

BASIX Project Commitments		
Proposed:	Single Dwelling	
Address:	950 Barrenjoey Road, Palm Beach NSW 2108	
Lot No / DP:	27/950	
Water (All dwellings)		
Fixtures	Specification	
Shower head rating	3 star (> 7.5 but <= 9 L/min)	
Toilet rating	3 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size	3000L	
Connected to:	Garden and lawn areas	Yes
	All toilets	Yes
	Laundry	Yes
Thermal Comfort		
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.		
Floor and wall construction		Area
floor - concrete slab on ground		78.0 square metres
floor - suspended floor/open subfloor		148.0 square metres
External walls		Requirements
Concrete block, lined	Garage level	Medium colour, R2.7 bulk insulation
Weatherboard Cavity Panel Direct Fix	All other levels	Medium colour, R2.7 bulk insulation
Internal walls		
Cavity wall, direct fix plasterboard		No insulation
Ceiling		
External ceiling - Plasterboard	All levels (excl garage)	R4.0 bulk insulation
Internal ceiling - Timber above plasterboard	All levels	No insulation
Roof		
Corrugated iron	Garage level	Light Colour (solar absorbance <0.475)
		Reflective side Down, Anti-glare Up R1.8
Waterproofing membrane		Light Colour (solar absorbance <0.475)
		No insulation
Floors		
Concrete slab on ground	Garage level	No insulation
Suspended timber	All other levels	R4.0 bulk insulation
Windows		
Trend TND-062-51	All glazing (excl below) W8A, W8B, W9 W13 W1 & Skylights	U value 4.09 and SHGC 0.39
Trend TND-026-01		U value 4.01 and SHGC 0.52
Trend TND-062-44		U value 4.02 and SHGC 0.27
Trend TND-062-52		U value 4.0 and SHGC 0.39
Overshadowing details		Adjoining units calculated into model calculations
Site		
Orientation of nominal north elevation		As shown on plans
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	5 star
Ventilation		
Bathroom exhaust	Individual fan, ducted to façade or roof	
Control switch	Interlocked to light	
Kitchen exhaust	Individual fan, ducted to façade or roof	
Control switch	Manual switch on/off	
Laundry	No mechanical ventilation (ie. Natural)	
Control switch		
Cooling		
Individual systems - living areas	1-phase airconditioning	3 star
Individual systems - bedroom areas	1-phase airconditioning	3 star
The cooling system must provide for day/night zoning between living areas and bedrooms.		
Heating		
Individual systems - living areas	1-phase airconditioning	3 star
Individual systems - bedroom areas	1-phase airconditioning	3 star
The heating system must provide for day/night zoning between living areas and bedrooms.		
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Redrigerator space	Yes	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		
Outdoor clothes drying line	Yes	
Indoor clothes drying line	No	
Artificial lighting		
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:		
• at least 4 of the bedrooms / study; dedicated		
• at least 1 of the living / dining rooms; dedicated		
• the kitchen; dedicated		
• all bathrooms/toilets; dedicated		
• the laundry; dedicated		
• all hallways; dedicated		
Natural lighting		
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.		

BUSHFIRE REQUIREMENTS

Construction

1. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas".
2. New construction on the north-easterly and south-easterly aspects shall also comply with the requirements of BAL-40 Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and section A3.7 Addendum Appendix 3 of "Planning for Bush fire Protection".
3. New construction on the north-westerly and south-westerly aspects shall also comply with the requirements of BAL-29 Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and section A3.7 Addendum Appendix 3 of "Planning for Bush fire Protection".
4. Any new fencing to be property should be in accordance with Rural Fire Service "Fast Fact 2/06".
5. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

Electricity + Gas

6. Any new electricity or gas connections are to comply with the requirements of section 4.1.3 of Planning for Bushfire Protection.

Asset Protection Zone

7. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.
8. Any trees located on the subject lot and within 10m of the proposed building should be removed as part of the establishment of the Inner Protection Area for the Asset Protection Zone works.

Landscaping

- Any new landscaping to the site is to comply with the principles of Appendix 5 of Planning for Bush Fire Protection 2006. In this regard the following landscaping principles are, where applicable, to be incorporated into the development:
- Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
 - Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
 - Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
 - Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
 - Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
 - When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
 - Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
 - Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
 - Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
 - Avoid climbing species to walls and pergolas;
 - Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
 - Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
 - Use of low flammability vegetation species.x

Prepared and certified by:	Matthew Willis <i>BPAD – Level3 Certified Practitioner</i>		18/07/2017
	Certification No: BPD-PA 09337		
Can this proposal comply with AS3959-2009 (inc PBP addendum 3)?		Yes	
What is the recommended AS 3959-2009 level of compliance?		BAL-40/29	
Is referral to the RFS required?		Yes	
Can this development comply with the requirements of PBP?		Yes	
Plans by "Sarah Blacker" (Appendix 1) dated.		15/5/2017	

SPECIFICATION

Demolition:-

- AS 2601(1991) - The demolition of structures

Site Preparation:-

- Earthworks - To be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979, conditions of development consent and the relevant requirements of Part 3.1.1 of the BCA (Volume 2)
- Stormwater drainage - Part 3.1.2 of the BCA (Volume 2); and
- AS/NZS 3500 (2003) Part 3 – Stormwater drainage
- AS/NZS 3500 (2000) Part 5 – Domestic installations – Section 5 – stormwater drainage
- Termite protection - Part 3.1.3 of the BCA (Volume 2); and
- AS 3660.1(2000) - Protection of buildings from subterranean termites

Footings and Slabs:-

- Footings and slabs - Part 3.2 of the BCA (Volume 2); and
- AS 2870 (1996) - Residential slabs and footings
- AS 3600 (2001) - Concrete structures
- AS 2159 (1995) - Piling – Design and installation
- Site classification Part 3.2.4 of the BCA (Volume 2)

Masonry:-

- Masonry construction - Part 3.3 of the BCA (Volume 2) and AS 3700 (2001) - Masonry Code
- Lintels in masonry - Part 3.3.3.4 of the BCA (volume 2)

Framing:-

- Sub-floor ventilation - Part 3.4.1 of the BCA (Volume 2)
- Steel framing - Part 3.4.2 of the BCA (Volume 2)
- Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or
- AS 4100 (1998) - Steel structures
- Timber wall, floor and roof framing - Part 3.4 of the BCA (Volume 2); and
- AS 1684 (2006) – Residential timber - frame construction
- Structural steel members - Part 3.4.4 of the BCA (Volume 2)

