

27 April, 2015

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Development Application No. N0450/10
Property Address: 23 Bakers Road, Church Point

For Council's information, please find enclosed Construction Certificate No. 2014/5403 issued for Stage 1: Construction of Retaining Walls & Access Stairs ONLY at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours Faithfully,

Tom Bowden
Insight Building Certifiers Pty Ltd

\$36 REC: 377302 6/5/15

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2014/5403

Council	Pittwater
Determination Date of issue	27 April 2015
Subject land Address Lot No, DP No.	23 Bakers Road, Church Point Lot 15 DP 749878
Applicant Name Address Contact No.	Mr Graeme & Mrs Ruth Lovett 23 Bakers Road, Church Point NSW 2105 9999 2117 / 0414 255 173
Owner Name Address Contact No.	Mr Graeme & Mrs Ruth Lovett 23 Bakers Road, Church Point NSW 2105 9999 2117 / 0414 255 173
Description of Development Type of Work	Stage 1: Construction of Retaining Walls & Access Stairs ONLY
Builder or Owner/Builder Name Contractor Licence No/Permit	Lovett Building Company Pty Ltd 40249
Value of Work Building	\$89,610.00

Attachments

- Copy of completed Construction Certificate Application Form
- Pittwater Council receipt no. 372020 for payment for Long Service Levy

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Site Plan & Details reference no. 2052, drawing no. CC-01 (Revision A), prepared by Albert Hoggett dated 28 October 2013
- Structural Details reference no. 13PE1256, drawing no. S0601 (Issue C), prepared & endorsed by PelEng Consulting Engineers dated 5 August 2013
- Completed Form 2 (Parts A & B) of Pittwater Council Geotechnical Risk Management Policy, endorsed by PelEng Consulting Engineers dated 24 November 2014 & Jack Hodgson Consultants Pty Ltd dated 26 November 2014, respectively
- Sydney Water approval dated 10 April 2015

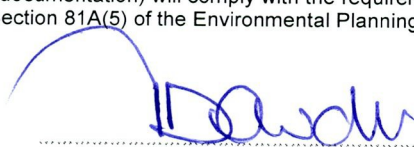
Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

27 APR 2015
2014/5403

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0450/10
29 October 2010

BCA Classification

10b

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

Stage 1. - construction retaining wall & access stairs only.

Estimated cost of work

\$89,610.00.

Development Consent Reference no.

N0450/10

Modified Consent Reference no. (If applicable)

-

BCA Classification(s)

10b.

Date of Issue

29-10-2016

Date of Issue (If applicable)

-

Property Address

Unit/Street no.

23

Street name

BAKERS ROAD

Suburb

CHURCH POINT

Post code

2105.

Lot no.

15

DP no.

749878

Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

GRAEME LOVETT.

Owner 2 Name:

RUTH LOVETT

Owner's Signature:

Graeme Lovett

Owner's Signature:

Ruth Lovett

Date:

14/11/2014

Date:

14/11/2014

Owner's Address:

23 BAKERS ROAD CHURCH POINT

Daytime Telephone:

02 99992117

Mobile:

0414255173

[Office Use Only] Date received by Accredited Certifier:.....

Pittwater Council

Tax Invoice
Official Receipt

AEN: 61340837871

8/12/2014 Receipt No: 372020

To: Lovett Building Company
29/14 Polo Ave
Mona Vale 2103

Applic	Reference	Amount
GL Receipt		
Q&S-Builders L&E		\$314.00
70450/10		
GGST-CE and +GST		\$3.14
1		
Transaction Total:		\$317.14
Includes GST of:		\$0.00

Amounts Tendered	
Cash	\$0.00
Cheque	\$0.00
Db/Cr Card	\$317.14
Money Order	\$0.00
Agency	\$0.00
Total	\$317.14
Rounding	\$0.00
Change	\$0.00
Nett	\$317.14

Printed 8/12/2014 1:57:36PM

This plan / document
forms part of
Construction Certificate
no. 2014/5403

**COUNCIL
COPY**



PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO. 2 – PART A – To be submitted with detailed design for Construction Certificate

