




Reference number 4497

Member of the Fire Protection Association of Australia

Lot 3, DP 10000, 3 Ross Smith Parade, Great Mackerel Beach, NSW 2108.

Tuesday, 10 October 2023

Prepared and certified by:	Matthew Willis <i>BPAD – Level 3 Certified Practitioner</i> Certification No: BPD-PA 09337		10/10/2023 25/03/2024
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	Yes		
What is the recommended AS 3959-2018 level of compliance?	BAL-29 and 19		
Is referral to the RFS required?	No		
Can this development comply with the requirements of PBP?	Yes		
Plans by "J J Drafting" (Appendix 1) dated.	August 2023		

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Bushfire Risk Assessment

Tuesday, 10 October 2023

Contact

Christopher Logan

3 Ross Smith Parade

Great Mackerel Beach NSW 2108

0418 433 208

Subject Property

Lot 3, DP 10000

3 Ross Smith Parade

Great Mackerel Beach NSW 2108

BUSHFIRE RISK ASSESSMENT CERTIFICATE

THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT.

Property Address	Lot 3, DP 10000, number 3 Ross Smith Parade Great Mackerel Beach
Description of the Proposal	Alterations and additions to an existing building
Plan Reference	August 2023
BAL Rating	BAL-29 and 19
Does the Proposal Rely on Alternate Solutions?	No

I, **Matthew Willis of Bushfire Planning Services Pty Ltd** have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Planning for Bushfire Protection 2019 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby advise, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements*

*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2019.

REPORT REFERENCE	<i>Tuesday, 10 October 2023</i>
REPORT DATE	<i>Tuesday, 10 October 2023</i>
CERTIFICATION NO/ACCREDITED SCHEME	<i>FPAA BPAD A BPD-PA 09337</i>

Attachments:

- Bushfire Risk Assessment Report
- Recommendations

SIGNATURE: ---  ----- **DATE:** ----- *Tuesday, 10 October 2023*

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1 Executive Summary.

Bushfire Planning Services has been requested by Mr Christopher Logan to supply a bushfire compliance report on lot 3, DP 10000, 3 Ross Smith Parade, Great Mackerel Beach.

The works proposed for the subject lot are for the alterations and additions to an existing building, see attached plans for details.

The subject lot is a beachfront lot and at its closest point to the hazard the proposed new work has a separation distance to the north of approximately 13.6m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes gently up slope away from the property.

For the purposes of this assessment this vegetation is considered to be Forested Wetlands.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-29 and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
Vegetation type	Forested Wetland	Managed land	Managed land	Forested Wetland
Slope	All Upslope and Flat Land	N/A	N/A	All Upslope and Flat Land
Setback within lot 3	1m	N/A	N/A	19.27m
Setback outside lot 3	12.6m	N/A	N/A	0m
Total setback	13.6m	N/A	N/A	19.27m
Bal level	BAL-29	N/A	N/A	BAL-19

Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.

2 General.

This proposal relates to the alterations and additions to an existing building on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

3 Block Description.

The subject block is a beach front lot in an established area of Great Mackerel Beach.

The lot currently contains a single-level class 1 dwelling.

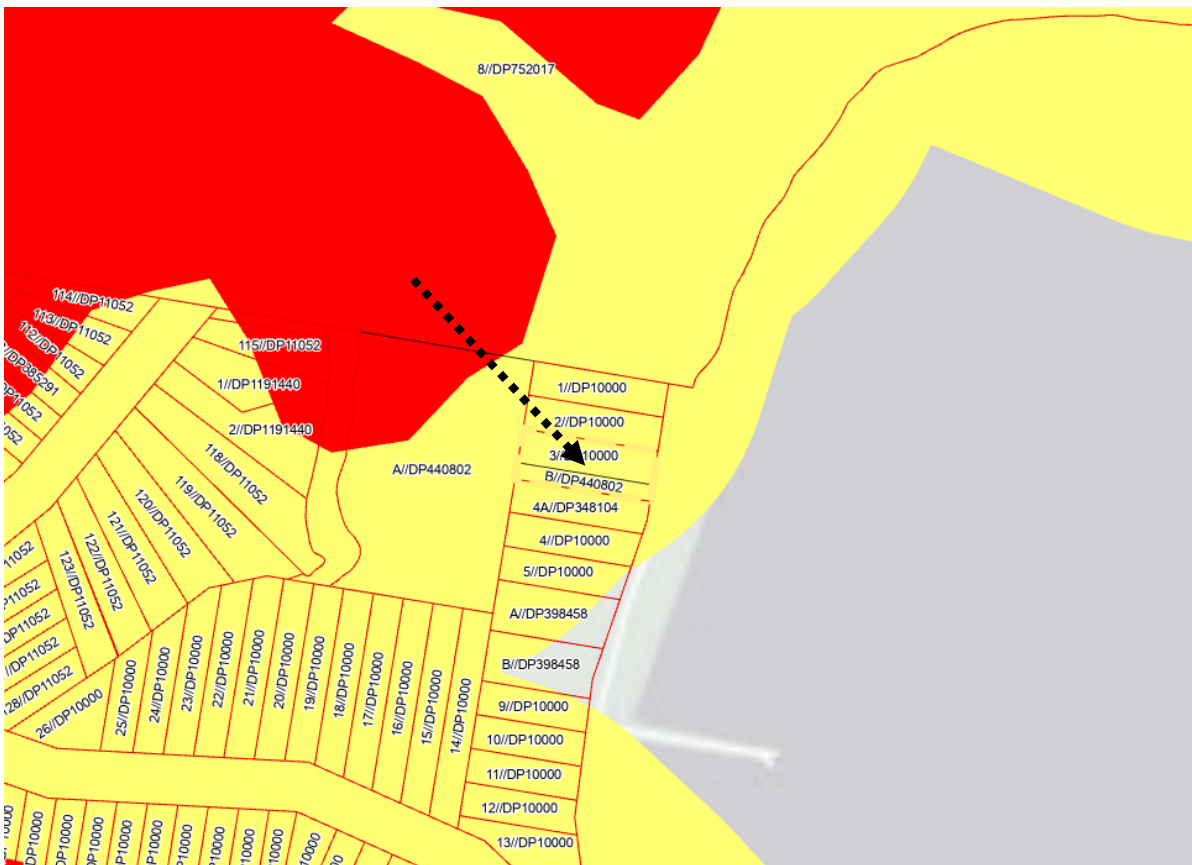
The lands surrounding the proposed site on the subject lot to a distance of at least 13.6m contain existing development or land that is otherwise not considered to be a significant bushfire hazard.

- Lot; 3
- DP; 10000.
- LGA; Northern Beaches.
- Area; 756.01m².
- Address; 3 Ross Smith Parade, Great Mackerel Beach (incorporating lot B, DP440802).

This section has been left blank.



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 3 to be within the buffer zone of category 1 bushfire vegetation.

4 Vegetation.

The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land.

The major potential hazard to this development is the vegetation within an area of undeveloped land to the west and north.

For the purpose of this assessment and compliance with Planning for Bushfire Protection this area of undeveloped land is considered to be Forested Wetlands and is the hazard to this proposal.



Photo 1 - An overview of the vegetation within the general area.

This area has been left intentionally blank.



Photo 2 is a closer view of the vegetation in the area.

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
Vegetation type	Forested Wetland	Managed land	Managed land	Forested Wetland
Setback within lot 3	1m	N/A	N/A	19.27m
Off-site setback	12.6m	N/A	N/A	0m
Total setback	13.6m	N/A	N/A	19.27m

Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.

This area has been left intentionally blank.

5 Known constraints on subject block.

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block. Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

6 Slope.

The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot. An extract of the topographical map for the area is shown below and the relevant slope analysis is shown in Table 2.

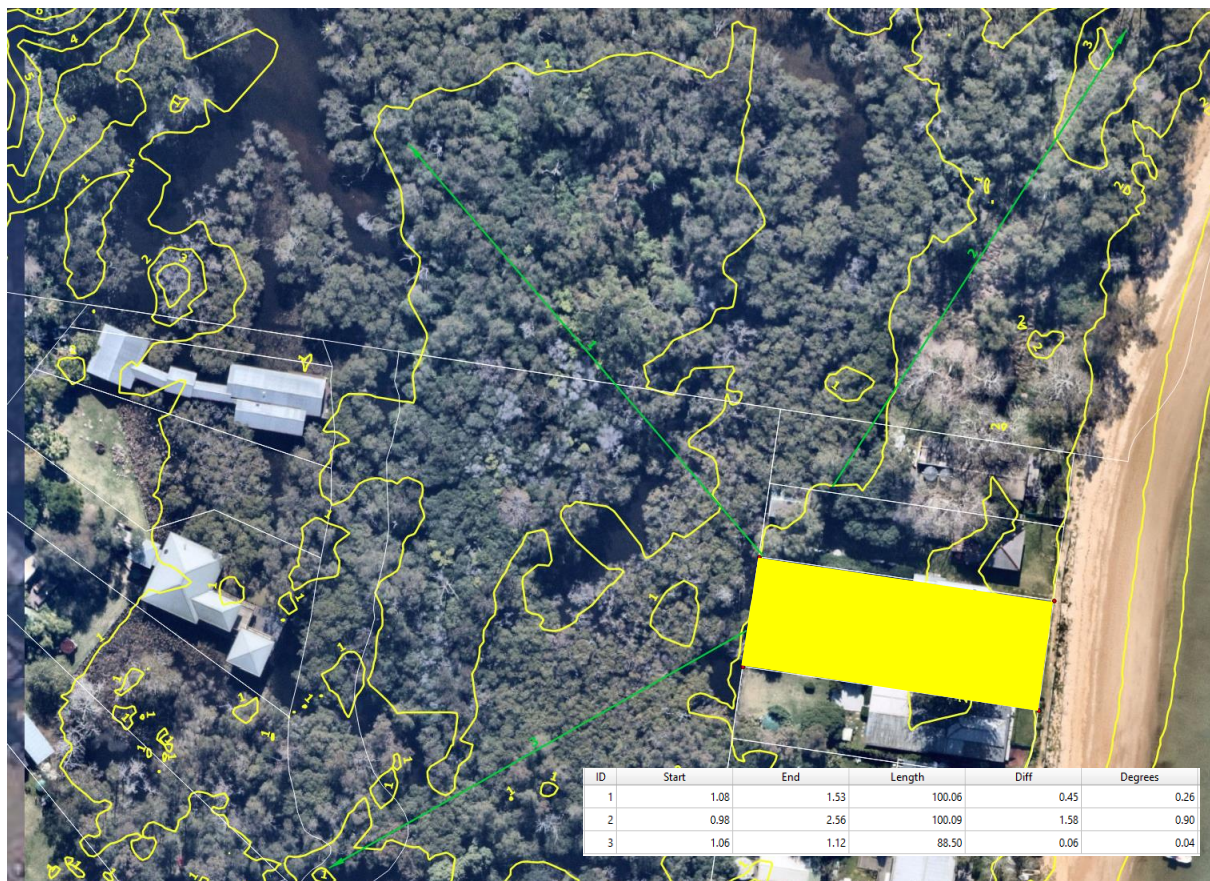


Table 2 shows the slope beneath the hazard.