Roof and wall cladding:-

- Roof tiling - Parts 3.5.1.1 & 3.5.1.2 of the BCA (Volume 2) and AS 2049 (2002) - Roof tiles
- Metal roof sheeting - Parts 3.5.1.1 & 3.5.1.3 of the BCA (Volume 2)
- Gutters and downpipes - Part 3.5.2 of BCA (Volume 2); and
- AS/NZS 3500 (2003) Part 3 – Stormwater drainage
- AS/NZS 3500 (2000) Part 5 – Domestic installation
- Wall cladding - Part 3.5.3 of the BCA (Volume 2)

Glazing:-

- Glazing - Part 3.6 of the BCA (Volume 2)
- AS 1288 (2006) Glass in buildings
- AS 2047 (1999) Windows in buildings

Fire safety:-

- Fire separation - Part 3.7.1 of the BCA (Volume 2)
- Fire separation - Separating wall construction - Part 3.7.1.8 of the BCA (Volume 2)
- Fire separation - Roof lights - Part 3.7.1.10 of the BCA (Volume 2)
- Smoke alarms - Part 3.7.2 of the BCA (Volume 2) and AS 3786 (1993) - Smoke alarms
- Heating appliances - Part 3.7.3 of the BCA (Volume 2) and AS 2918 (2001)- Domestic solid - fuel burning appliances - installation

Health and amenity:-

- Wet areas - Part 3.8.1 of the BCA (Volume 2) and AS 3740 (2004) - Waterproofing of wet areas in residential buildings
- Room heights - Part 3.8.2 of the BCA (Volume 2)
- Kitchen, sanitary and washing facilities - Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2)
- Natural and artificial light - Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2)
- Ventilation - Part 3.8.5 of the BCA
- Natural - Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2)
- Mechanical - Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2)
- Sound insulation - Part 3.8.6.1 of the BCA (Volume 2)

Safe movement and access:-

- Stair construction - Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice
- Balustrades - Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice
- Handrails – Part 3.9.2.4 of the BCA (Volume 2) - Acceptable construction practice
- Protection of openable windows – Part 3.9.2.5 of the BCA (Volume 2) - Acceptable construction practice

Energy efficiency:-

- Building Fabric - Part 3.12.1 of the BCA (Volume 2)
- Building Sealing - Part 3.12.3 of the BCA (Volume 2)
- Services - Part 3.12.5 of the BCA (Volume 2)

Structural design manuals:-

- AS 1170.1 (1989) - Dead and live loads and load combinations
- AS 1170.2 (1989) or AS 4055 (1992) - Wind loads
- AS 1170.4 (1993) - Earthquake loads
- AS 1720.1 (1997) - Timber structures
- AS 2159 (1995) - Piling - design and installation
- AS 3600 (2001) - Concrete structures
- AS 4100 (1998) - Steel structures

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PROJECT

WILLIAMS HOUSE

DRAWING NO.

DA.00

ADDRESS

950 BARRENJOEY RD, PALM BEACH

REVISION

A

DOCUMENT

S4.55(1) APPLICATION

SCALE

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DRAWING

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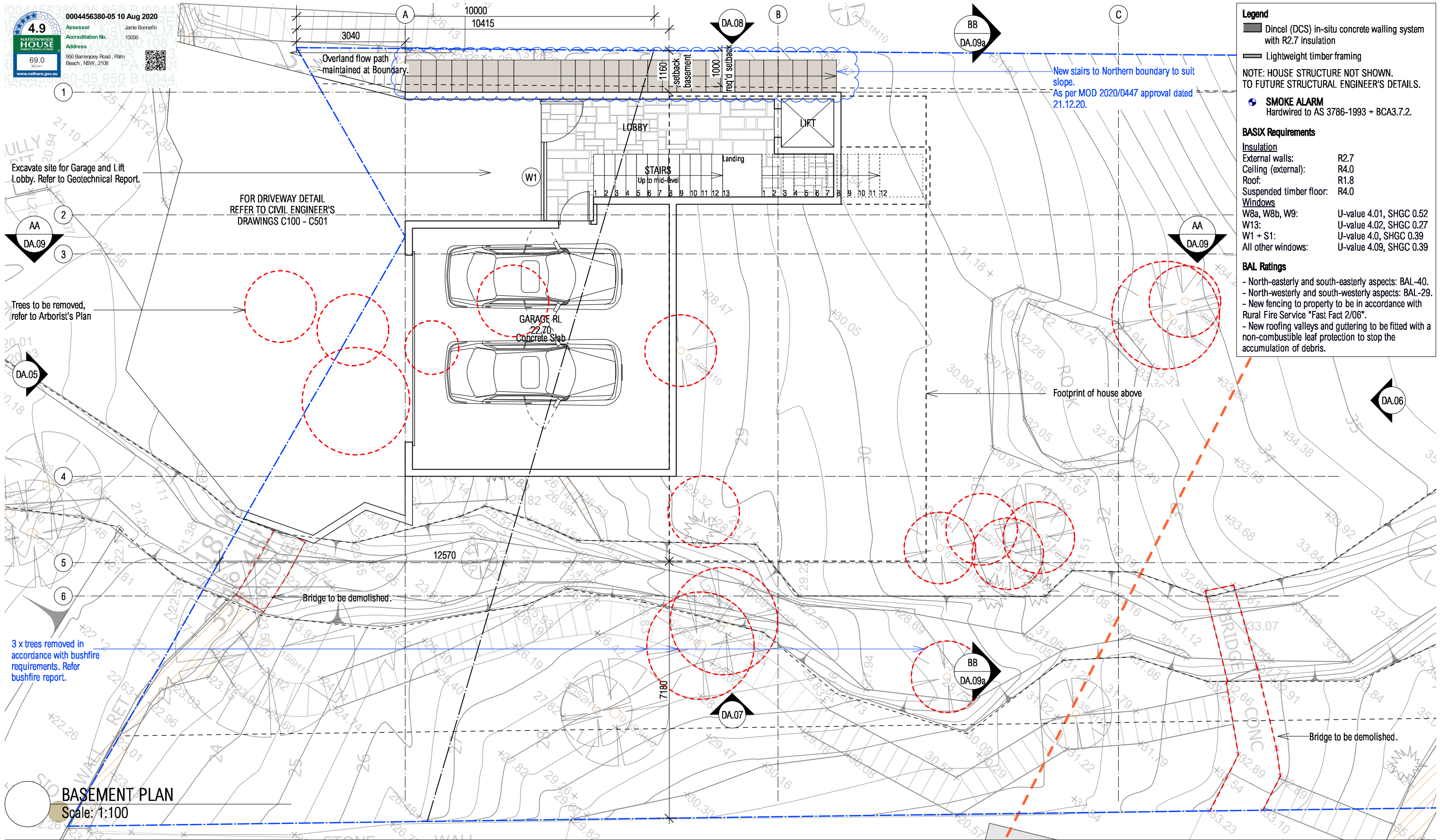
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SARAH BLACKER

ARCHITECT + INTERIOR DESIGNER

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WILLIAMS HOUSE

950 BARRENJOEY RD, PALM BEACH

S4.55(1) APPLICATION

BASEMENT PLAN

DRAWING NO.

