
inspec

48b Princes Highway
 Fairy Meadow NSW 2519
 p: 4284 4709
 f: 4284 4208
 e: info@inspec.com.au
 abn: 49 080 593 371

Construction Certificate

and Determination

issued under the Environmental Planning and Assessment
 Act, 1979 Sections 109C(1)(b) and 81A(2)

Certificate Number: 601395
Address: LOT: 127
 DP: 14961
 HNO.: 44
 BYNYA ROAD
 PALM BEACH 2108
Development Consent: N0733/04
Date of Consent: 10 May, 2005
Building Classification: 10b

COUNCIL COPY

This Construction Certificate has been determined as **APPROVED** in accordance with the procedures outlined in Clause 142 of the Environmental Planning and Assessment Regulation 2000. In making this determination I certify that the work if completed in accordance with the plans and specifications referred to in this Certificate will comply with the requirements of the Environmental Planning and Assessment Regulation, 2000 as referred to in Section 81A(5) of the Environmental Planning and Assessment Act, 1979 (as amended).

Michael Shanahan

Accredited Certifier
 Building Professionals Board
 2690

Plans/s
 BHP PLANS 048083SC, SHEETS 1-4, DATED 8/2/05

Specification/s

Other Documents
 OWNERS CONSENT
 HOME BUILDING INSURANCE

Fire Safety Schedule

28/6/05

Date of Determination



48b Princes Highway
Fairy Meadow NSW 2519
p: 4284 4709
f: 4284 4208
e: info@inspec.com.au
abn: 49 080 593 371

Application Form

*issued under the Environmental Planning
and Assessment Act, 1979
Sections 109C(1)(b), 81A(2) and 81A(4)*

APPLICANT

NAME: BLUE HAVEN POOLS & SPAS - LANSVALE
ADDRESS: 68 HUME HIGHWAY
LANSVALE 2108

SIGNATURE: SEE ATTACHED CONSENT

OWNER

NAME/S: MR KURT JAGGARD
MRS NATALIE JAGGARD

ADDRESS: 44 Bynya Road
PALM BEACH 2108

SIGNATURE/S: SEE ATTACHED CONSENT

LAND TO BE DEVELOPED

LOT: 127
DP: 14961
HNO.: 44
BYNYA ROAD
PALM BEACH 2108

DESCRIPTION OF DEVELOPMENT

RESIDENTIAL
INGROUND POOL

BCA CLASSIFICATION

10B

DEVELOPMENT CONSENT

N0733/04
10 MAY, 2005

VALUE OF WORK

\$ 70,000

BUILDER/ OWNER BUILDER DETAILS

BLUE HAVEN POOLS & SPAS - LANSVALE
LICENCE #: 5367

DATE OF RECEIPT

17 MAY, 2005

LONG SERVICE

BUILDING & CONSTRUCTION



See reverse of form for instructions

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

PART A - DETAILS OF PERSON/COMPANY/ORGANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person)
or Company/Organisation name

Given names (if person)

ABN (if applicable) **BLUE HAVEN POOLS & SPAS PTY LTD**

POSTAL ADDRESS
No. and street or PO Box **HEAD OFFICE: 68 HUME HIGHWAY**

LANSVALE 2166

PH: (02) 9728-0444 FAX: (02) 9728-0455

Town/suburb

State Postcode Bus. hours phone

PART B - ADDRESS OF BUILDING/CONSTRUCTION WORK

Number and street **44 BYNNA ROAD**

Town/suburb **PALM BEACH**

State **NSW** Postcode **2108**

Estimated start date **D 20 M 06 Y 2005** Estimated finish date **D 20 M 09 Y 2005**

PART C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **PITTWATER**

¹ DA/CC/CDC No. **601395**

Estimated value
of work (see note on back) \$ **70,000.00** Levy payable \$ **140.00**

¹ If you have provided a CC above, please provide DA number here **N0733704**

Signature of Officer/Private Certifier *M. Shanahan* Date **D 09 M 06 Y 2005**

Name of Officer/Private Certifier **M. Shanahan** Business hours phone **02 464 8566**