Aspect	North	East	South	West
Slope	All Upslope and Flat Land	N/A	N/A	All Upslope and Flat Land

Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.

7 Utilities.

7.1 Water.

The subject block will not be serviced by a reliable firefighting reticulated water supply.

7.2 Electricity

Main's electricity is available to the block.

7.3 Gas

It is unknown if bottled gas is to be altered or installed in this proposal.

8 Access/Egress.

There is limited vehicle access to the lot by driving on the beach. Pedestrian access is via the beach or public pathway. Vehicle access to the general area is by ferry.

Analysis of development and recommendation.

9 Compliance with Planning for Bushfire Protection setbacks.

Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2018 BAL-29 and the RFS requirements on all fire prone aspects.

The following table is an extract from table A1.12.5 of Planning for Bushfire Protection 2019. This table is used to calculate the BAL for a proposal in an area with an FDI of 100.

The variables that have already been outlined in this assessment are highlighted in red with the highest BAL highlighted in yellow.

ALL UPSLOPE AND FLAT	Keith Vegetation Formation	BUSHFIRE ATTACK LEVEL (BAL)				
		BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
	Arid-Shrublands (acacia and chenopod)	< 5	5 -< 6	6 -< 9	9 -< 14	14 -< 100
	Forest (wet and dry sclerophyll) including Coastal Swamp Forest, Pine Plantations and Sub-Alpine Woodland	< 18	18 -< 24	24 -< 33	33 -< 45	45 -< 100
	Forested Wetland (excluding Coastal Swamp Forest)	< 7	7 -< 10	10 -< 14	14 -< 21	21 -< 100
	Freshwater Wetlands	< 4	4 -< 5	5 -< 7	7 -< 11	11 -< 100
	Grassland	< 8	8 -< 10	10 -< 15	15 -< 22	22 -< 50

Grassy and Semi-Arid Woodland (including Mallee)	< 9	9 -< 12	12 -< 18	18 -< 26	26 -< 100
Rainforest	< 8	8 -< 11	11 -< 16	16 -< 23	23 -< 100
Short Heath	< 7	7 -< 9	9 -< 14	14 -< 20	20 -< 100
Tall Heath	< 12	12 -< 16	16 -< 23	23 -< 32	32 -< 100

For the purpose of this assessment the west and northern aspect has been chosen as the most potentially hazardous aspect due to the effective slope, potential run of fire and the prevailing fire weather of the area.

10 Siting.

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

Recommendation;

Nil.

11 Construction and design.

All new work is to be undertaken in accordance with the relevant requirements of the NCC and AS3959 2018. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

Recommendation; all new work to the northern section of the dwelling.

1. New construction as above shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
2. New construction as above shall also comply with the requirements of BAL-29 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

Recommendation; all new work to the southern section of the dwelling (Gym etc).

3. New construction as above shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
4. New construction as above shall also comply with the requirements of BAL-19 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

5. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

AS-3959 2018 is available as PDF from;

https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/

12 Utilities.

12.1 Water.

The subject lot will not be connected to a reticulated water supply. As a result, a Static Water Supply (SWS) is required to be established and maintained on site to the following specifications.

6. A minimum 5,000 L water supply is to be made available for firefighting purposes and be constructed in accordance with the following features.

- A connection for firefighting purposes is located within the IPA or non-hazard side and away from the structure; 65mm Storz outlet with a ball valve is fitted to the outlet;
- Ball valve and pipes are adequate for water flow and are metal;
- Supply pipes from tank to ball valve have the same bore size to ensure flow volume;
- Underground tanks have an access hole of 200mm to allow tankers to refill direct from the tank;
- A hardened ground surface for truck access is supplied within 4m;
- Above-ground tanks are manufactured from concrete or metal;
- Raised tanks have their stands constructed from non-combustible material or bush fire-resisting timber (see Appendix F of AS 3959);
- Unobstructed access can be provided at all times;
- Underground tanks are clearly marked;
- Tanks on the hazard side of a building are provided with adequate shielding for the protection of firefighters;
- All exposed water pipes external to the building are metal, including any fittings;
- A pump is to be provided with a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack; any hose and reel for firefighting connected to the pump shall be 19mm internal diameter; and
- If fitted, fire hose reels are constructed in accordance with AS/NZS 1221:1997 and installed in accordance with the relevant clauses of AS 2441:2005.
- A 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned for ease of identification by brigade personnel and other users of the SWS. In this regard:
 - a) Markers must be fixed in a suitable location so as to be highly visible; and
 - b) Markers should be positioned adjacent to the most appropriate access for the static water supply.

12.2 Electricity and Gas.

Recommendation;

7. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

13 Asset Protection Zone (APZ).

The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

Recommendation;

8. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

14 Landscaping.

Recommendation;

9. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.

10. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following landscaping principles are, where applicable, to be incorporated into the development¹:

- Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
- Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
- Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
- Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
- Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
- When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;

¹Refer to referenced documents for a complete description.

- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

15 Constraints on the subject block.

None known.

Recommendation;

Nil

16 Access/Egress.

There is on opportunity for the proponent to improve vehicle access to the lot.

Recommendation

Nil

17 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<p>APZ A defensible space is provided onsite. An APZ is provided and maintained for the life of the development.</p>	<p>Achievable with the implementation of the recommendations in section 13</p>
<p>SITING AND DESIGN: Buildings are sited and designed to minimise the risk of bush fire attack.</p>	<p>Achievable with the implementation of the recommendations in section 10</p>
<p>CONSTRUCTION STANDARDS: It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.</p>	<p>Achievable with the implementation of the recommendations in section 11</p>

<p>ACCESS</p> <p>Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>	<p>Achievable with the implementation of the recommendations in section 16</p>
<p>WATER AND UTILITY SERVICES:</p> <ul style="list-style-type: none"> • adequate water and electricity services are provided for firefighting operations • Gas and electricity services are located so as not to contribute to the risk of fire to a building. 	<p>Achievable with the implementation of the recommendations in section 12</p>
<p>LANDSCAPING:</p> <ul style="list-style-type: none"> • it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions. 	<p>Achievable with the implementation of the recommendations in section 14</p>

18 Conclusions.

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its

representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



Matthew Willis
Grad Dip Planning for Bushfire Prone Areas
Bushfire Planning Services Pty Limited

19 References.

- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

20 Appendix 1 - Plans .

DEVELOPMENT APPLICATION

3 ROSS SMITH - GREAT MACKEREL BEACH NSW 2108

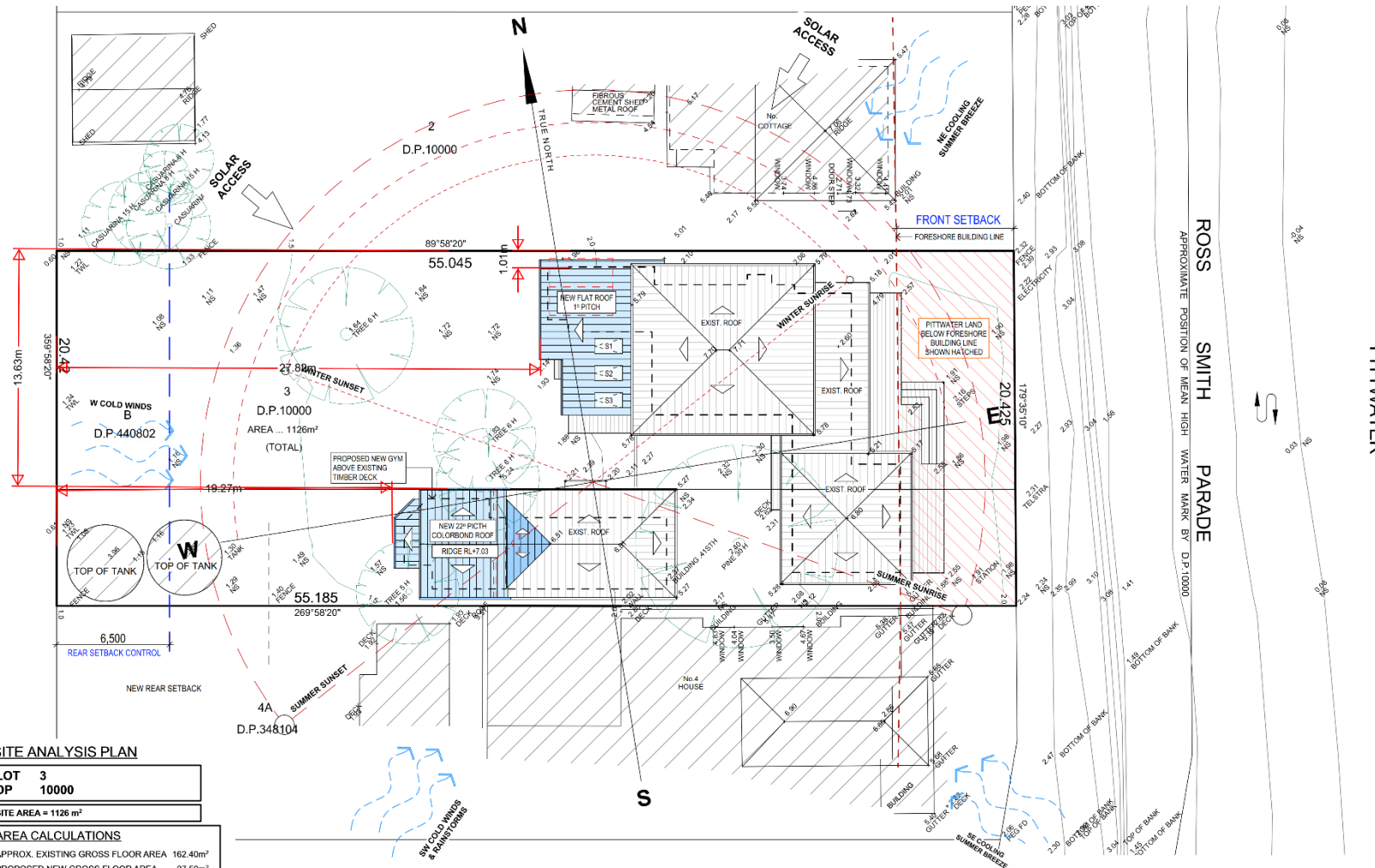
Prepared By *JJ Drafting AUSTRALIA PTY LTD*