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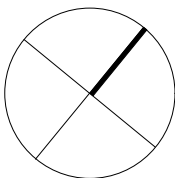
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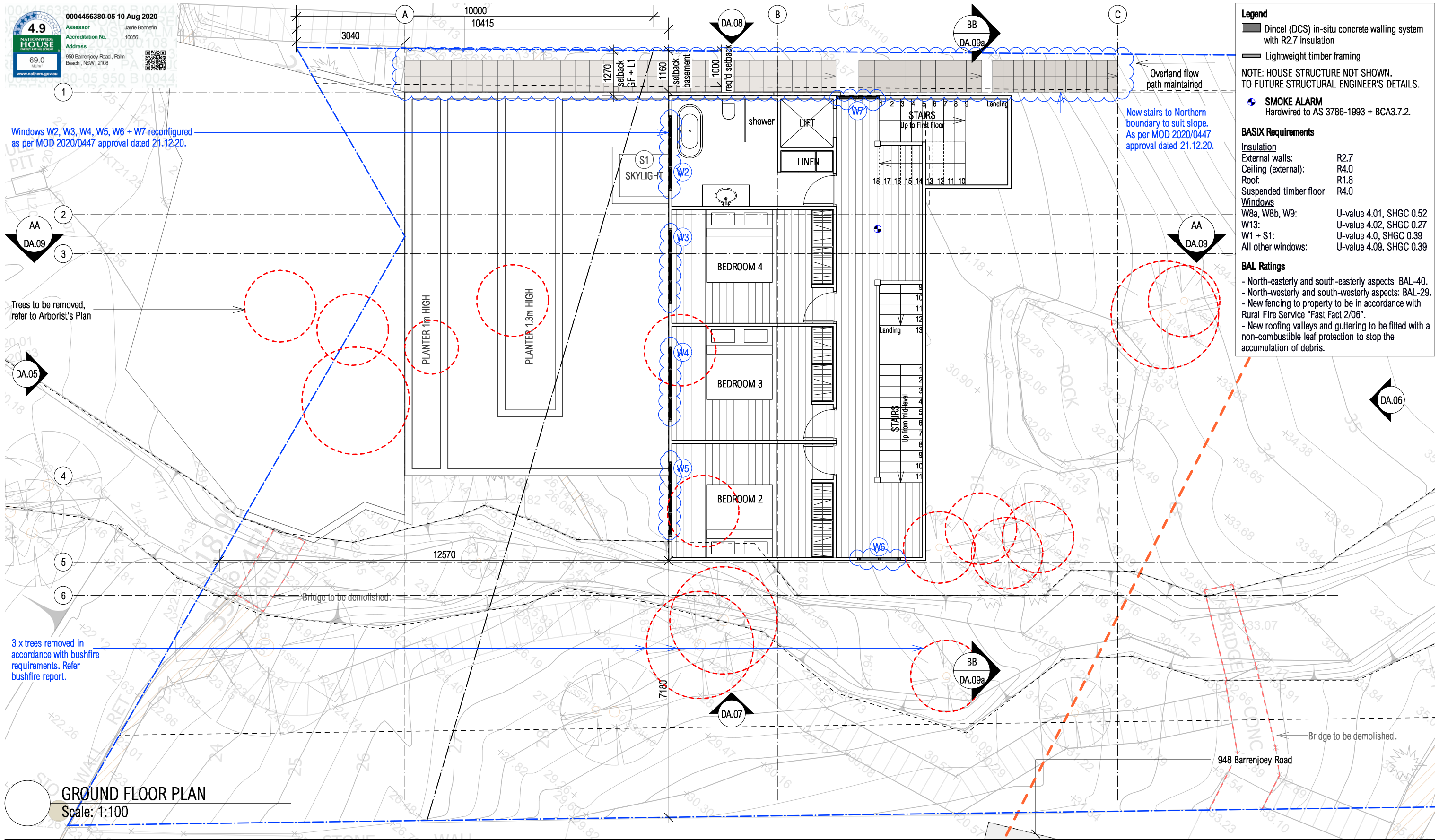


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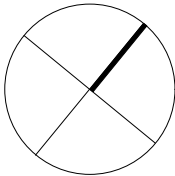
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WILLIAMS HOUSE
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S4.55(1) APPLICATION
GROUND FLOOR PLAN