PART D - DETAILS - To be completed by Dent/Authority where applicable - see reverse**BLUE HAVEN POOLS & SPAS PTY LTD**

ABN 22 050 069 193

Westpac Banking Corporation

GUILDFORD 301-303 GUILDFORD ROAD NSW

DATE 23/05/2005

Pay **LONG SERVICE PAYMENT CORPORATION**
to the order ofThe Sum of **One Hundred Forty Dollars and 00 Cents*******

LONG SERVICE PAYMENT CORPORATION
LOCKED BAG 3000
CENTRAL COAST MC NSW 2252

NOT NEGOTIABLE

\$ **140.00

For and on behalf of
BLUE HAVEN POOLS & SPAS PTY LTD
 ABN 22 050 069 193

532639 0320073 202291



inspec

APPLICATION FORM

- ☐ Principal Certifying Authority
 ☒ Construction Certificate
 ☐ Compliance Certificate
☐ Complying Development Certificate
☐ Occupation Certificate

THE APPLICATION
 DATE OF APPLICATION: **13 May 2005**
LAND TO BE DEVELOPED

Lot No.: **127** Deposited Plan: **14961**
 House No.: **44** Street Name: **Bynya Road**
 Suburb: **Palm Beach** Post Code: **2001**
 Area (m²): **40**

THE DEVELOPMENT

Proposed Building Work: Residential ☒ Commercial Industrial
 Description of Development: **Swimming Pool**
 Value of Work: **\$ 70000**
 Type of work: **Concrete Swimming Pool**
 Building Classification: **10B**

CONSENTS

Development Consent No.: **N0733/04** Date of Issue:
 Builder or Owner/Builder Name: **Blue Haven Pools & Spas Pty Ltd**
 Licence No.: **5367C**

THE APPLICANT

Surname: **Jaggard**
 First Name: **Kurt + Natalie**
 Street: **Co:\ Blue Haven Pools & Spas P/L - 68 Hume Hwy**
 Suburb: **LANSVALE NSW 2166**
 Contact No's.: **Phone: (02) 9728 0444 - Fax: (02) 9754 2906**

THE OWNER/S

First Name: **Kurt** First Name: **Natalie**
 Surname: **Jaggard** Surname: **Jaggard**
 Street: **44 Bynya Rd** Street: **44 Bynya Rd**
 Address: **Palm Beach** Address: **Palm Beach**
 Contact No.: **92901244** Contact No.: **0404081001**

**Statement of Consent to Lodge Application
and carry out inspections by
Council Officers / Accredited Certifiers**



(1) THE APPLICANT

Name/s: Kurt & Nathalia Jaggard
(PRINT NAME/S OF APPLICANT/S)

Address: 44 Bynya Road Palm Beach
(PRINT PROPERTY ADDRESS)

Postal Address: BLUE HAVEN POOLS & SPAS PTY LTD

At: _____
(PRINT ADDRESS)

(2) CONSENT

I/We consent to BLUE HAVEN POOLS & SPAS PTY LTD

to submit our application to the Local Council and/or an Accredited Certifier (Private
Certifying Authority) for the construction/installation of:

Concrete Pool on my/our land.
(TYPE OF POOL)

(3) MUST BE SIGNED BY ALL CURRENT REGISTERED PROPERTY OWNERS

[Signature]
(SIGNED BY OWNER 1)

[Signature]
(SIGNED BY OWNER 2)





Level 1, 369 High Street, Kew VIC 3101
Telephone: 1300 300 115 Facsimile: 1300 308 115
A division of CAMPS Underwriting Agencies Pty Ltd
ABN: 25 079 021 426 AFSL No: 238325

Policy Schedule / Certificate of Insurance

Underwritten by Australian International Insurance Ltd. (ABN 29 006 544 690) ('Insurer')

OWNER COPY

HOME WARRANTY - JOB SPECIFIC POLICY (NSW) - Owner Copy

This certificate, when read in conjunction with the Policy of Insurance is a contract of insurance complying with: Section 92 in respect of CONTRACT WORK, or Section 93 in respect of SUPPLY OF A KIT HOME, or Section 95 in respect of OWNER BUILDER Work, or Section 96 in respect of WORK BY DEVELOPERS AND OTHERS, of the Home Building Act 1989 ('The Act') and/or the Home Building Regulation 1997 ('The Regulations') issued by the Insurer in respect of Residential Building Work performed by the Contractor in line with the Residential Building Work Contract detailed below. Subject to the Act, the Regulation and the conditions of the Contract of Insurance, cover will be provided to the person named as Beneficiary below and Successors in Title to the Beneficiary.