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DA.02	EXISTING FLOOR PLAN
DA.03	EXISTING ELEVATIONS SHEET 1
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DA.05	PROPOSED GROUND FLOOR PLAN
DA.06	EAST AND NORTH ELEVATIONS
DA.07	WEST & SOUTH ELEVATIONS
DA.08	SECTION AA & SECTION BB
DA.09	BASIX & SPECIFICATIONS NOTES
DA.10	LANDSCAPED AREA CALCULATION PLAN
DA.11	ROOF & STORMWATER CONCEPT PLAN
DA.12	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.13	SHADOW DIAGRAM JUNE 21 9:00 am
DA.14	SHADOW DIAGRAM JUNE 21 12 noon
DA.15	SHADOW DIAGRAM JUNE 21 3:00 pm



SITE ANALYSIS PLAN

LOT 3
DP 10000

SITE AREA = 1126 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 162.40m²
PROPOSED NEW GROSS FLOOR AREA 27.50m²
TOTAL GROSS FLOOR AREA 189.90m²



NOTES (E & OE)

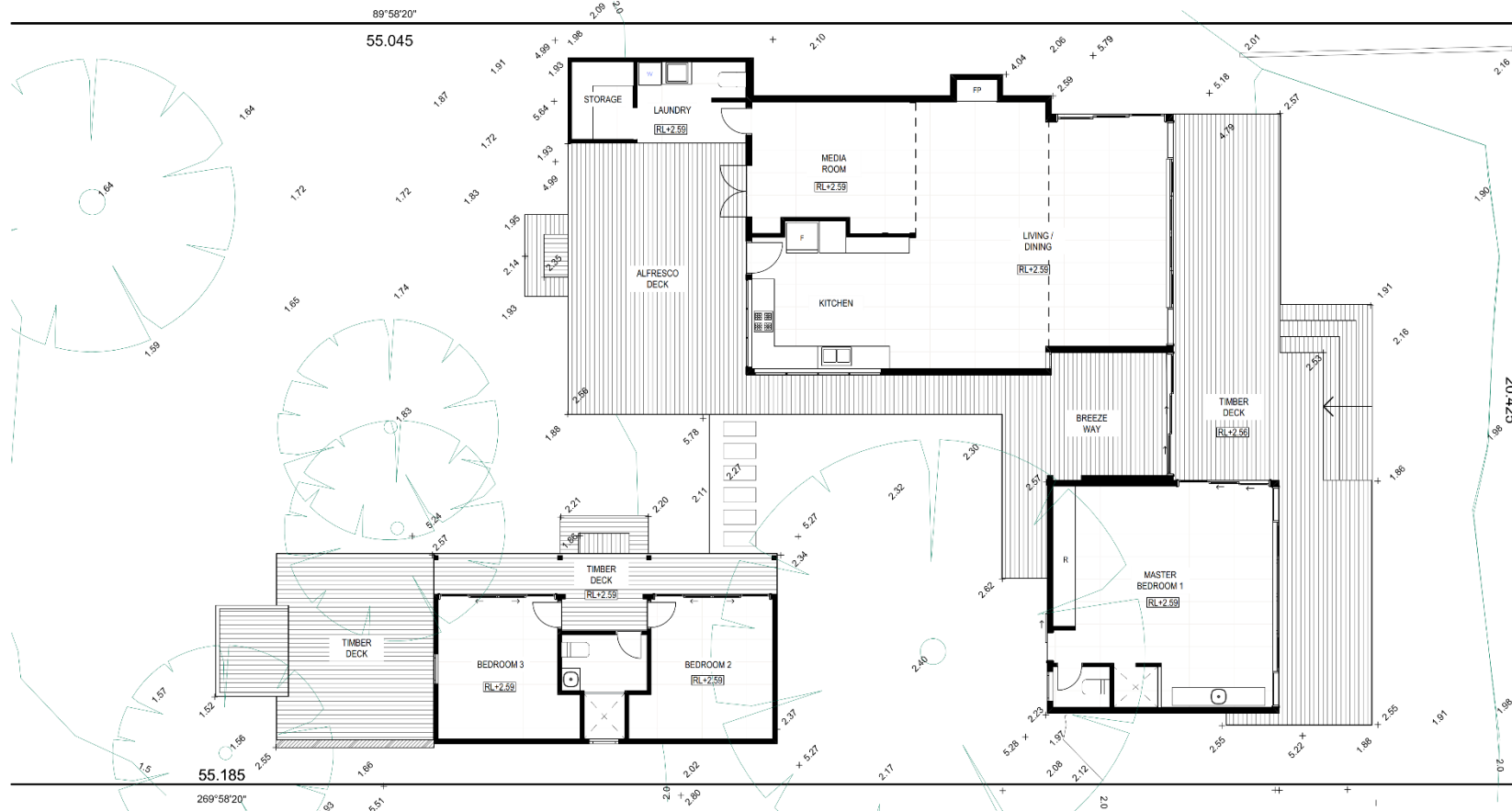
- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultants drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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ACN 651 093 346

REV:	DATE:	DESCRIPTION:
A	21/08/23	PRELIMINARY DRAWINGS UPDATED
B	23/08/23	PRELIMINARY DRAWINGS UPDATED
C	13/09/23	PRELIMINARY DRAWINGS UPDATED
D	27/10/23	DA DRAWINGS UPD. AS PER FLOOD CONTROLS
E	30/10/23	DA DRAWINGS UPD. - REQUIRED PMF LEVEL
F	06/04/23	DA DRAWINGS - GYM NEW LOCATION ABOVE DECK

PROPOSED ALTERATIONS AND ADDITIONS
3 Ross Smith - Great Mackerel Beach NSW 2108
CLIENT:
Christopher & Victoria Logan
DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:	DRAWN BY:	SCALE:
AUGUST/23	LB	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1178/23	JJ	DA.01



EXISTING GROUND FLOOR

GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	89.00
GROSS FLOOR AREA - EXISTING	38.80
GROSS FLOOR AREA - EXISTING	34.60
	162.40 m ²



NOTES (E & OE)