Development Application for Graeme Lovett
Name of Applicant

Address of site 23 Bakers Road, Church Point

PART A: Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, Anthony Pellicano on behalf of PelEng
(insert name) (trading or company name)

on this the 24 November 2014
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
- ☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: Risk Analysis & Management for Proposed Development at 23 Bakers Road, Church Point
Report Date: 31 May 2010
Author: Ben White
Author's Company/Organisation: Jack Hodgson Consultants Pty Ltd

Structural Documents list:

S0101 Issue C, S0201 Issue C, S0301 Issue C, S0401 Issue D, S0501 Issue C and S0601 Issue C

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature [Signature]

Name Anthony Pellicano

Chartered Professional Status MIEAust

Membership No. 183708

Company PelEng

This plan / document
forms part of
Construction Certificate
no. 2014 / 5403



COUNCIL
COPY

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART B - To be submitted with detailed design for construction certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, Peter Thompson on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 26TH NOVEMBER, 2014
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

Geotechnical Report Details :

Report Title: RISK ANALYSIS & MANAGEMENT FOR PROPOSED DEVELOPMENT AT 23 BAKERS ROAD, CHURCH POINT – MV 26981

Report Date: 31ST MAY, 2010

Author: BEN WHITE

Documentation which relates to or is relied upon in report preparation:

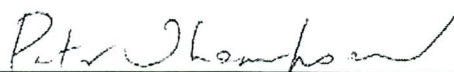
ARCHITECTURAL PLANS PREPARED BY ALBERT HOGGETT ARCHITECTS JOB NO:2052 DWG NO: DA-10A & DA-11A, DA-20A TO DA-24A

STRUCTURAL PLANS PREPARED BY PELENG CONSULTING ENGINEERS JOB NO: 13PE1256 DWG NO: S0101 TO S0601 ISSUE C DATED 12TH JULY, 2013

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

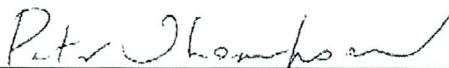
Peter Thompson

(name)


(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

Signature



Name Peter Thompson

Chartered Professional Status MIE Aust CPEng

Membership No. 146800

Company Jack Hodgson Consultants Pty Ltd

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolphin No: D14/5-14674

Quick Check Ref No: 9038913

e-Developer Case No:

AWPM # 8001

Property Location

Street No: 23

Lot No:

Street Name: BAKERS RD,

Suburb: CHURCH POINT

Building/Structure Description: NEW pool

Building Plan No: 50701

Engineers Plan No: 50701

Proposed building/structure is APPROVED to construct OVER/ADJACENT TO a Sydney Water asset, subject to the following requirements:
(NB. Delete non applicable requirements)

1. No part of the building/structure or its foundations to be less than a minimum 0.60 metre, horizontal distance from the centreline of the sewer.
2. No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamp hole rim / vertical rim / rodding point or edge of vent shaft.
3. No Piering of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of piers.
4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
5. All foundations/piers are to be founded to below the zone of influence or to solid rock.
6. Sydney water out of scope requirement as per case #144711

Warning - Document current at time of printing or downloading.

This plan / document
forms part of
Construction Certificate
no. 2014 / 5403

SPECIAL REQUIREMENTS

- (a) PIER INSPECTION REQUIRED
- (b) SYDNEY WATER OUT OF SCOPE

NOTE:

Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

APPROVED BY

WSC Company Name: AUSTRALIAN WATER PROJECT MANAGEMENT CASTLE HILL

Name of Key Personnel:



Signature of Key Personnel:

Date: 10/4/15

Case Number: 144711

7 April 2015

G Lovett
c/- AWPM AUSTRALIAN WATER PROJECT MANAGEMENT

**LETTER of CONDITIONS
For
BUILDING OVER/ADJACENT TO A SYDNEY WATER ASSET**

Applicant: G Lovett
Your reference: OBPA-BAKERS
Property location: 23 BAKERS, Church Point
Development Description: D14/5-14674 - Building Plan Approval adjacent to DN150 DICIL Sewer Main. The land is currently vacant. The work proposed construction of new residential dwelling, a swimming and a retaining wall on the property.
Date & Version of Plans: 12/7/2013 Version B
Your application date: 25 March 2015

Dear Applicant

The requirements in this letter only relate to building over/adjacent to assets that are out of scope for a WSC to assess. Your WSC will inform you of any other requirements for building over/adjacent to Sydney Water assets where the WSC can set the requirements.