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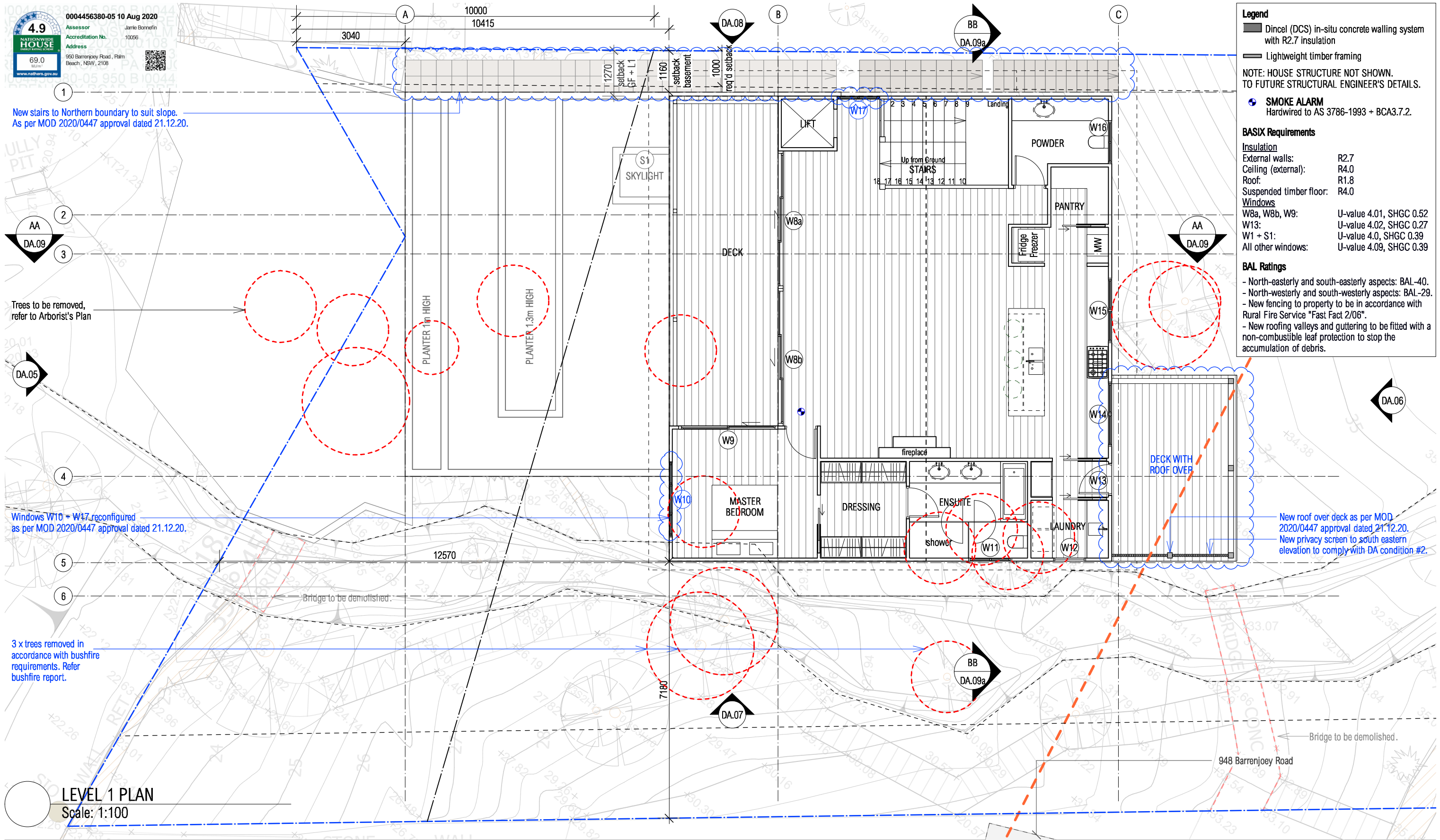


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S4.55(1) APPLICATION

LEVEL ONE PLAN

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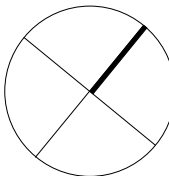
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BAL Ratings

- North-easterly and south-easterly aspects: BAL-40.
- North-westerly and south-westerly aspects: BAL-29.
- New fencing to be property to be in accordance with Rural Fire Service "Fast Fact 2/06".
- New roofing valleys and guttering to be fitted with a non-combustible leaf protection to stop the accumulation of debris.