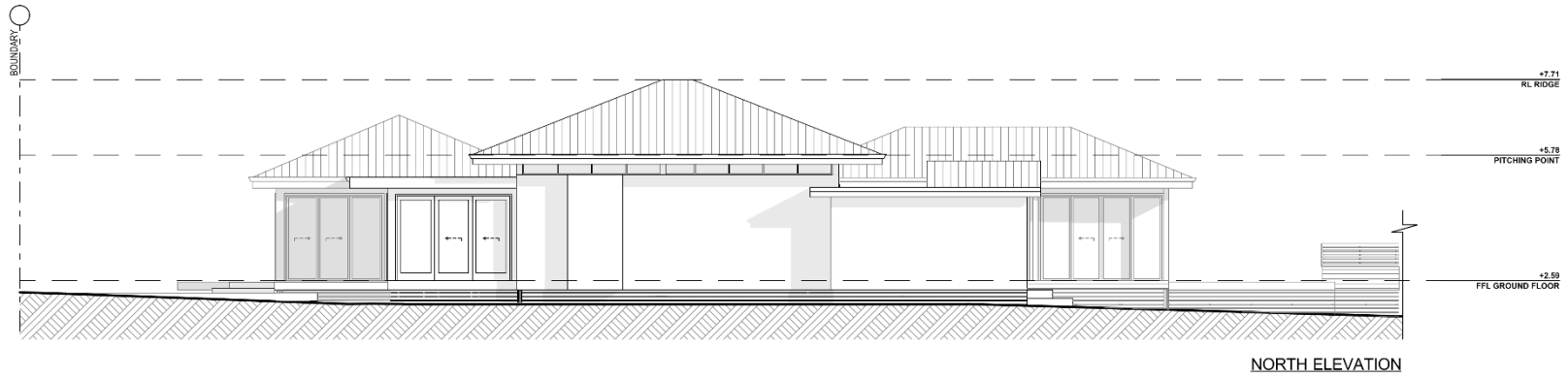
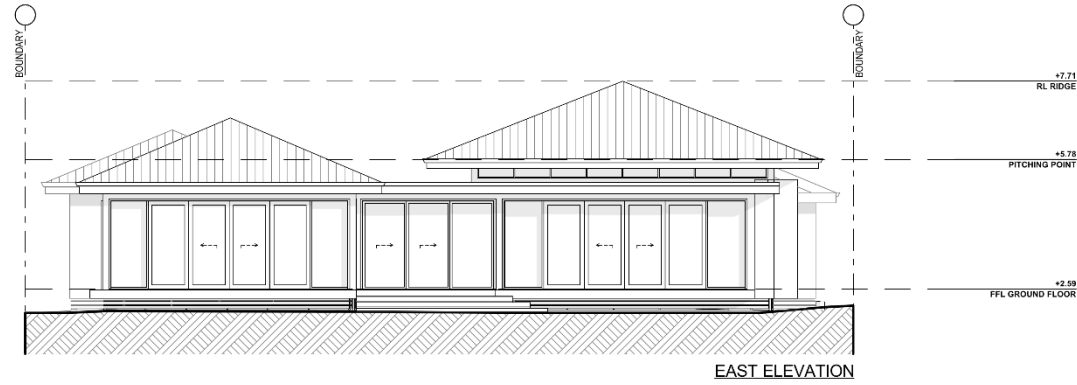
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- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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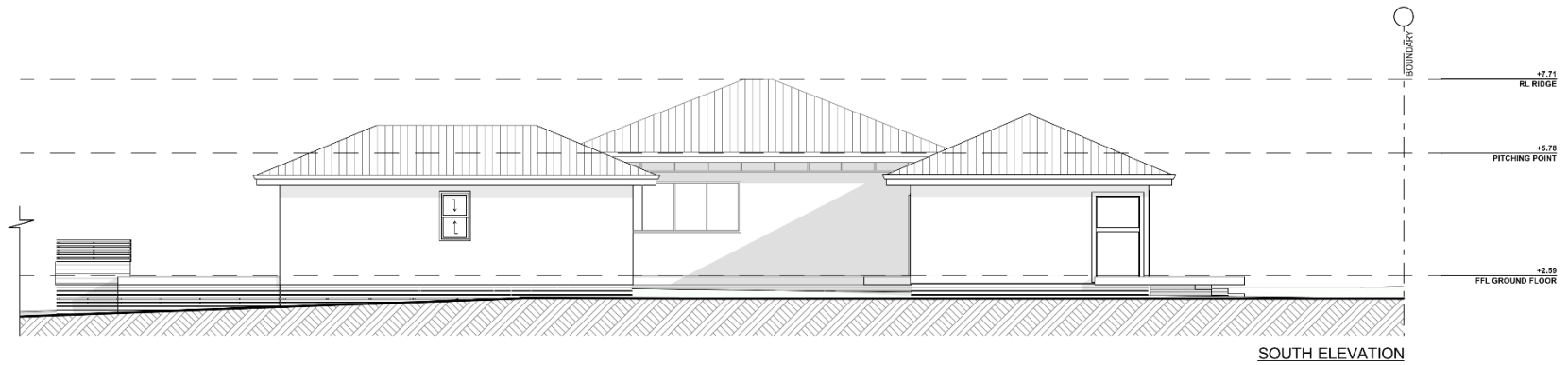
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E	30/10/23	DA DRAWINGS UPD. - REQUIRED PMF LEVEL
F	06/04/23	DA DRAWINGS - GYM NEW LOCATION ABOVE DECK

PROPOSED ALTERATIONS AND ADDITIONS
3 Ross Smith - Great Mackerel Beach NSW 2108
CLIENT: Christopher & Victoria Logan
DRAWING TITLE: EXISTING FLOOR PLAN

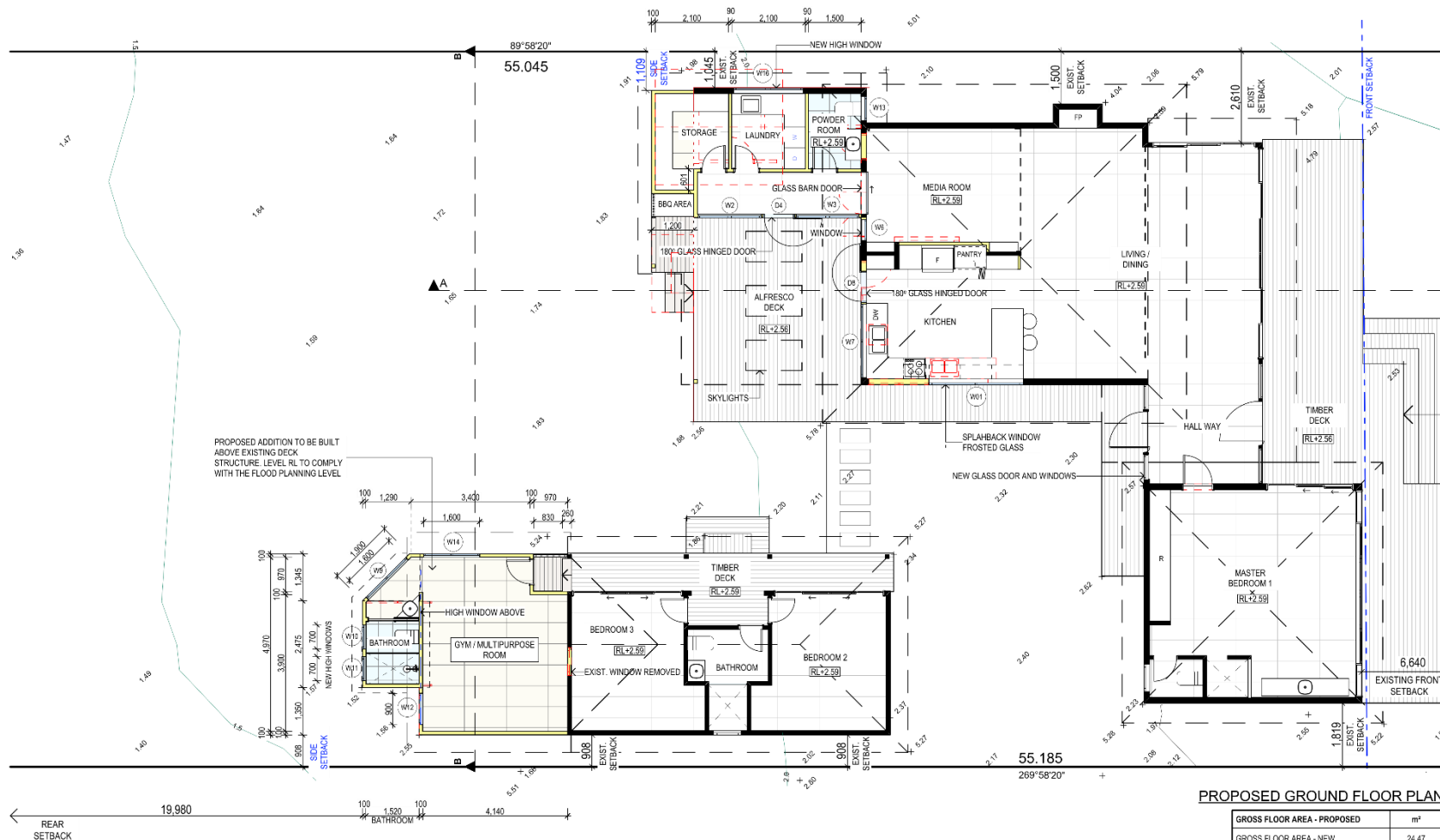
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JOB No: 1178/23	CHECKED BY: JJ	DRAWING No: DA.02



<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> All structures including skidwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultants drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. 	<p>JJ Drafting Australia P/L</p> <p>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email: enquiries@jkdrafting.com.au www.jkdrafting.com.au ACN 651 093 346</p>	<p>REV: DATE: DESCRIPTION:</p> <p>A 21/08/23 PRELIMINARY DRAWINGS UPDATED</p> <p>B 23/08/23 PRELIMINARY DRAWINGS UPDATED</p> <p>C 13/08/23 PRELIMINARY DRAWINGS UPDATED</p> <p>D 27/10/23 DA DRAWINGS UPD. AS PER FLOOD CONTROLS</p> <p>E 30/10/23 DA DRAWINGS UPD - REQUIRED PMF LEVEL</p> <p>F 06/04/23 DA DRAWINGS - GYM NEW LOCATION ABOVE DECK</p>	<p>PROPOSED ALTERATIONS AND ADDITIONS</p> <p>3 Ross Smith - Great Mackerel Beach NSW 2108</p> <p>CLIENT: Christopher & Victoria Logan</p>	<p>DATE: AUGUST/23</p>	<p>DRAWN BY: LB</p>	<p>SCALE: 1:100 @ A3</p>
		<p>DRAWING TITLE: EXISTING ELEVATIONS SHEET 1</p>	<p>JOB No: 1178/23</p>	<p>CHECKED BY: JJ</p>	<p>DRAWING No: DA.03</p>	



<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultants drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. 	<p>JJ Drafting Australia P/L</p> <p>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 987, Dee Why, NSW, 2099 Mob. 0414 717 541 Email: enquiries@jjdrafting.com.au www.jjdrafting.com.au ACN 651 093 346</p>	<p>REV: DATE: DESCRIPTION:</p> <p>A 21/08/23 PRELIMINARY DRAWINGS UPDATED B 23/08/23 PRELIMINARY DRAWINGS UPDATED C 13/08/23 PRELIMINARY DRAWINGS UPDATED D 27/10/23 DA DRAWINGS UPD. AS PER FLOOD CONTROLS E 30/10/23 DA DRAWINGS UPD - REQUIRED PMF LEVEL F 08/04/23 DA DRAWINGS - GYM NEW LOCATION ABOVE DECK</p>	<p>PROPOSED ALTERATIONS AND ADDITIONS</p> <p>3 Ross Smith - Great Mackerel Beach NSW 2108 CLIENT: Christopher & Victoria Logan</p>	<p>DATE: AUGUST/23</p>	<p>DRAWN BY: LB</p>	<p>SCALE: 1:100 @ A3</p>
		<p>DRAWING TITLE: EXISTING ELEVATIONS SHEET 2</p>	<p>JOB No: 1178/23</p>	<p>CHECKED BY: JJ</p>	<p>DRAWING No: DA.04</p>	



PROPOSED GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	24.47
GROSS FLOOR AREA - EXISTING	3.03
GROSS FLOOR AREA - TOTAL	27.50 m²