POLICY No.: AAIL - 001 **CERTIFICATE No.:** 071493 **POLICY ISSUED:** 10/06/2004

INSURED

The Building Owner ('Beneficiary'): K & N Jarrard
Postal Address: 44 Bynya Road, Palm Beach NSW 2001

RESIDENTIAL BUILDING WORK

Residential Building Work Covered by this Policy:	Construction of a swimming pool - as per application dated 07/06/2004		
At (Site Address):	44 Bynya Road, Palm Beach NSW 2001		
Municipality:	Pittwater Council	Contract Date:	06/06/2004
Project Manager:	Ragheb Awadallah	Contract Price:	\$70,000.00
Est. Start Date:	10/06/2004	Est. Completion Date:	

CONTRACTOR

Carried out by (Trading Name): Blue Haven Pools & Spas Pty Ltd
Postal Address: 68 Hume Highway Lansvale NSW 2166
ABN / ACN No.: 22 050 069 193
Licence/Contractor No.: 5367C
Phone No.: 02 9728 0444

MAXIMUM AMOUNT OF COVER AND CLAIMS

The limit of liability is \$200,000 in aggregate in relation to each Dwelling, or such amount as is determined by the Regulations pursuant to the Act. The period in respect of which Claims may be made commences on the date of the relevant Residential Building Work Contract or date of issue of the Construction Certificate for the relevant work (whichever is the earlier); and expires on the date defined by Section 4 of the Contract of Insurance, provided that the Insured shall have 90 days from expiry of the Period of Insurance in which to notify the Insurer of any matter of which the Insured became aware during the Period of Insurance as existence of grounds for a Claim.

CLAIMS EXCESS

The Insured shall bear at his/her/its own risk five hundred dollars (\$500) in respect of each Claim made under this Policy.

PREMIUM

Paid by Builder

SIGNED BY A PERSON AUTHORISED BY THE INSURER

Australian International Insurance Ltd, Level 1, 369 High Street, Kew VIC 3101 (ABN 29 006 544 690)

Murray F. Nugent

Name of the signatory for Australian Home Warranty,
a division of CAMPS Underwriting Agencies Pty Ltd

PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

APPROVED DEVELOPMENT CONSENT PLANS

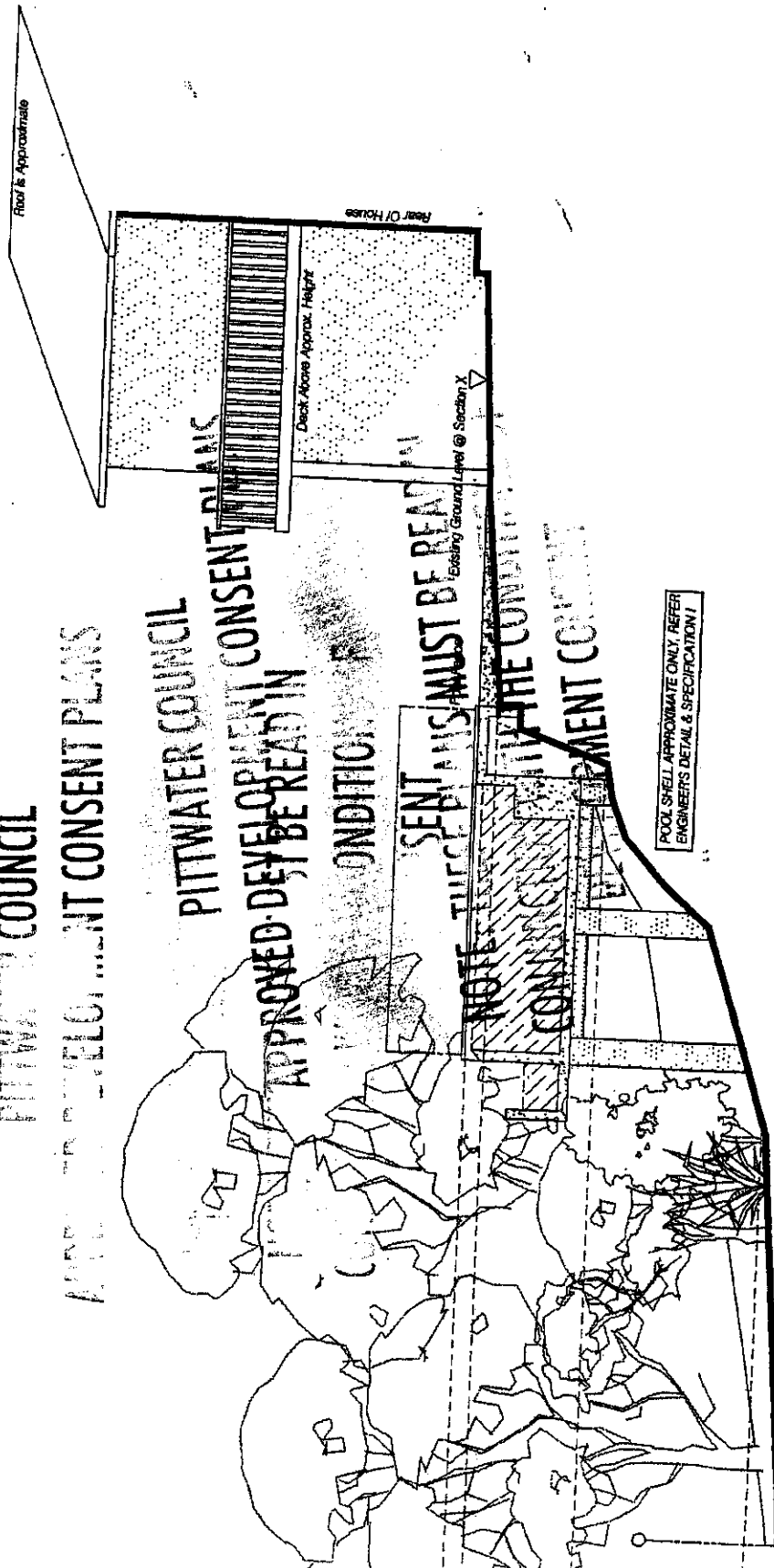
CONDITION

SENT THIS MUST BE READ

NOTE THE CONDITION

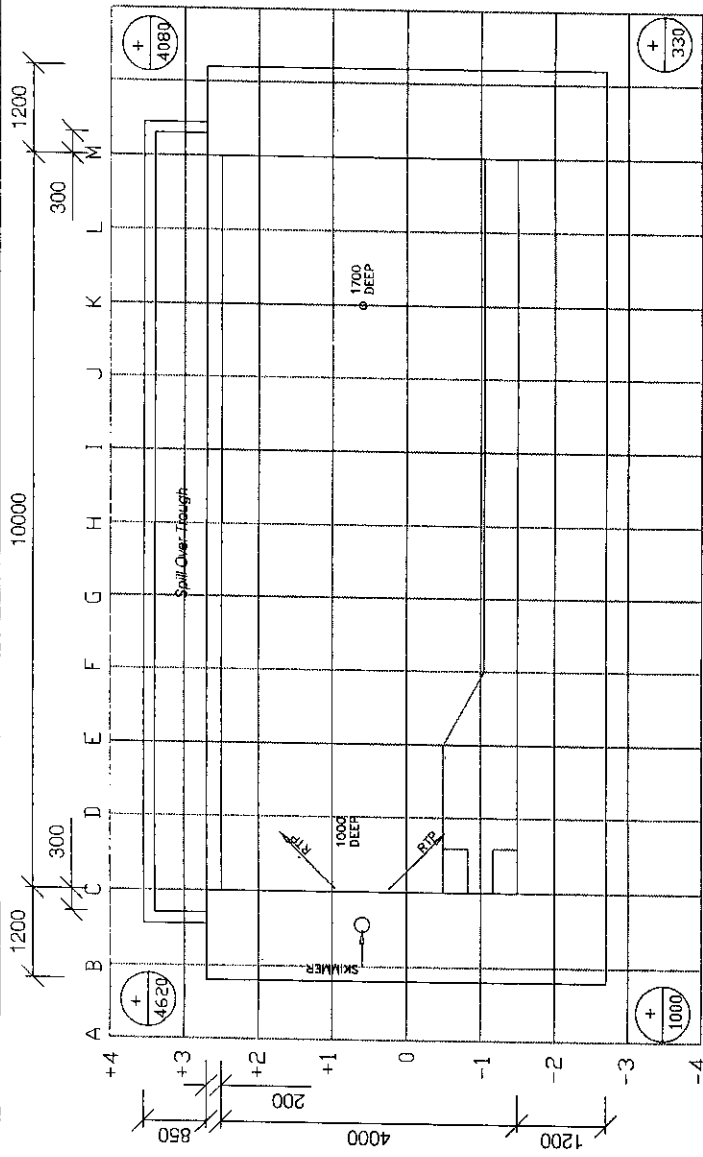
CONSENT

POOL SHELL APPROXIMATE ONLY REFER
ENGINEERS DETAIL & SPECIFICATION I



Existing Ground Level @ Section X

FINAL 8.2.05



POOL PLAN

1:100

GENERAL

- G1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS2783 - 1992.
- G2 THE SETTING OUT DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING EXCAVATION.
- G3 ANY UNFORSEEN VARIATIONS TO THE ASSUMED SITE CONDITIONS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING.
- G4 THE WALKWAYS AND COPINGS HAVE BEEN DESIGNED FOR A LIVE LOAD OF 4kPa.
- G5 THE ENGINEER SHALL BE NOTIFIED OF ANY PROPOSED VARIATION TO THIS PRIOR TO PLACING THE REINFORCEMENT.
- G6 PRIOR TO EMPTYING THE POOL, THE OWNER SHALL ENSURE THAT ALL EXTERNAL GROUNDWATER HAS BEEN REMOVED FROM THE BASE AND WALLS OF THE POOL.
- G7 THE ENGINEER SHALL BE NOTIFIED IF THE POOL IS OUT OF THE GROUND BY MORE THAN 900.

CONCRETE

- C1 THE DETAILS PRESENTED ON THE FOLLOWING SHEETS COMPLY WITH THE REQUIREMENTS OF AS2783-1992.
- C2 ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS3600.