BASIX Requirements

Insulation

External walls: R2.7

Ceiling (external): R4.0

Roof: R1.8

Suspended timber floor: R4.0

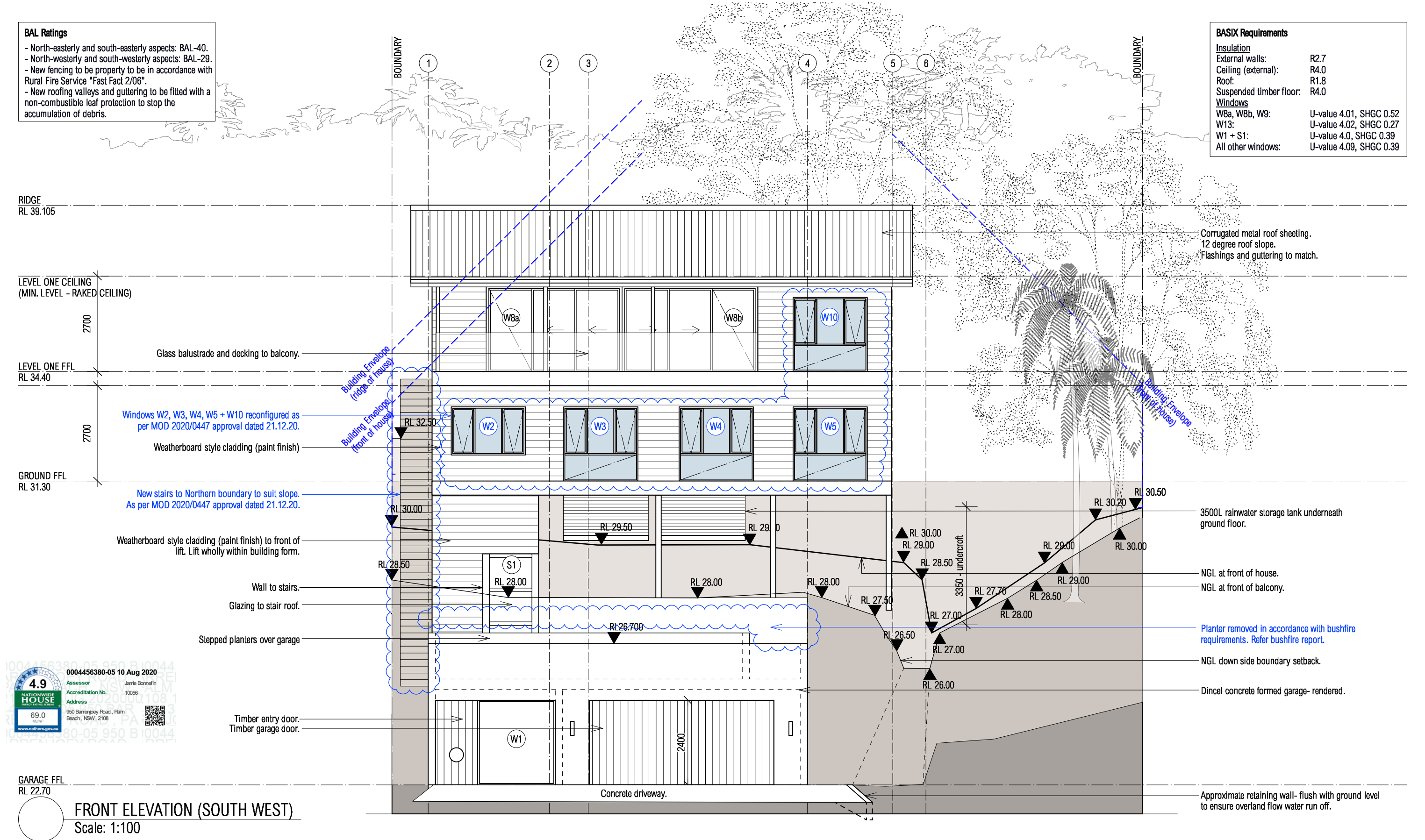
Windows

W8a, W8b, W9: U-value 4.01, SHGC 0.52

W13: U-value 4.02, SHGC 0.27

W1 + S1: U-value 4.0, SHGC 0.39

All other windows: U-value 4.09, SHGC 0.39



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DRAWING FRONT ELEVATION

DRAWING NO. DA.05

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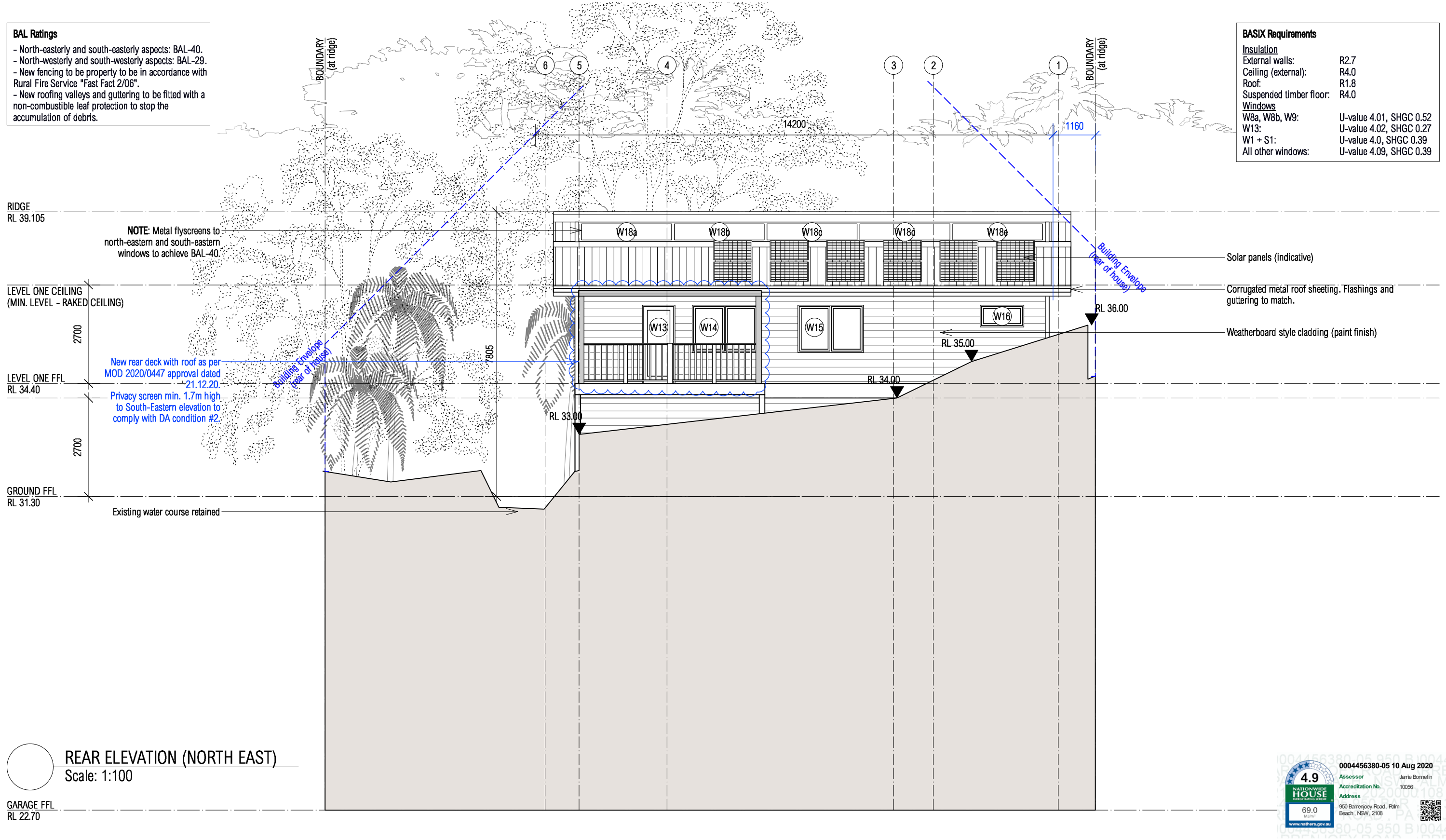
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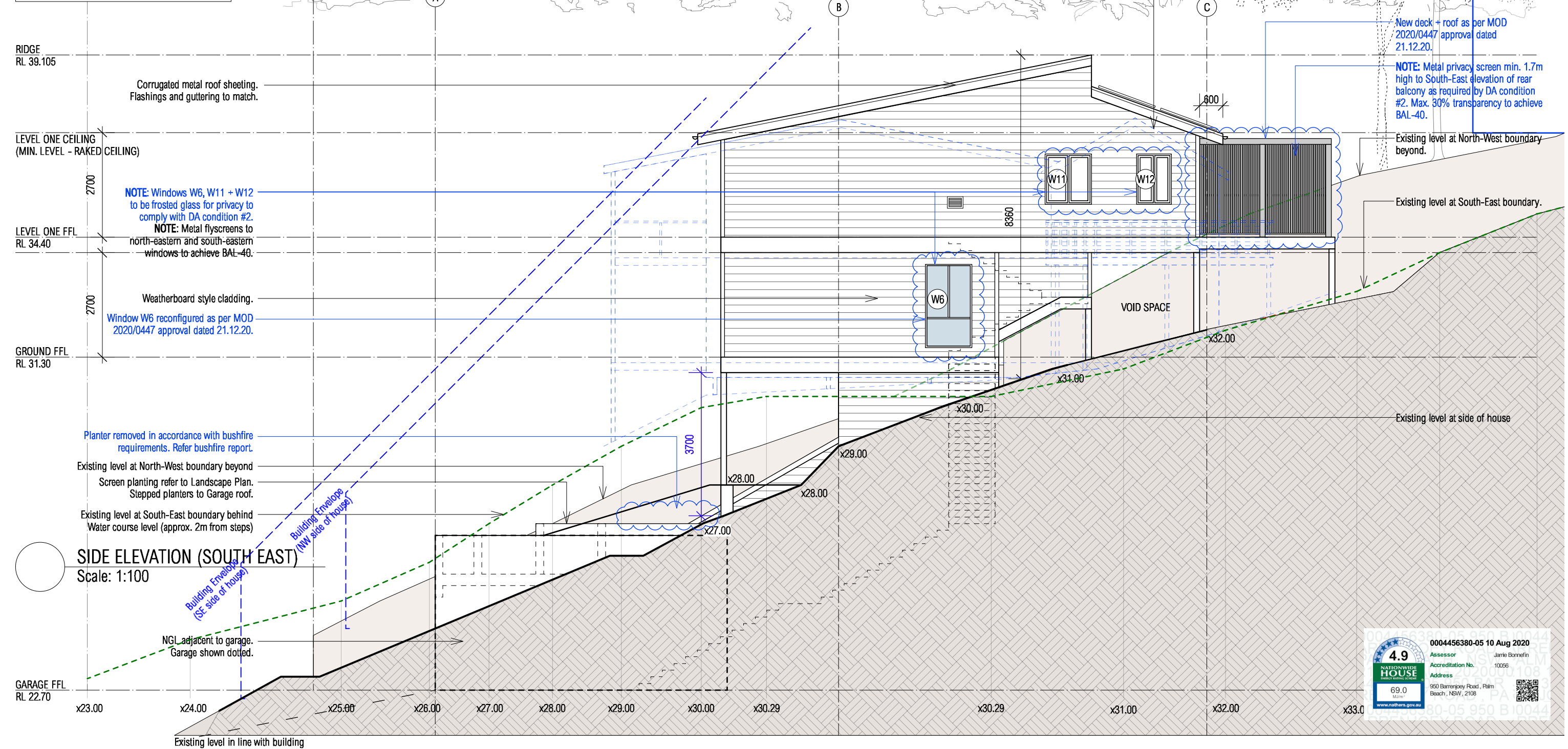
PROJECT WILLIAMS HOUSE
ADDRESS 950 BARRENJOEY RD, PALM BEACH
DOCUMENT S4.55(1) APPLICATION
DRAWING REAR ELEVATION