NOTES (E & OE)

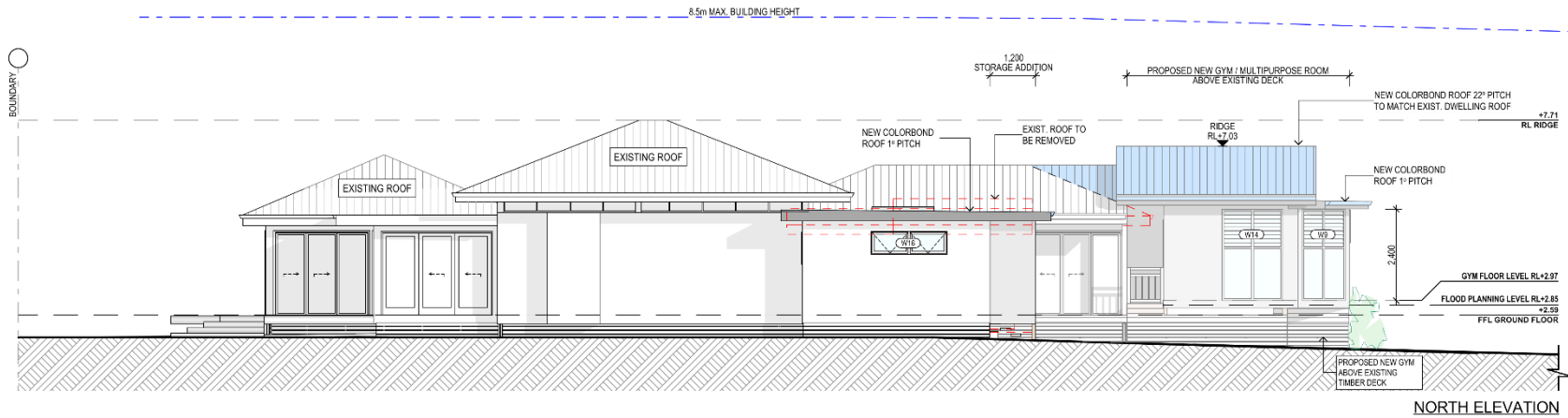
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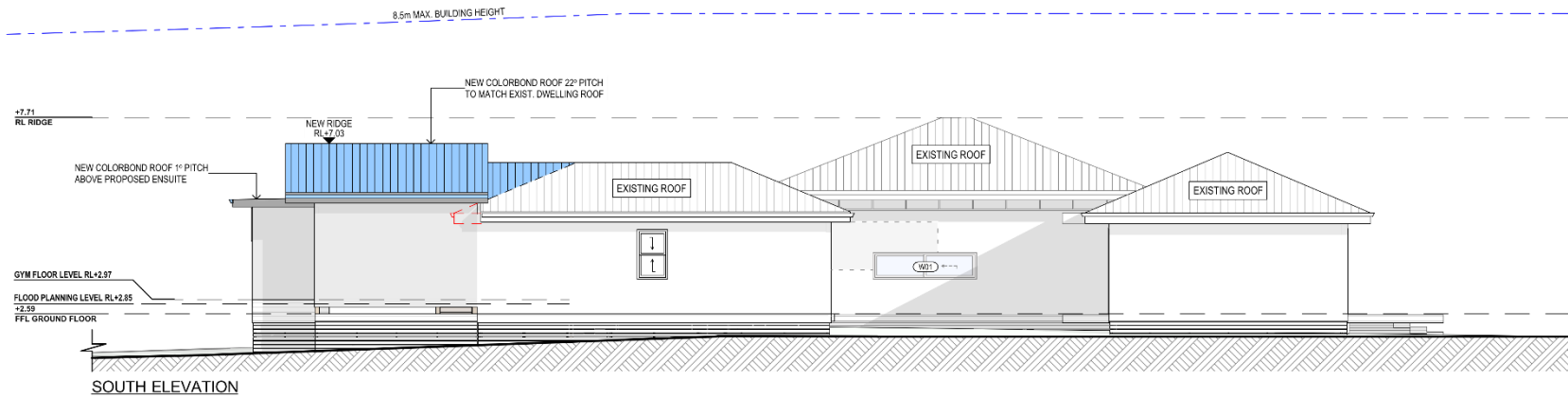
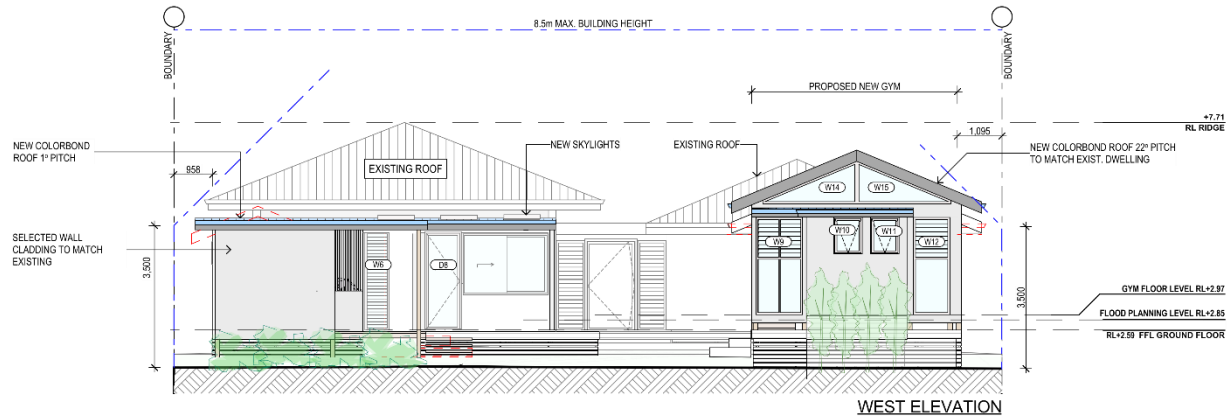
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PROPOSED ALTERATIONS AND ADDITIONS
3 Ross Smith - Great Mackerel Beach NSW 2108
CLIENT: Christopher & Victoria Logan
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN

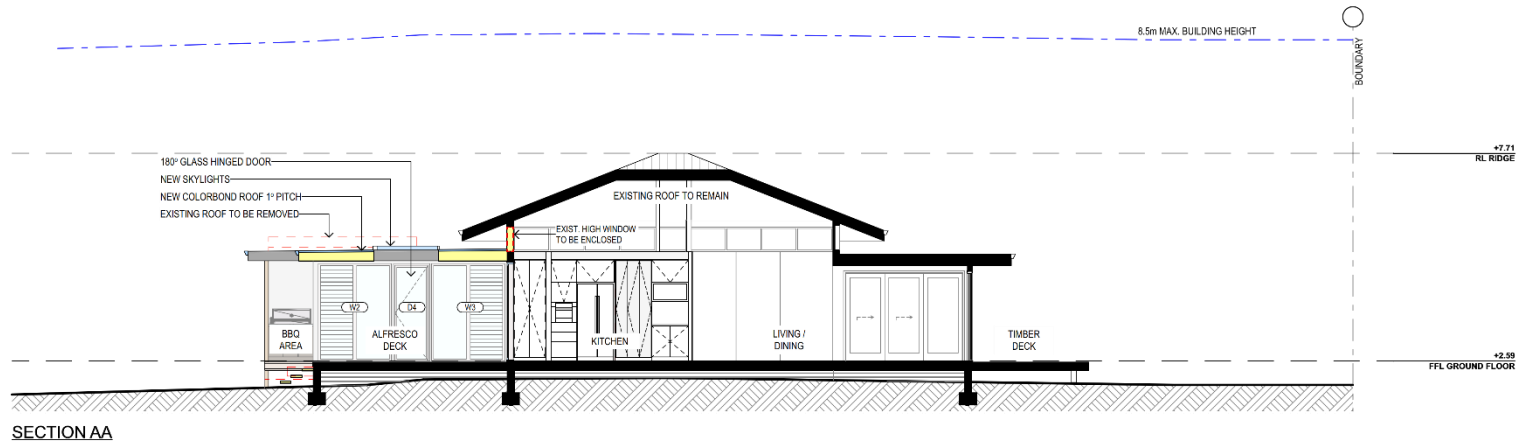
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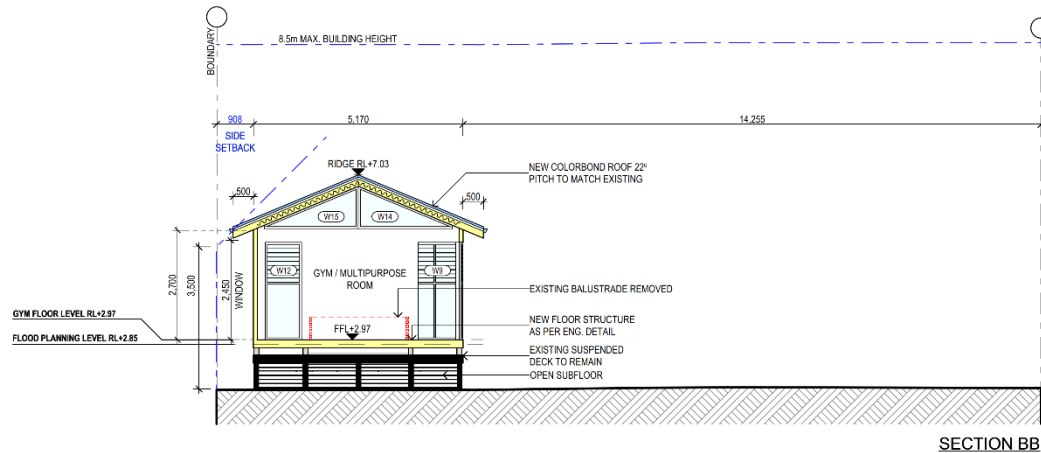
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		<p>DRAWING TITLE: EAST AND NORTH ELEVATIONS</p>				