- C3 ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25MPa AND HAVE A MAXIMUM AGGREGATE SIZE OF 10mm AND A MAXIMUM SLUMP OF 80mm UNLESS NOTED OTHERWISE.
- C4 WHERE THE POOL IS LOCATED WITHIN 1km OF LARGE EXPANSION OF SALT WATER THE CONCRETE SHALL HAVE A MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH OF 32MPa.
- C5 CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH AND MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE APPROVAL OF THE ENGINEER, HOWEVER, THE RADIUS OR CONCRETE THICKNESS MAY BE INCREASED.
- C6 UNLESS OTHERWISE NOTED, CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH AS2783-1992.
- C7 CONCRETE COVER SHALL BE MAINTAINED BY THE USE OF APPROVED CHAIRS AT APPROXIMATELY 750 CROSS CENTRES.
- C8 ALL CONCRETE SHALL BE CURED BY THE OWNER FOR A MINIMUM OF 7 DAYS AFTER POURING BY KEEPING ALL EXPOSED SURFACES WET WITH WATER.
- C9 S NOTATION TO REINFORCEMENT DENOTES GRADE 230 DEFORMED BAR.
- C10 UNLESS OTHERWISE NOTED, ALL REINFORCEMENT LAPS SHALL BE A MINIMUM OF 500mm.
- C11 PROVIDE 10mm CONTROL JOINTS IN THE WALKWAY FINISH AT MAXIMUM 4000 CENTRES AND AT POINTS OF RE-ENTRANT CORNERS IN PLAN.
- C12 PROVIDE 10mm CONTROL JOINTS BETWEEN THE PERIMETER EDGE OF THE POOL AND ALL ABUTTING CONCRETE OR MASONRY FINISHES.