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WILLIAMS HOUSE
950 BARRENJOEY RD, PALM BEACH
S4.55(1) APPLICATION
SOUTH EAST SIDE ELEVATION

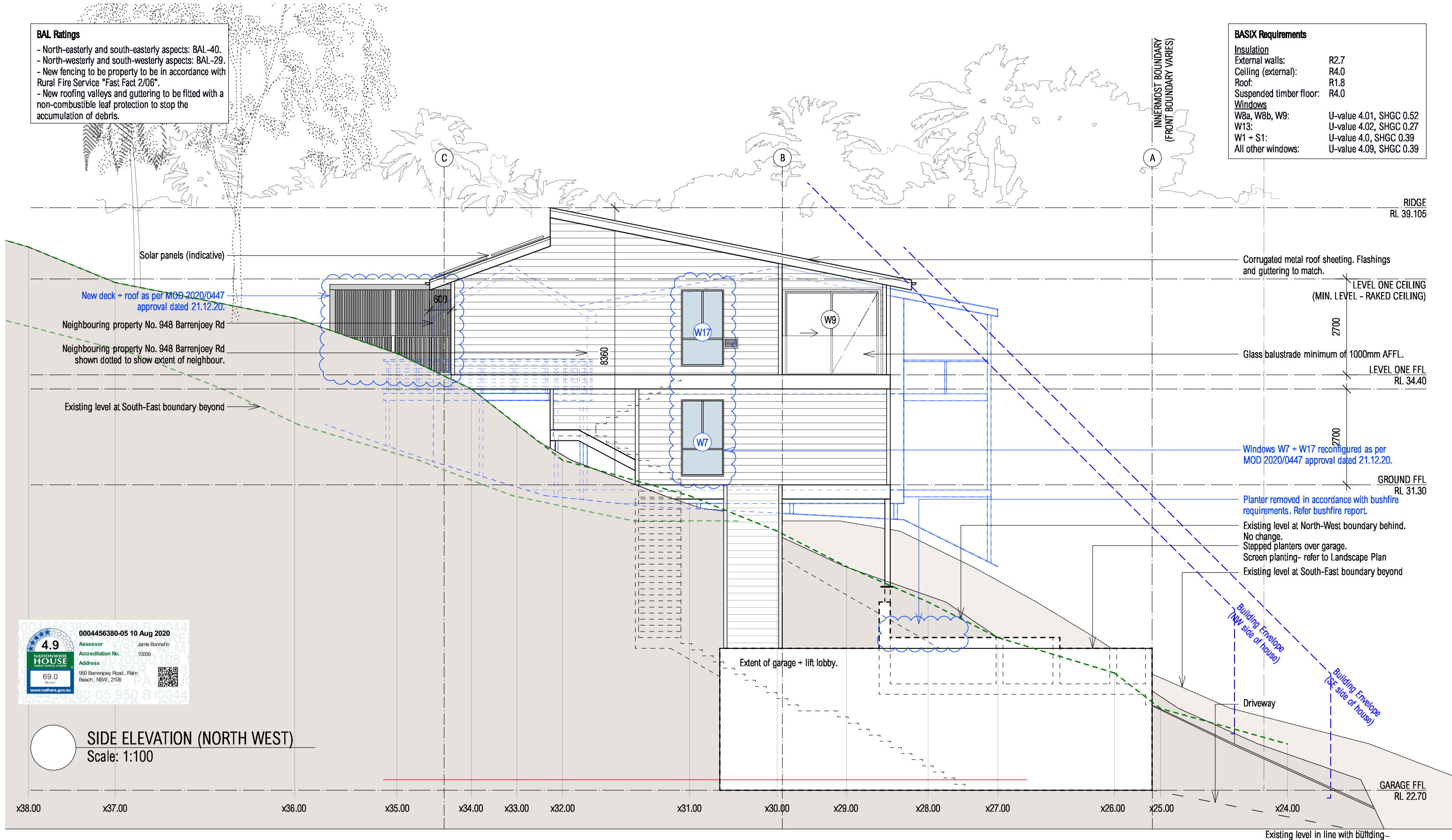
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SIDE ELEVATION (NORTH WEST)
Scale: 1:100

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WILLIAMS HOUSE
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S4.55(1) APPLICATION
NORTH WEST SIDE ELEVATION