<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultants drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. 	<p>JJ Drafting <i>Australia P/L</i></p> <p>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 987, Dee Why, NSW, 2099 Mob. 3414 717 541 Email: enquiries@jkdrafting.com.au www.jkdrafting.com.au ACN 651 093 346</p>	<table border="1"> <thead> <tr> <th>REV:</th> <th>DATE:</th> <th>DESCRIPTION:</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>21/08/23</td> <td>PRELIMINARY DRAWINGS UPDATED</td> </tr> <tr> <td>B</td> <td>23/08/23</td> <td>PRELIMINARY DRAWINGS UPDATED</td> </tr> <tr> <td>C</td> <td>13/09/23</td> <td>PRELIMINARY DRAWINGS UPDATED</td> </tr> <tr> <td>D</td> <td>27/10/23</td> <td>DA DRAWINGS UPD. AS PER FLOOD CONTROLS</td> </tr> <tr> <td>E</td> <td>30/10/23</td> <td>DA DRAWINGS UPD. - REQUIRED PMF LEVEL</td> </tr> <tr> <td>F</td> <td>06/04/23</td> <td>DA DRAWINGS - GYM NEW LOCATION ABOVE DECK</td> </tr> </tbody> </table>	REV:	DATE:	DESCRIPTION:	A	21/08/23	PRELIMINARY DRAWINGS UPDATED	B	23/08/23	PRELIMINARY DRAWINGS UPDATED	C	13/09/23	PRELIMINARY DRAWINGS UPDATED	D	27/10/23	DA DRAWINGS UPD. AS PER FLOOD CONTROLS	E	30/10/23	DA DRAWINGS UPD. - REQUIRED PMF LEVEL	F	06/04/23	DA DRAWINGS - GYM NEW LOCATION ABOVE DECK	<p>PROPOSED ALTERATIONS AND ADDITIONS 3 Ross Smith - Great Mackerel Beach NSW 2108</p> <p>CLIENT: Christopher & Victoria Logan</p> <p>DRAWING TITLE: WEST & SOUTH ELEVATIONS</p>	<table border="1"> <thead> <tr> <th>DATE:</th> <th>DRAWN BY:</th> <th>SCALE:</th> </tr> </thead> <tbody> <tr> <td>AUGUST/23</td> <td>LB</td> <td>1:100 @ A3</td> </tr> </tbody> </table>	DATE:	DRAWN BY:	SCALE:	AUGUST/23	LB	1:100 @ A3
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SECTION AA



SECTION BB

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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3 Ross Smith - Great Mackerel Beach NSW 2108	
CLIENT: Christopher & Victoria Logan	
DRAWING TITLE:	SECTION AA & SECTION BB
JOB No:	1178/23
CHECKED BY:	JJ
DRAWING No:	DA.08

BASIX REQUIREMENT:	
BASIX Inclusions for 3 Ross Smith - Great Mackerel Beach NSW 2108	
LIGHTING REQUIREMENTS	
80% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS	
WATER	
- SHOWER RATING	MINIMUM 3 STAR
- TAP RATING	MINIMUM 3 STAR
- WC 8 RATING	MINIMUM 3 STAR
INSULATION REQUIREMENTS	
CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
SUSPENDED FLOOR WITH OPEN SUBFLOOR	R 0.80 (DOWN) OR R 1.50 INCLUDING CONSTRUCTION
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
RAKED CEILING, PITCHED/SKILLION ROOF-FRAMED	Ceiling R2.24 (up), roof: foil backed blanket (55 mm) Solar absorptance 0.475 - 0.70 = medium
GLAZING DOORS / WINDOWS	
- STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	
WINDOWS - W1, W2, W3, D4, W6, W7, D8, W13, W14, W15	
- ALUMINIUM DOUBLE Lo-Total / air gap clear (U-value: 4.90, SHGC: 0.33)	
WINDOWS - W9, W10, W11, W12, W16	

SPECIFICATION NOTES

INTERNAL LINING
- PROVIDE PLASTERBOARD LINING

EXTERNAL WALLS:
- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS1984 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1662 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:
- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8

FLOOR:
- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH NCC 2022.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:
- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC 2022: HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4684 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:
SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:
- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:
- NCC VOL 2 PART 3.5.2.

CONCRETE:
- SHALL BE IN ACCORDANCE WITH NCC VOL 1 PART B1 4 OR VOL 2 PART 3.2.3
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:
- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:
TO BE IN ACCORDANCE WITH NCC 2022.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:
- TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3 & 4 AS 3600.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:
ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4001 & AS/NZS 4002 - TO COMPLY WITH NCC2022.
TIMBER FRAMING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:
ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:
- TO BE IN ACCORDANCE WITH NCC2022.

FLASHING AND CAPRINGS:
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP
- PROVIDE FOR REQUIREMENT MOVEMENT BETWEEN ROOF AND PROJECTION
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2004 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:
- TO COMPLY WITH NCC2022

LIGHTING:
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

WATERPROOFING FOR EXTERNAL TILDED BALCONIES:
- WATERPROOFING TO COMPLY WITH NCC2022

DOORS & WINDOWS:
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC2022 - ALUMINIUM WINDOWS AND TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS:
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN NCC2022
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMP, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 850mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 850mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN NCC2022.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 4596 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:
- EAVES GUTTERS, VALLEY GUTTERS AND DOWNPIPES
- IN ACCORDANCE WITH NCC 2022
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:
- ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 6, AS 1598 & AS/NZS 2208
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

FIRE SAFETY, SMOKE DETECTORS/ALARMS:
- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.7.5
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1a AND 1b MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SECTIONS 3.7.5.3 and 3.7.5.4
- FIRE SEPARATING WALL & WALL WITH 300MM OF BOUNDARY INSTALLATION CERTIFICATE (FR1000) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL 2 PART NSW FROM CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3958 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

WASTE MANAGEMENT:
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

SWIMMING POOLS & SAFETY:
- POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW HTD2, AS 1626.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW HTD2, AS 1626.1 - 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS NCC2022 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONAL Y COMPLY WITH NCC2022 - SAFETY GLASS,
- AS 2793 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:
- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5901 GAS INSTALLATIONS.

NOTE:
- ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

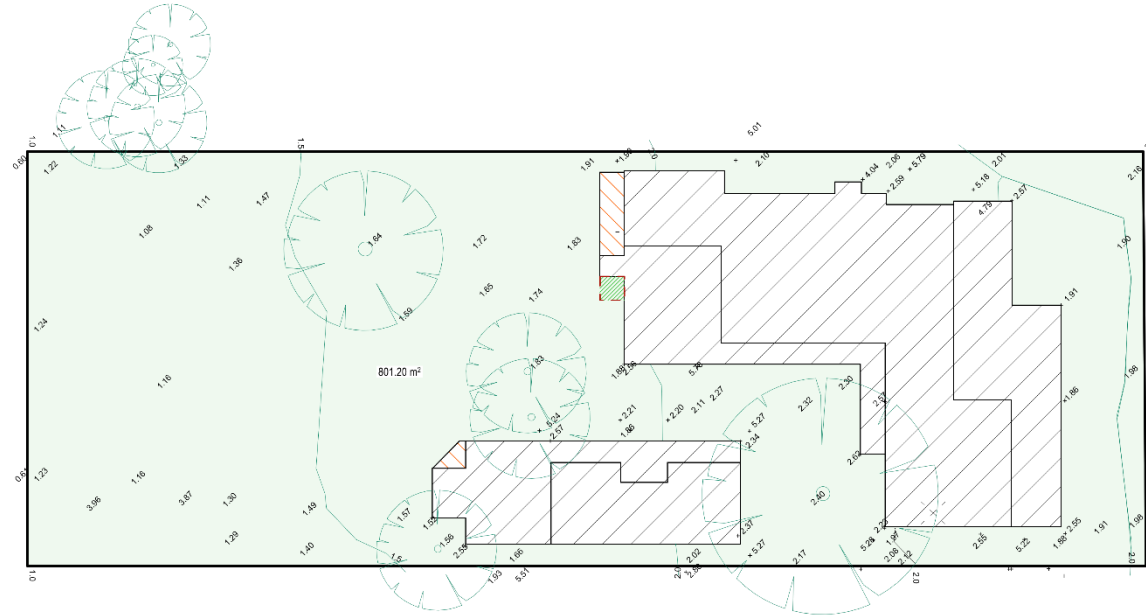
NOTES (E & OE)

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E	30/10/23	DA DRAWINGS UPD. - REQUIRED PFM LEVEL
F	06/04/23	DA DRAWINGS - GYM NEW LOCATION ABOVE DECK

PROPOSED ALTERATIONS AND ADDITIONS 3 Ross Smith - Great Mackerel Beach NSW 2108 CLIENT: Christopher & Victoria Logan	DATE: AUGUST/23	DRAWN BY: LB	SCALE: 1:1.25, 1:1.43 @ A3
DRAWING TITLE: BASIX & SPECIFICATIONS NOTES	JOB No: 1178/23	CHECKED BY: JJ	DRAWING No: DA.09



LANDSCAPED AREA CALCULATION PLAN

CALCULATIONS		
SITE AREA		1126m ²
LANDSCAPE CONTROL SITE >1000m ²	Max. hard surface 230m ²	896m ²
EXISTING LANDSCAPED AREA	71.56%	805.80m ²
HARD SURFACE AREA REINSTATE TO LAWN		
TOTAL LANDSCAPED AREA	71.15%	801.20m ²
EXISTING HARD SURFACE AREA		320.20m ²
HARD SURFACE AREA TO BE RETAINED		319.90m ²
NEW HARD SURFACE AREA		88.30m ²
TOTAL HARD SURFACE AREA		408.20m ²