These requirements only relate to the development and plans detailed above. If you obtain modification to your development proposal then the requirements detailed in this letter are void and you will need to reapply.

Your application to build **adjacent to the 150 CI sewer main** at the above location is approved provided you do the following things:

1. **Meet project specific requirements**
 - All construction to be as per the submitted drawings
 - All piers to be founded to below the zoi
 - No piers to be any closer than 600 from the outside face of the sewer to the outside face of any pier
 - 1.0 meter clearance to be maintained around any structure
 - All inspections to be carried out by your wsc
2. **Complete these general requirements**

- Your WSC is required to manage the requirements to Sydney Water's standards and procedures. They can answer most questions you might have about our process.
- Once the WSC approves your building plans they must complete and send the 'Building Plan Approval Requirements' form to Sydney Water.
- Your WSC must submit a letter to Sydney Water certifying that all protection works have been completed.
- A final Project Completion Package (containing all of the certification documents) must be submitted to Sydney Water within seven days of the works being completed.

3. **Meet change in scope during works requirements**

3.1 For sewers DN300 and above:

- 3.1.1 Where encasement of these assets is approved, the approval is subject to excavation occurring and the pipe/assets condition being assessed as suitable for encasement.
- 3.1.2 Where site verification or CCTV inspection shows that the condition of these assets is found not to be suitable for concrete encasement, the constructor cannot replace these assets as part of this out of scope building plan approval. The work must immediately stop (including excavation) and the WSC contact Sydney Water.
- 3.1.3 Where site verification or CCTV inspection shows that the sewer has been previously lined, then work must immediately stop (including excavation) and the WSC contact Sydney Water. In these instances the works will need to be done under the Asset Creation Developer Process with a full design, flow management/security bonds and other requirements. Your WSC can advise you about this.

3.2 Concrete encasement of Steel, PE, DICL, CI, Concrete, Asbestos, sewer rising mains or previously lined sewers regardless of the pipe material, is not part of this approval. Where identified upfront or site verification/inspection shows these pipe types, you must contact your WSC so they can get advice from Sydney Water before proceeding. This is also talked about in Section 3.1.3 above.