DRAWING NO.
REVISION
SCALE
DATE

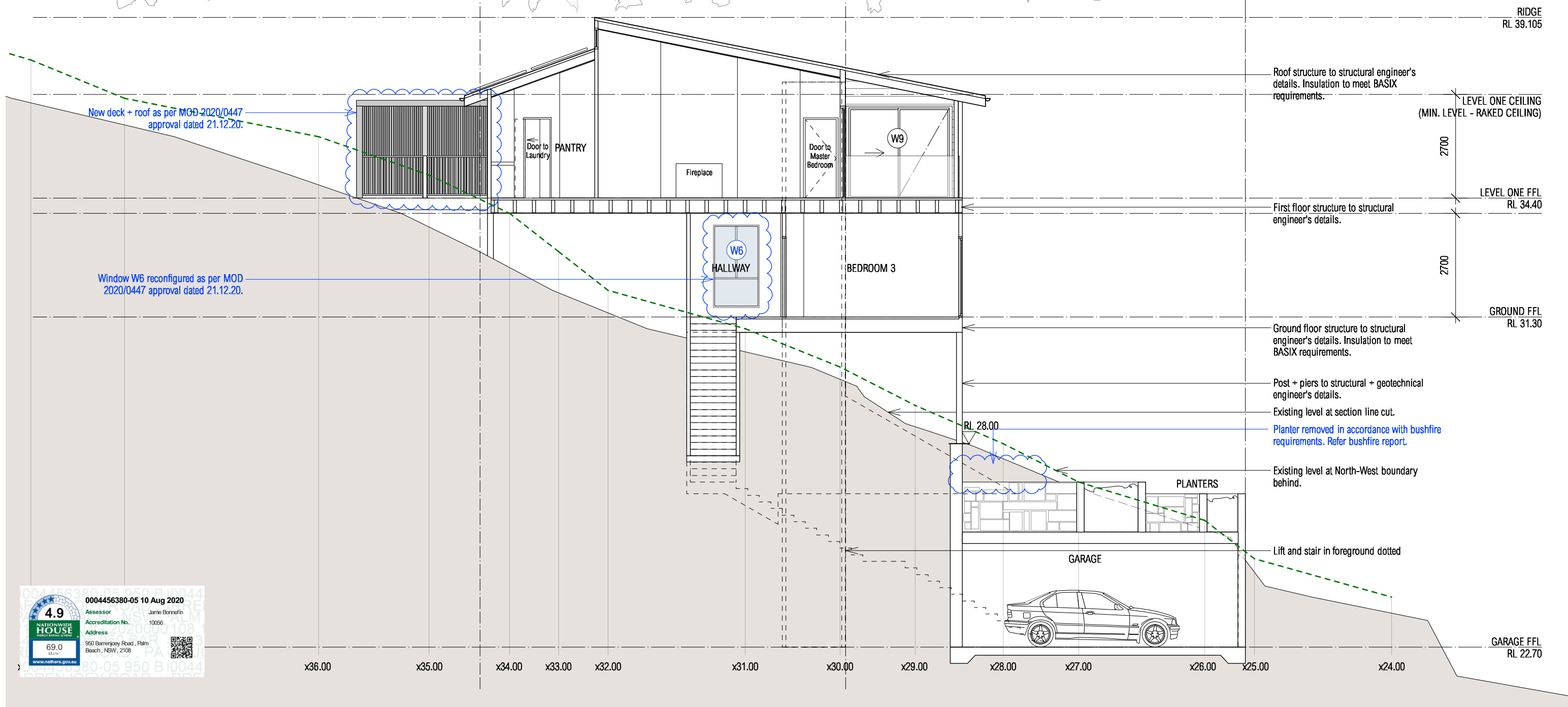
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PROJECT WILLIAMS HOUSE
ADDRESS 950 BARRENJOEY RD, PALM BEACH
DOCUMENT S4.55(1) APPLICATION
DRAWING SECTION AA

DRAWING NO. DA.09
REVISION A
SCALE 1:100 @ A3
DATE 02.03.22

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ARCHITECT + INTERIOR DESIGNER
ARCHITECT'S REG NO. 8403
PO Box 1313, Potts Point NSW 1335
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BAL Ratings

- North-easterly and south-easterly aspects: BAL-40.
- North-westerly and south-westerly aspects: BAL-29.
- New fencing to be property to be in accordance with Rural Fire Service "Fast Fact 2/06".
- New roofing valleys and guttering to be fitted with a non-combustible leaf protection to stop the accumulation of debris.