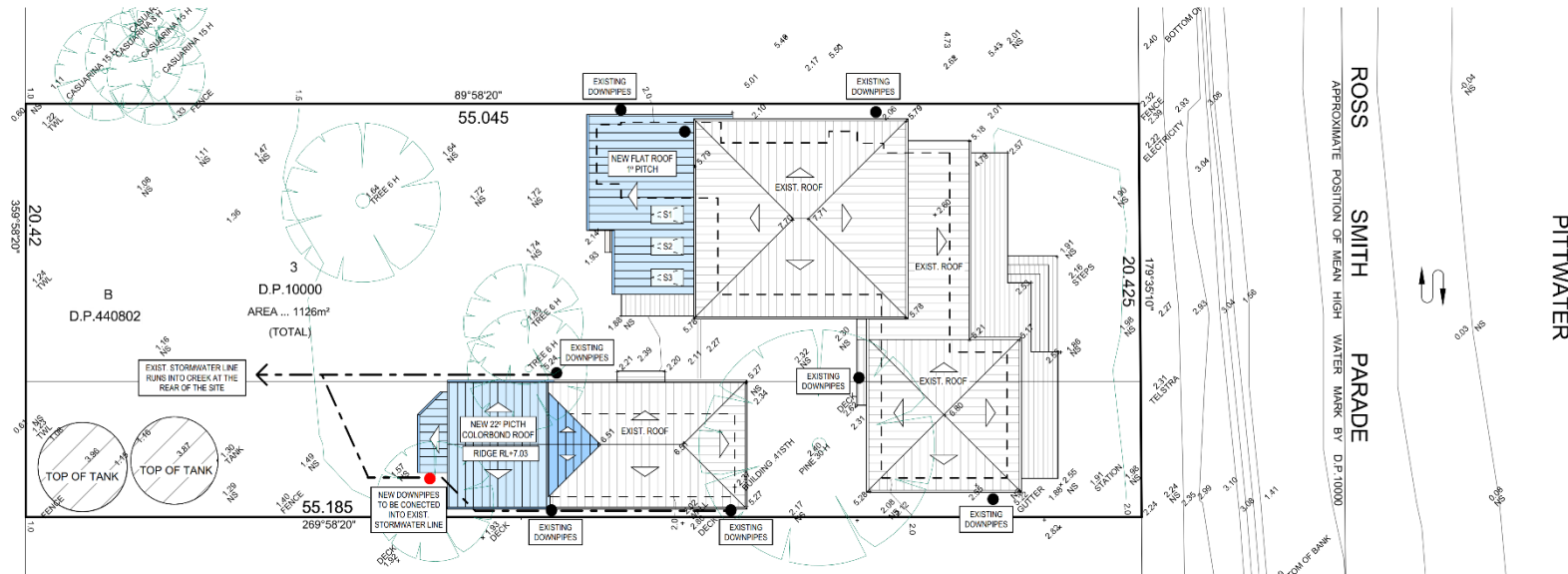
<p>TRUE NORTH:</p>	<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultants drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.
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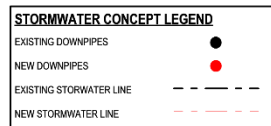
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F	06/04/23	DA DRAWINGS - GYM NEW LOCATION ABOVE DECK

<p>PROPOSED ALTERATIONS AND ADDITIONS</p> <p>3 Ross Smith - Great Mackerel Beach NSW 2108</p> <p>CLIENT: Christopher & Victoria Logan</p>
<p>DRAWING TITLE: LANDSCAPED AREA CALCULATION PLAN</p>

<p>DATE: AUGUST/23</p>	<p>DRAWN BY: LB</p>	<p>SCALE: 1:1, 1:200 @ A3</p>
<p>JOB No: 1178/23</p>	<p>CHECKED BY: JJ</p>	<p>DRAWING No: DA.10</p>



ROOF & STORMWATER CONCEPT PLAN



TRUE NORTH:

NOTES (E & OE)

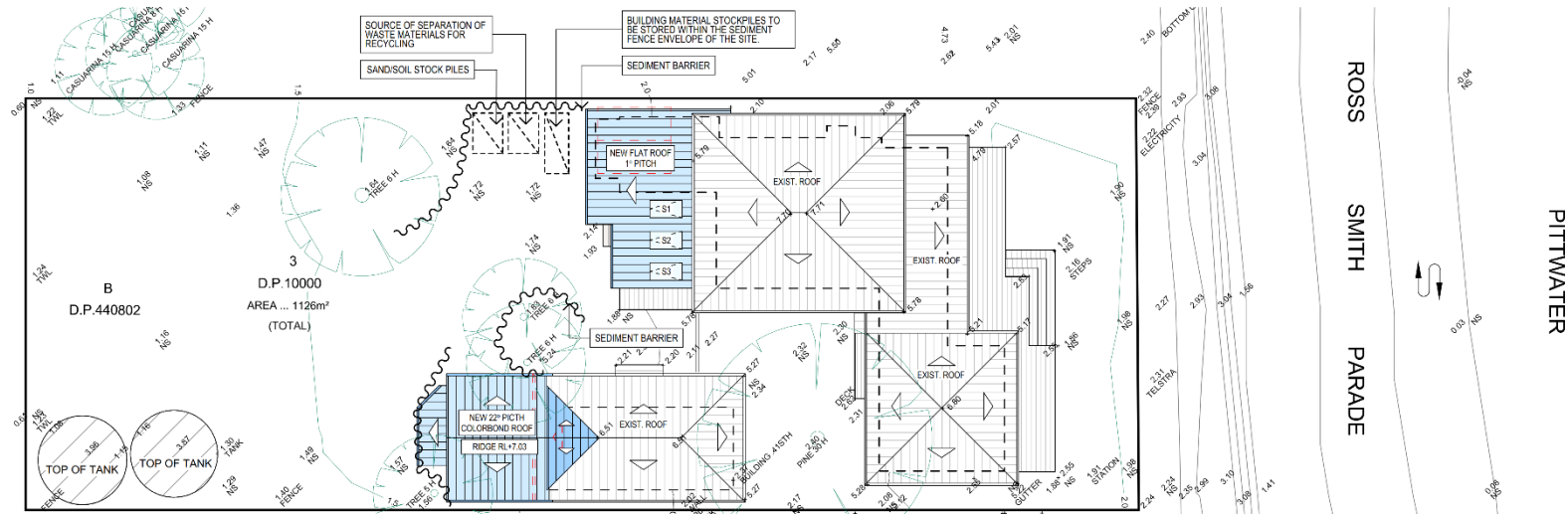
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PROPOSED ALTERATIONS AND ADDITIONS
3 Ross Smith - Great Mackerel Beach NSW 2108
CLIENT:
Christopher & Victoria Logan
DRAWING TITLE:
ROOF & STORMWATER CONCEPT PLAN

DATE: AUGUST/23	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1178/23	CHECKED BY: JJ	DRAWING No: DA.11



EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

NOTES

DESIGNATED SITE MANAGER/BUILDER
PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT
PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWPATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING
SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES
A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

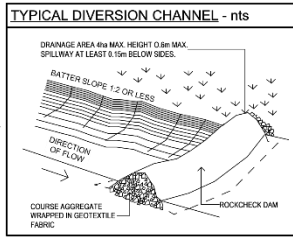
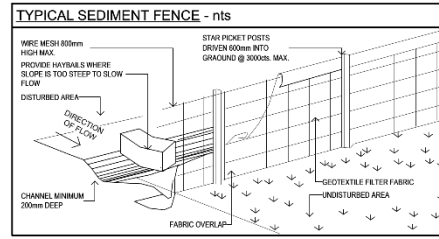
DUST CONTROL
ALL TRUCKS/SITES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS
APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



TRUE NORTH:

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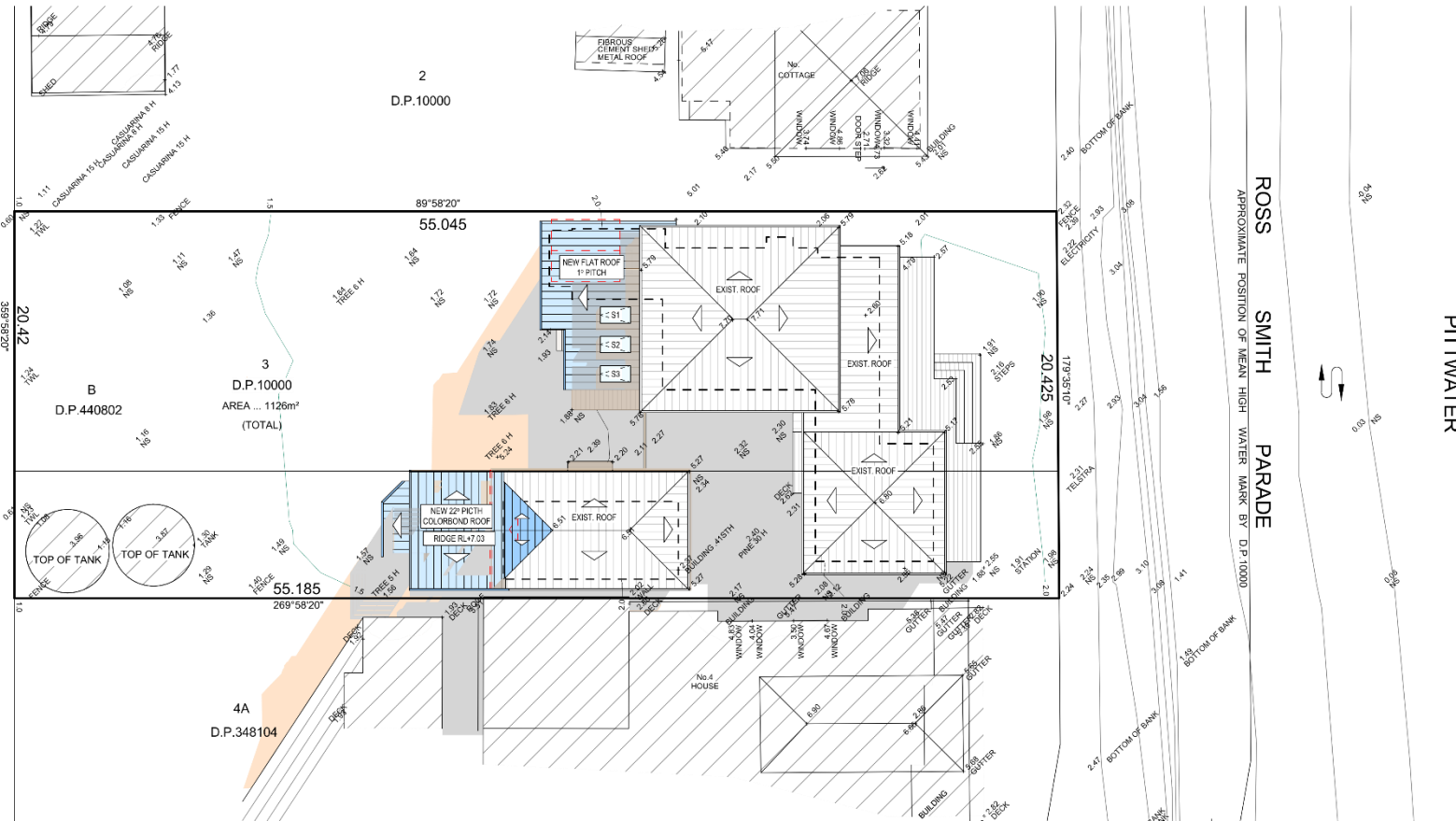
PROPOSED ALTERATIONS AND ADDITIONS