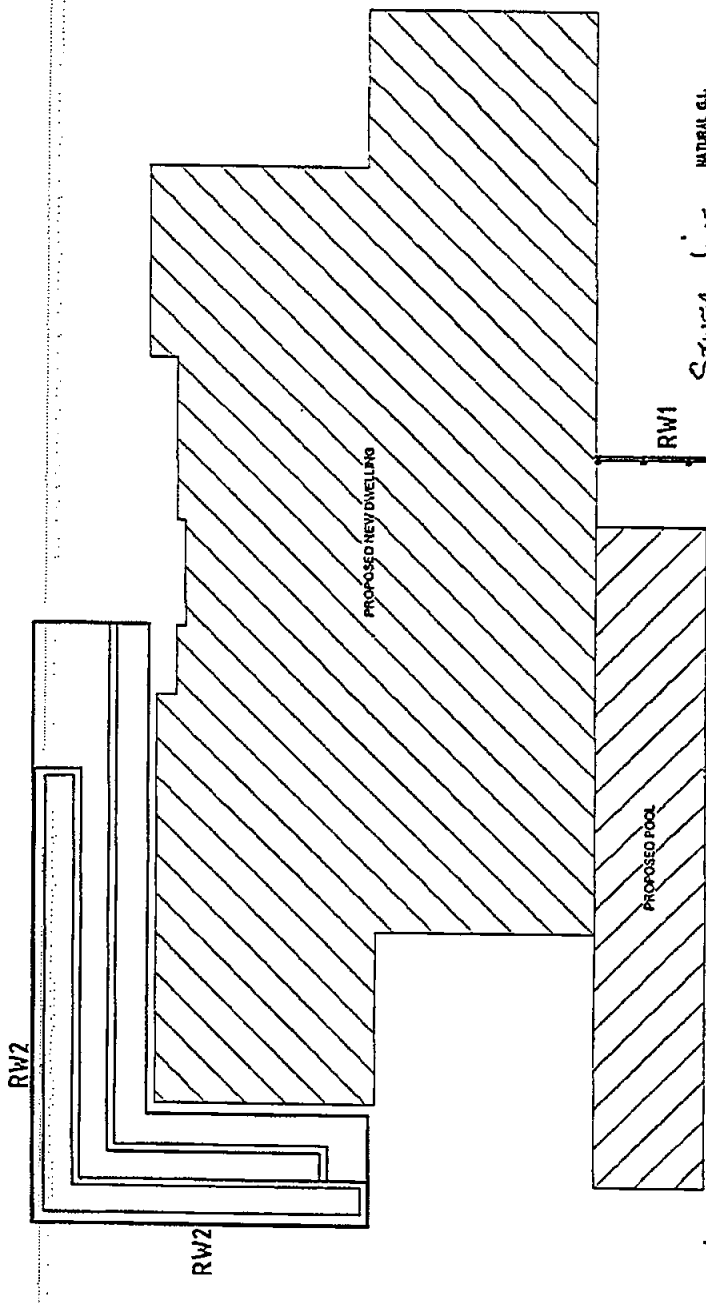
3.3 Where the scope of works mentioned in Section 3.1 and 3.2 are restricted by the provisions of Sydney Water's Minor Works Technical Requirements, work must not proceed further. The works will need to be carried out as outlined in Section 3.1.3 above. Your WSC can advise you about this matter.

4. **Meet building over Property Connection Point (Residential only) requirements**

- 4.1 If the building works result in your Property Connection Point (PCP) being under your proposed building, then you will need to move that connection point outside of your building's footprint. This work is at your cost.
- 4.2 Any relocated PCP must be located within your lot boundaries.

- 4.3 If you are required to move your PCP, this work must meet Sydney Water's standards in the National Plumbing Code (the Code) and be done by a licensed drainer. The licensed drainer must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.
- 4.4 Your WSC can advise you about this.

END



RETAINING WALL NOTES:

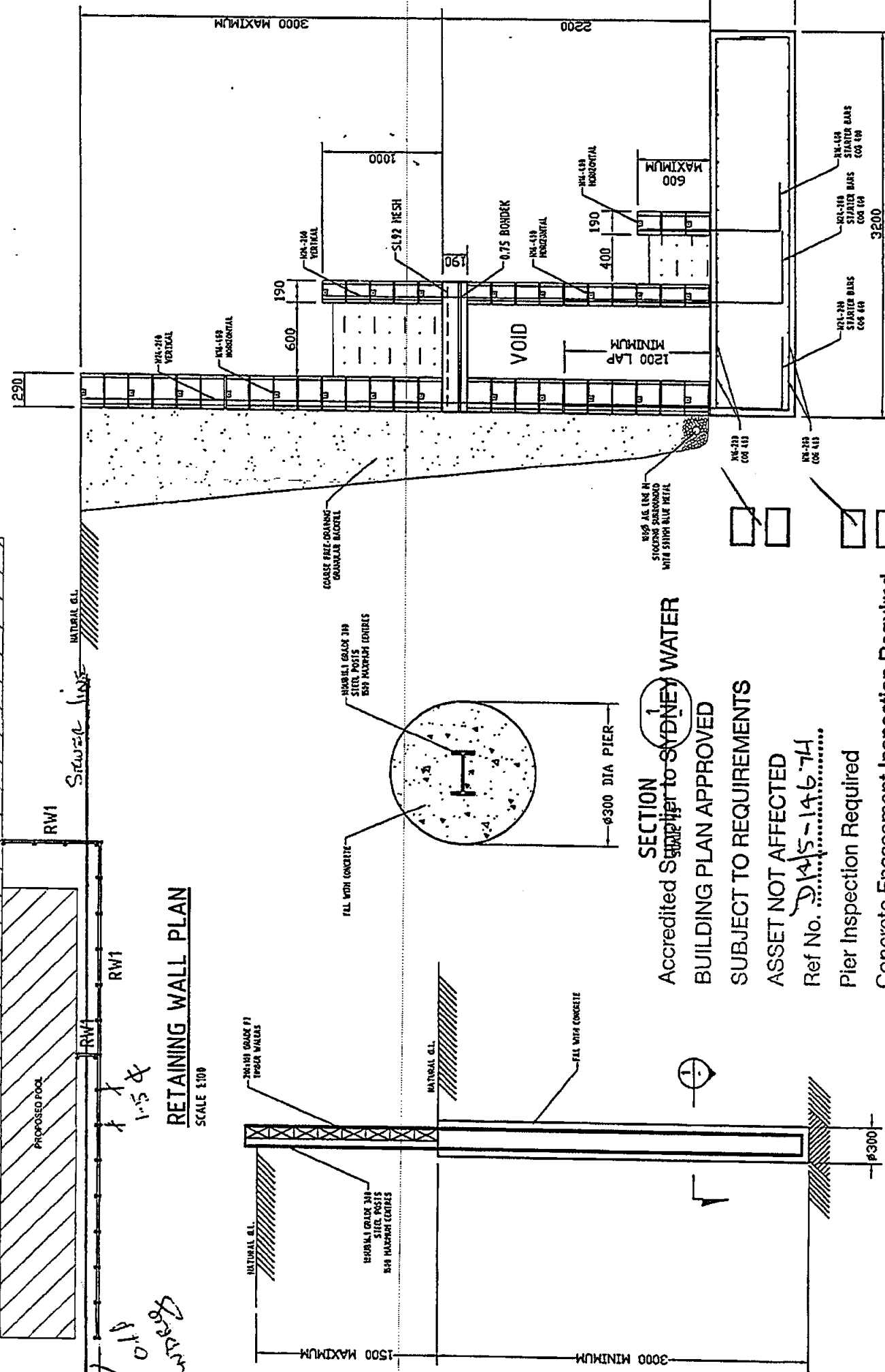
1. RETAINING WALL DESIGNED FOR THE FOLLOWING SOIL PROPERTIES:
SOIL DENSITY = 18 kN/m³ AND K = 0.35
2. RETAINING WALL DESIGNED TO SUPPORT SOIL LOADING ONLY AND NO SURCHARGE LOADS OR WATER TABLE LOAD.
3. ALL TIMBER TO BE H3 RATED OR DURABILITY CLASS 2.
4. ALL STEEL TO BE HOT DIP GALVANISED.

CONCRETE QUALITY	
ELEMENT	SLUMP / MAX SIZE / FC
PIERS	80mm / 20mm / A / 25MPa
FOOTINGS	80mm / 20mm / A / 25MPa
WALLS	80mm / 20mm / A / 25MPa
BACKFILL	20mm / 20mm / A / 25MPa

REINFORCEMENT COVER SCHEDULE	
MEMBER	COVER (mm)
PIERS	25mm
FOOTINGS	25mm
WALLS	25mm
BACKFILL	25mm

RETAINING WALL PLAN
SCALE 1:100

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
 SUBJECT TO REQUIREMENTS
 Ref No. **DA/5-14674** Date: **10/9/15**



RETAINING WALL (RW1) DETAIL
SCALE 1:20

RETAINING WALL (RW2) DETAIL
SCALE 1:20

SECTION 1
 Accredited Supplier to SYDNEY WATER
 BUILDING PLAN APPROVED
 SUBJECT TO REQUIREMENTS
 ASSET NOT AFFECTED
 Ref No. **DA/5-14674**
 Pier Inspection Required
 Concrete Encasement Inspection Required
 Inspection Contact: **08 834 8684**
 24 hr Notice Required

