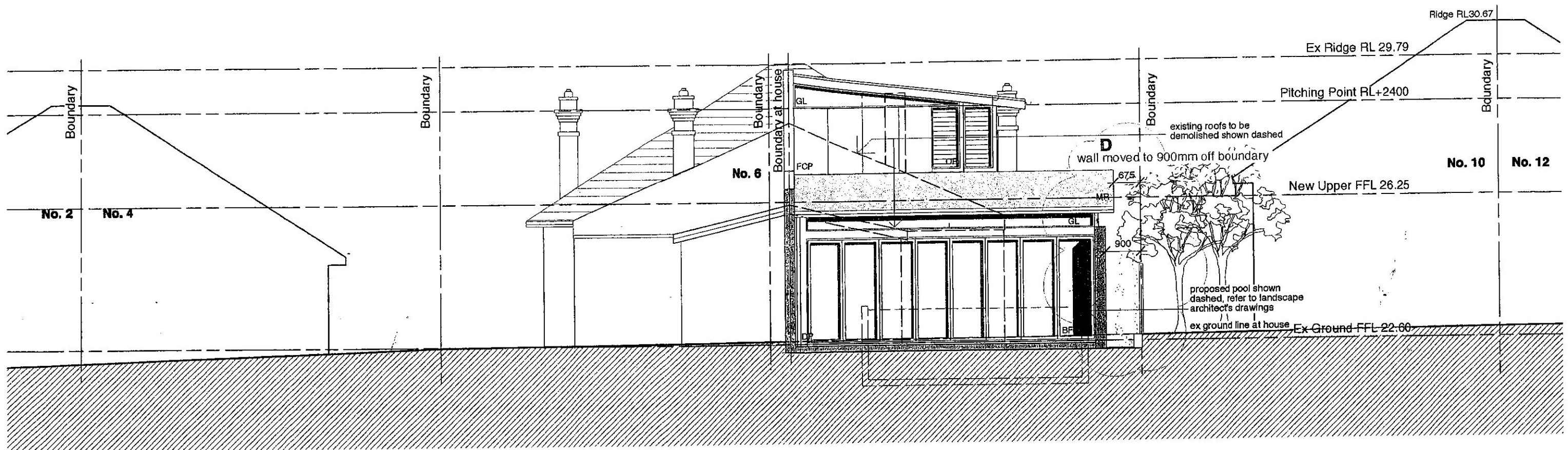
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drawing no
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issue
D

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06007-07 DA Plans D



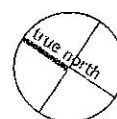
South Elevation

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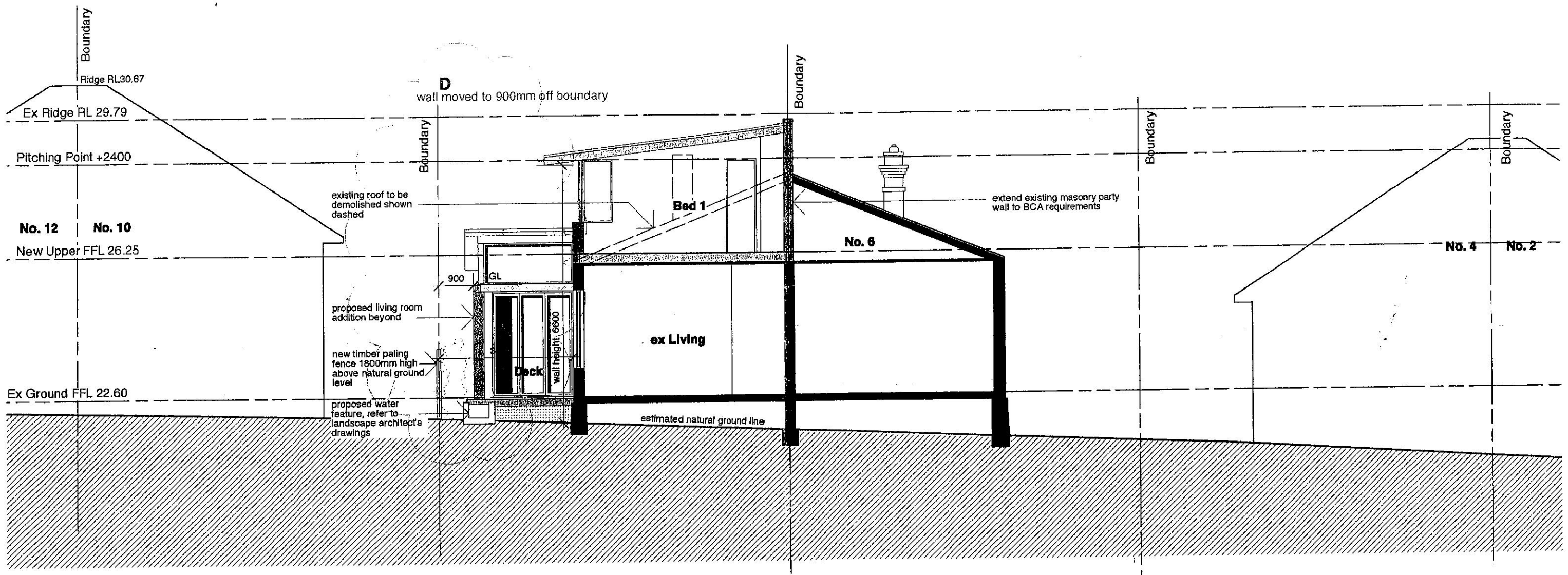
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LOT D, DP438914

title South Elevation

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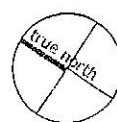
Section B-B