BASIX Requirements

Insulation

External walls: R2.7

Ceiling (external): R4.0

Roof: R1.8

Suspended timber floor: R4.0

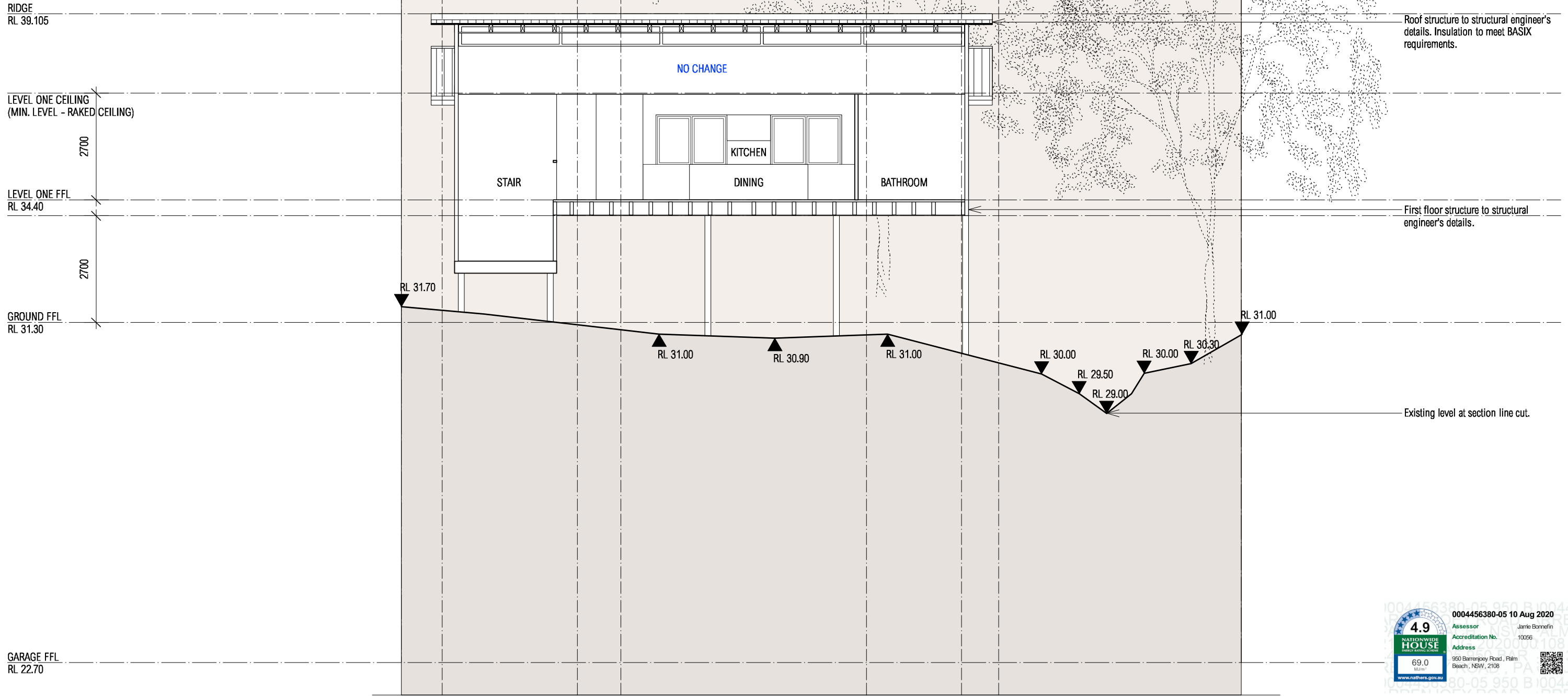
Windows

W8a, W8b, W9: U-value 4.01, SHGC 0.52

W13: U-value 4.02, SHGC 0.27

W1 + S1: U-value 4.0, SHGC 0.39

All other windows: U-value 4.09, SHGC 0.39



0004456380-05 10 Aug 2020

Assessor Jamie Bonnellin

Accreditation No. 10056

Address 950 Barrenjoey Road, Palm Beach, NSW, 2108

69.0

www.nathers.gov.au

1004456380-05 10 Aug 2020

NSW REIM 20200001083

PA 33

30-05 950 B 10044

S.B.

DISCLAIMER

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PROJECT

ADDRESS

DOCUMENT

DRAWING

WILLIAMS HOUSE

950 BARRENJOEY RD, PALM BEACH

S4.55(1) APPLICATION

SECTION BB

DRAWING NO.

REVISION

SCALE

DATE

DA.09a

A

1:100 @ A3

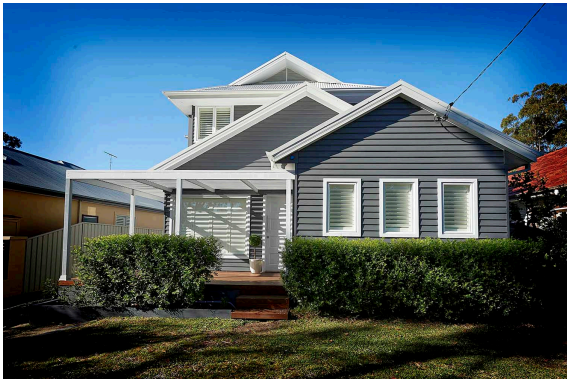
02.03.22

SARAH BLACKER

ARCHITECT + INTERIOR DESIGNER

ARCHITECT'S REG NO. 8403

PO Box 1313, Potts Point NSW 1335
T: 0412 660 754 E: info@sarahblacker.com.au



HOUSE CLADDING
James Hardie Linea Weatherboard painted
Colour: Colorbond "Windspray" or darker



WINDOW TRIMS + ROOF FRAME: NON-COMBUSTIBLE TO COMPLY WITH BAL-40
Colour: White/Off Grey to match windows



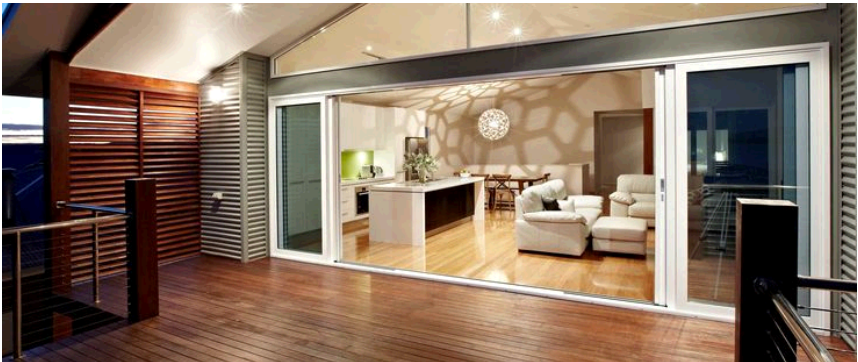
GARAGE
Render
Colour: Colorbond "Woodland Grey" or darker



PRIVACY SCREEN
Vertical metal privacy screen with max. 30% transparency to achieve BAL-40. Decowood or similar.
Colour: TBA



GLAZING
Sliding Aluminium Doors

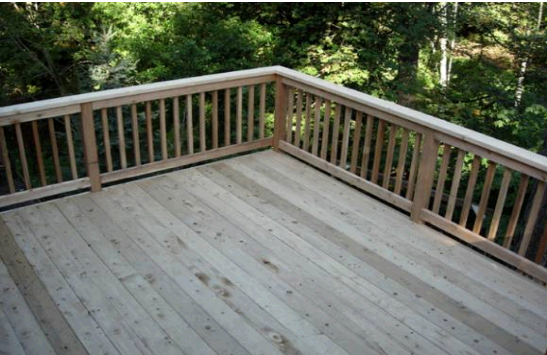


GLAZING
Sliding Aluminium Doors

GLAZING
Matt white aluminium framed.
Bushfire rated where required:
BAL-29 to north-western and south-western windows;
BAL-40 with metal flyscreens to north-eastern and south-eastern windows.
Colours to be confirmed.
To be selected from DCP colour range.



CORRUGATED METAL ROOFING + FLASHING + GUTTERING
New roofing valleys and guttering to be fitted with a non-combustible leaf protection to stop the accumulation of debris.
Colour: Colorbond Woodland Grey



COVERED TIMBER BALCONY + BALUSTRADE
Natural weathered grey hardwood decking and balustrade; non-combustible bushfire resisting timber.



COVERED TIMBER DECKING
Natural weathered grey hardwood decking; non-combustible bushfire resisting timber.



TIMBER GARAGE DOOR: NON-COMBUSTIBLE BUSHFIRE-RESISTING TIMBER
Colour: Natural timber or Colorbond "Woodland Grey" or darker

REQUIRED BAL RATINGS

- North-easterly and south-easterly aspects: BAL-40 (no exposed timber).
- North-westerly and south-westerly aspects: BAL-29 (non-combustible material bushfire resisting timber).
- New fencing to property to be in accordance with Rural Fire Service "Fast Fact 2/06".
- New roofing valleys and guttering to be fitted with a non-combustible leaf protection to stop the accumulation of debris.



S.B.

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PROJECT

WILLIAMS HOUSE
950 BARRENJOEY RD, PALM BEACH
S4.55(1) APPLICATION
FINISHES SCHEDULE

ADDRESS
DOCUMENT
DRAWING

DRAWING NO.
REVISION
SCALE
DATE

DA.10
A
NTS
02.03.22

SARAH BLACKER

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