Project: PROPOSED NEW RESIDENCE AT 23 BAKERS ROAD CHURCH POINT

Client: MR & MRS LOVETT

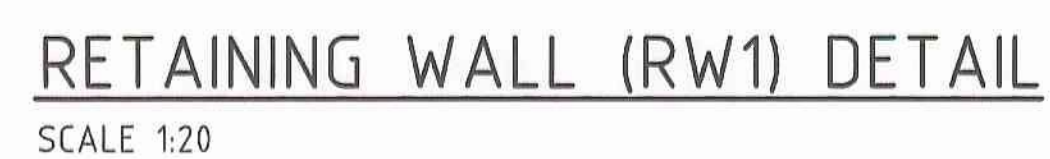
Sheet Title: RETAINING WALL PLAN AND DETAILS

PELLENGER
 CONSULTING ENGINEERS
 Structural & Civil Engineers

145/151 David AGAL 013 413 771 771 P/Eng
 P. O. Box 605, Freshwater NSW 1513
 Tel: (02) 9378 2115 Fax: (02) 9378 2115
 Email: eng@pelling.com.au

Drawn By: A.J.P.	Check By: A.J.P.	Date: 10/09/15
Scale: 1:100	Scale: 1:100	Scale: 1:100
Sheet No: 1	Sheet No: 1	Sheet No: 1

This plan / document
 is the property of
 Pellegenger Consulting Engineers
 No. 2014 / 5403



1. RETAINING WALL DESIGNED FOR THE FOLLOWING SOIL PROPERTIES:
SOIL DENSITY = 18 kN/m³ AND K = 0.35
2. RETAINING WALL DESIGNED TO SUPPORT SOIL LOADING ONLY AND NO SURCHARGE LOADS OR WATER TABLE LOAD.
3. ALL TIMBER TO BE H3 RATED OR DURABILITY CLASS 2.
4. ALL STEEL TO BE HOT DIP GALVANISED.

CONCRETE QUALITY				
ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE	f'c
PIERS	80mm	20mm	A	25MPa
FOOTINGS	80mm	20mm	A	25MPa
WALLS	80mm	20mm	A	32MPa
BLOCKWORK	230mm	20mm	A	32MPa

REINFORCEMENT COVER SCHEDULE				
MEMBER	COVER (mm)			EXPOSURE CLASSIFICATION
	TOP	BOTTOM	SIDES	
PIERS	50mm	50mm	50mm	A1
FOOTINGS	50mm	50mm	50mm	A1
WALLS	50mm	50mm	50mm	B1
BLOCKWORK	50mm	50mm	50mm	B1

WARNING

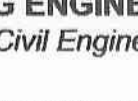
The stamping of this plan by Inight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities;
- The Structural Engineer of their responsibility to ensure the structural adequacy of the project;
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure those stamped details are consistent with the issued Construction Certificate Architectural Details.

Sheet Title	RETAINING WALL PLAN AND DETAILS
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 **PelEng**
CONSULTING ENGINEERS
Structural & Civil Engineers

Addy Pty. Limited A.C.N. 073 412 772 T/A PelEng
P O Box 583, Freshwater
Sydney, N.S.W., Australia 2096
Web: www.peleng.com.au
Telephone: (02) 9939 2786
Facsimile: (02) 9938 2786
Mobile: 0418 264 265
E-mail: engineers@peleng.com.au


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COUNCIL AUSTRALIA
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Copyright

Approved 		Anthony Policano B.E. (HON. MEAUST)	
North	Assigned	Drawn	Date
	A.J.P.	A.J.P.	12/07/13
Checked	Scale		
A.J.P.	A1 @ 1:100 U.N.O.		
Job No.	Drawing No.	Issue	
13PE1256	S0601	C	

FOR LANDSCAPE DETAILS REFER LANDSCAPE ARCH. DRAWINGS
FOR STRUCTURAL DETAILS REFER STRUCTURAL ENG. DRAWINGS
FOR HYDRAULIC DETAILS REFER HYDRAULIC ENG. DRAWINGS
FOR BASIX REQUIREMENTS REFER BASIX CERTIFICATE