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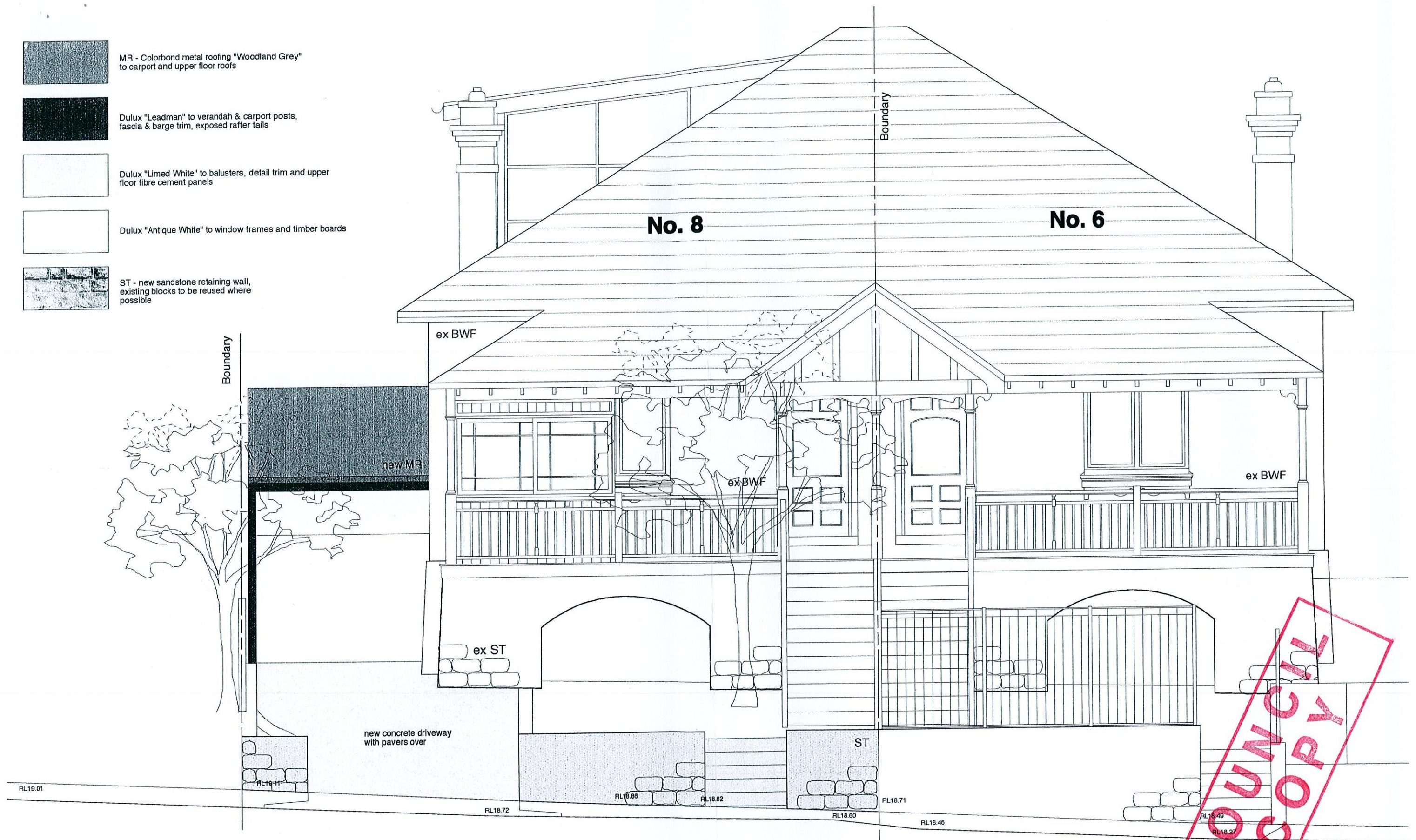
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drawing no
A08
issue
D

06/02/07
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- MR - Colorbond metal roofing "Woodland Grey" to carport and upper floor roofs
- Dulux "Leadman" to verandah & carport posts, fascia & barge trim, exposed rafter tails
- Dulux "Lined White" to balusters, detail trim and upper floor fibre cement panels
- Dulux "Antique White" to window frames and timber boards
- ST - new sandstone retaining wall, existing blocks to be reused where possible



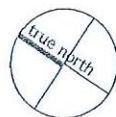
Street Elevation

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address 8 Cliff St
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title External colours and finishes

job no 06007

drawn mg

checked mk

scale 1:100

drawing no

A10

issue

D

06/02/07
06007-07 DA Plans D