3 Ross Smith - Great Mackerel Beach NSW 2108

CLIENT:
Christopher & Victoria Logan

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

DATE: AUGUST/23	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1178/23	CHECKED BY: JJ	DRAWING No: DA.12



SHADOW DIAGRAM JUNE 21 9:00 am

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

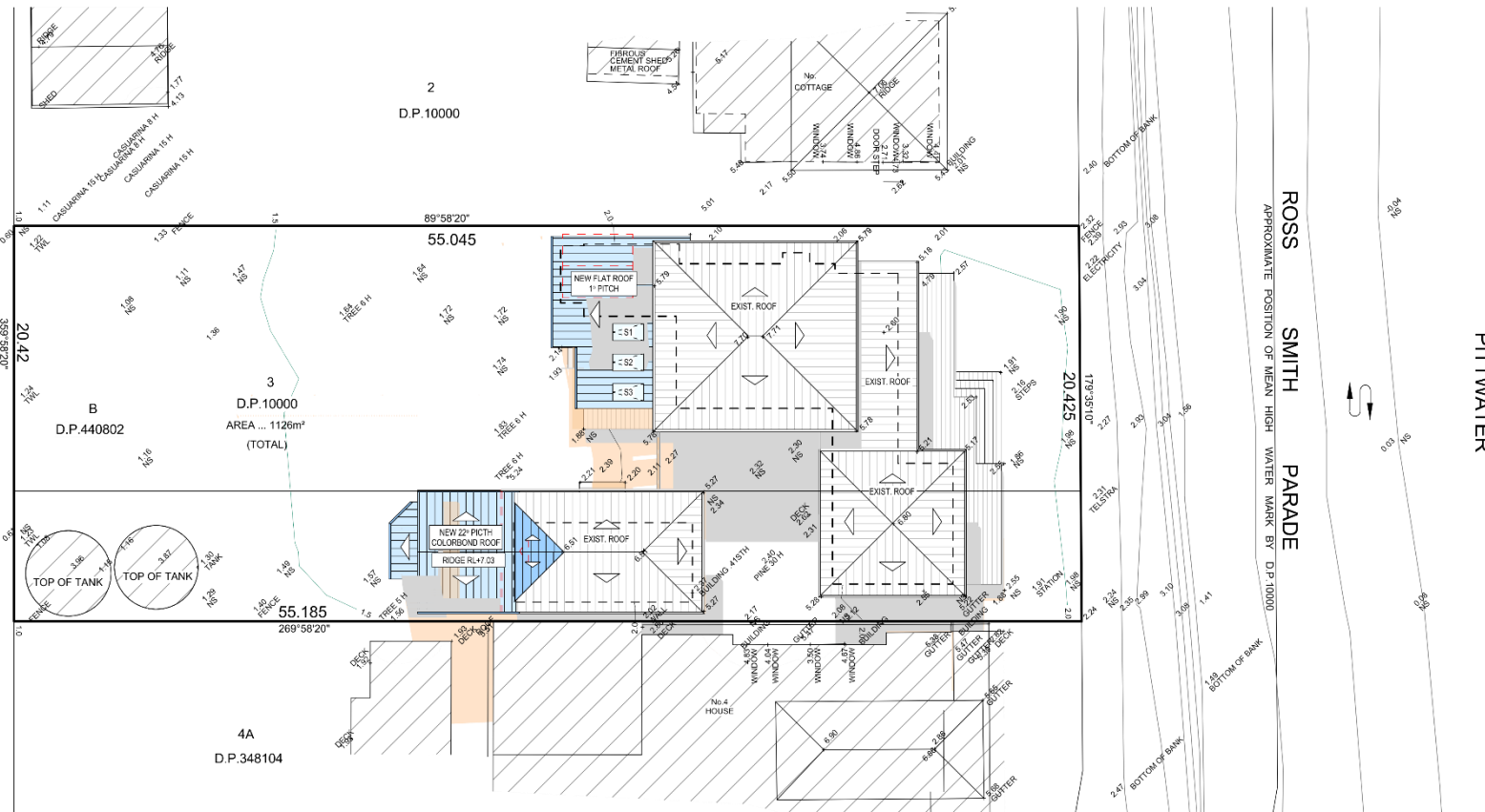
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<p>DATE: AUGUST/23</p>	<p>DRAWN BY: LB</p>	<p>SCALE: 1:200 @ A3</p>
<p>JOB No: 1178/23</p>	<p>CHECKED BY: JJ</p>	<p>DRAWING No: DA.13</p>



SHADOW DIAGRAM JUNE 21 12noon

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

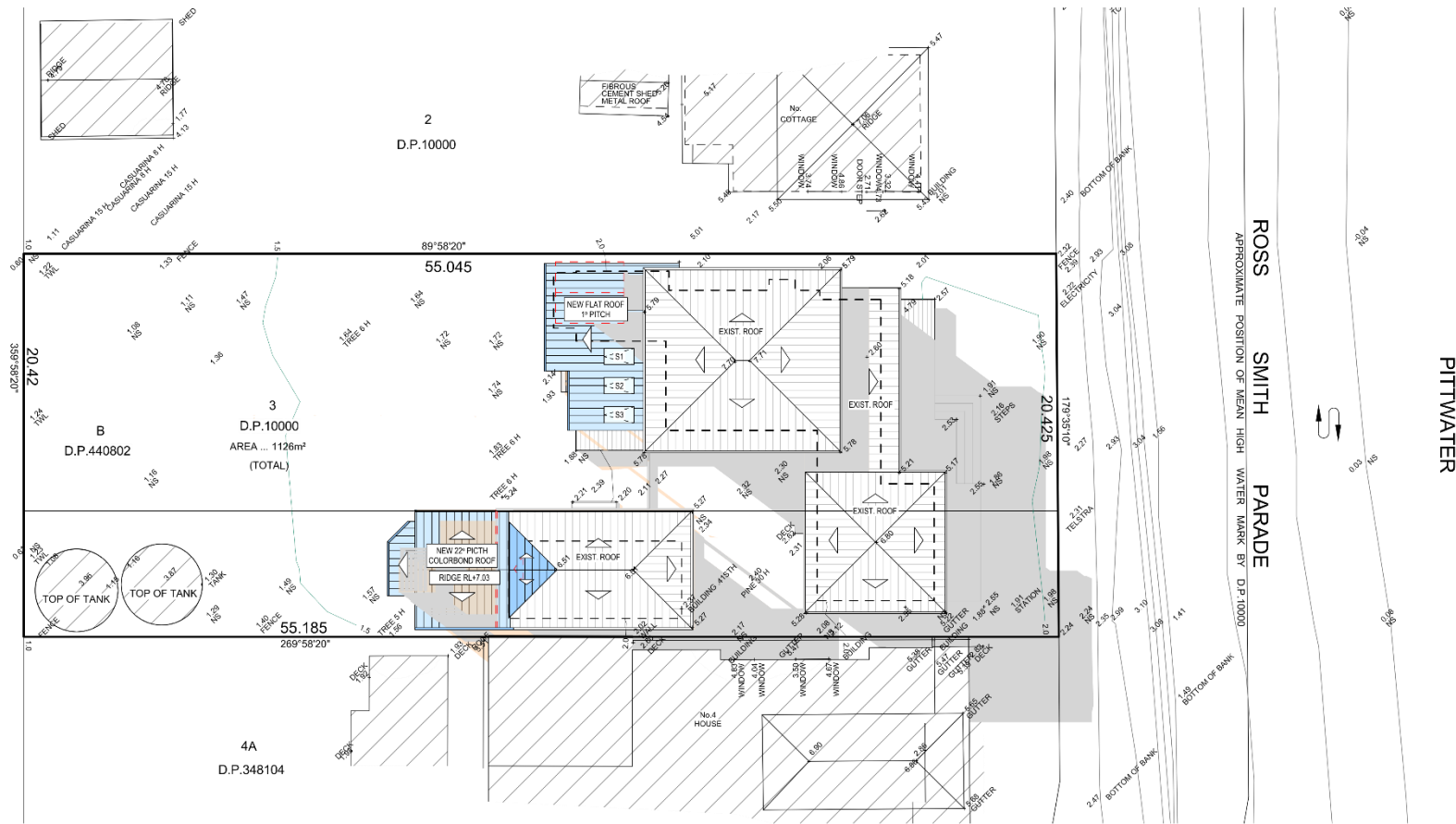
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SHADOW DIAGRAM JUNE 21 3:00pm

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

<p>TRUE NORTH:</p>	<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultants drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.
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<p>DATE: AUGUST/23</p> <p>JOB No: 1178/23</p>	<p>DRAWN BY: LB</p> <p>CHECKED BY: JJ</p>	<p>SCALE: 1:200 @ A3</p> <p>DRAWING No: DA.15</p>
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