DWG No.	DRAWING NAME
CC-01	SITE PLAN / ROOF PLAN
CC-02	GROUND FLOOR PLAN
CC-03	BASEMENT PLAN
CC-04	ELEVATIONS & SECTIONS

19
DP 748987

13
DP 706949

19

DP 748987 18

DP 748987 17

**NO. 23 B
TWO STOREY
TIMBER HOUSE
STEEL ROOF**

95
DP 831734
**TIMBER & FIBRO HOUSE
STEEL ROOF**

NOTE: ALL RETAINING WALLS & ASSOCIATED SUB-SURFACE DRAINAGE & BACKFILL MATERIAL TO BE LOCATED WHOLLY WITHIN THE BOUNDARIES OF THE SUBJECT ALLOTMENT.

NOTE: SEDIMENT & EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT.

93
DP 831734

NOTE: ALL RECOMMENDATIONS CONTAINED WITHIN GEOTECHNICAL REPORT REFERENCE NO. MV 26989 PREPARED BY JACK HODGSON CONSULTANTS PTY LTD DATED 31 MAY 2010 ARE TO BE INCORPORATED AND MAINTAINED OVER THE LIFE OF THE DEVELOPMENT.

NOTE: CONSTRUCTION CERTIFICATE 2014/5403 RELATES TO STAGE 1: CONSTRUCTION OF RETAINING WALLS & ACCESS STAIRS ONLY. ALL OTHER WORKS ASSOCIATED WITH DA N0450/10 ARE SUBJECT TO A SEPARATE CONSTRUCTION CERTIFICATE.

NOTE: TREE PROTECTION MEASURES TO INCORPORATED AND MAINTAINED OVER THE LIFE OF THE DEVELOPMENT IN ACCORDANCE WITH ALL RECOMMENDATIONS CONTAINED WITHIN ARBORIST REPORT PREPARED BY GROWING MY WAY DATED JUNE 2010 AND CONDITIONS D10 & D11 (I TO IV) OF THE DEVELOPMENT CONSENT.

NOTE: CONSTRUCTION CERTIFICATE 2014/5403 RELATES TO STAGE 1: CONSTRUCTION OF RETAINING WALLS & ACCESS STAIRS ONLY. ALL OTHER WORKS ASSOCIATED WITH DA N0450/10 ARE SUBJECT TO A SEPARATE CONSTRUCTION CERTIFICATE.

W/BOARD COTTAGE
METAL ROOF

WARNING

The stamping of this plan by
insight Bunking Certificate By Lid does not
relieve:

- The applicant's responsibility to obtain
approval from Structural Engineer or other
qualified
- The Applicant's knowledge of their
responsibility to provide the structural
adequacy of this project.
- The Applicant, Structural Engineer, or other
Professional of their responsibility to
ensure these stamped details are
consistent with the issued Construction
Certificate Architectural Details.

insight building certifiers pty ltd

CONSTRUCTION CERT. NO. 2014 / 5403

**CONSTRUCTION CERTIFICATE
PLANS**

I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(S) of the Environmental Planning & Assessment Act 1978

T. Bowden 27 APR 2015

T. Bowden Accreditation No. B2B0042

A	28/10/13	CONSTRUCTION CERTIFICATE ISSUE			
ISSUE	DATE	REVISION			
Drawing Title:		Drawing Title:			
TT	Architects	SITE PLAN/ ROOF PLAN			
000 215					
Loughbry Road NSW 2065		Date 23/07/10	Drawn by: VS	Checked: A.H.	
F 02 9437 3948		Scale at 1:400	Job No R 2052	Dwg No	CC-01 A

Client:
Mr. G LOVETT & Mrs. R LOVETT

Project:
23 Bakers Road,
CHURCH POINT

ALBERT HOGGETT Architects
ACN 084 600 215
Level 2 174 Willoughby Road
Crows Nest NSW 2065
P 02 9437 3943 F 02 9437 3948

Drawing Title: **SITE PLAN/ ROOF PLAN**

Date 23/07/10	Drawn by: VS	Checked: A.H.
Scale @ A4 1:100	Job No # 2052	Dwg No: CC-01 A

01

SITE PLAN

SCALE 1:100