FOUNDATION

- F1 THE DESIGN OF THE POOL HAS BEEN BASED ON BEING SUPPORTED BY UNIFORM NATURAL GROUND WITH A MINIMUM SAFE BEARING VALUE OF 150kPa (UNLESS SHOWN AS SUSPENDED ON PIERS). THE BUILDER SHALL NOTIFY THE ENGINEER IF ANY OTHER GROUND CONDITIONS ARE ENCOUNTERED PRIOR TO COMPLETING THE EXCAVATION. THE BUILDER SHALL ALSO NOTIFY THE ENGINEER IF A CLASS 'H' OR 'E' SUBGRADE IS ENCOUNTERED.
- F2 THE EXCAVATION SHALL BE KEPT FREE OF WATER. ANY SOFTENED SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR FILL PRIOR TO PROCEEDING.
- F3 THE UNDERSIDE OF THE POOL SHALL BE SEPARATED FROM THE SUBGRADE WITH A 200µm POLYTHENE MEMBRANE OVER 50 CRUSHED STONE, COURSE AGGREGATE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
- F4 ANY PROPOSED EXCAVATIONS WHICH ARE TO BE WITHIN THE ZONE OF INFLUENCE OF AN EXISTING STRUCTURE SHALL BE REFERRED TO THE ENGINEER PRIOR TO COMMENCEMENT.

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone: (02) 9728 0444 Fax: (02) 9728 0455

Keighran and Associates Pty Ltd

Consulting Structural and Civil Engineers ABN 25 003 832 291

APPROVED *[Signature]* DATE 08/02/05

BE (Hons), MEngSci, FIEAust, OPEng
Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS

FOR Mr & Mrs Jaggard

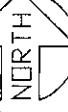
AT 44 Bynya Road Palm Beach

DATE: 08/02/05

DRAWN: EDH

DRAWING/CONTRACT No.
BHP 048083SC AMENDED 2

SITE PLAN
1 : 200

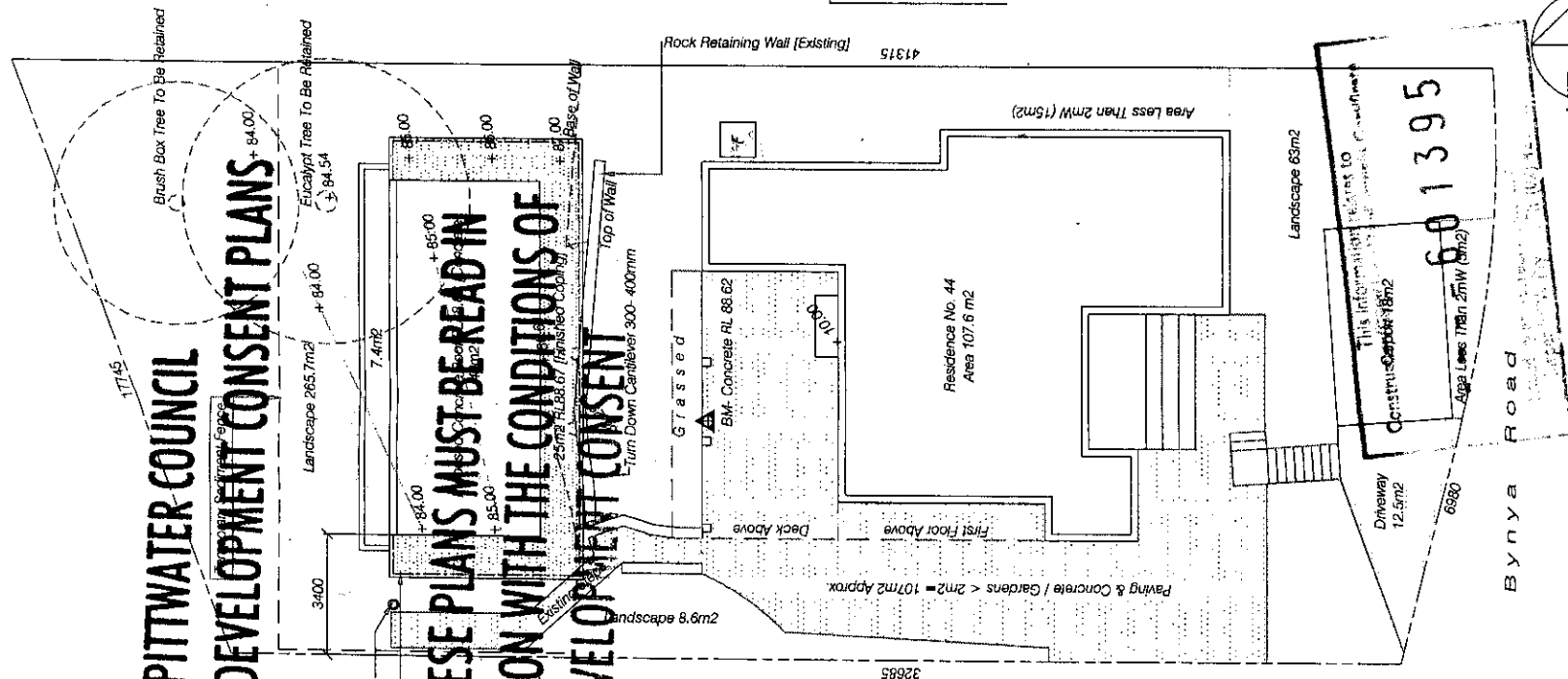


AMENDED PLAN

27-09-04 DECKING DIMENSIONS ADDED
10-01-05 POOL REDESIGNED, DECKING REMOVED
03-02-05 Soft Landscape Clac. Corrected

PITWATER COUNCIL APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



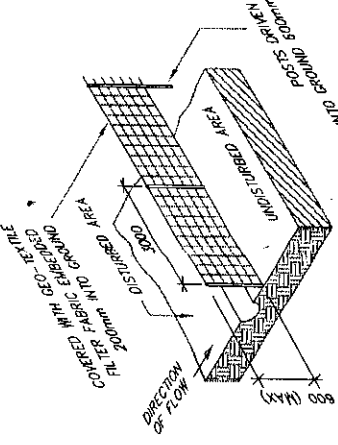
Landscape Calculation

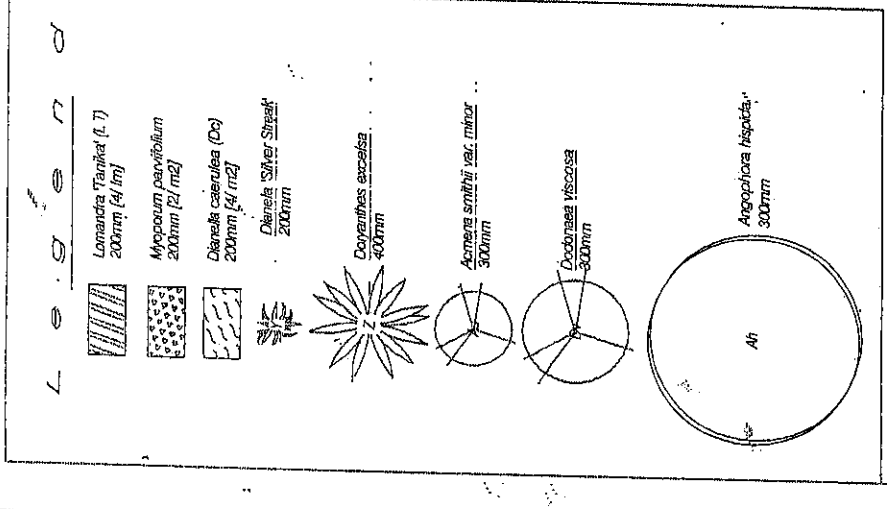
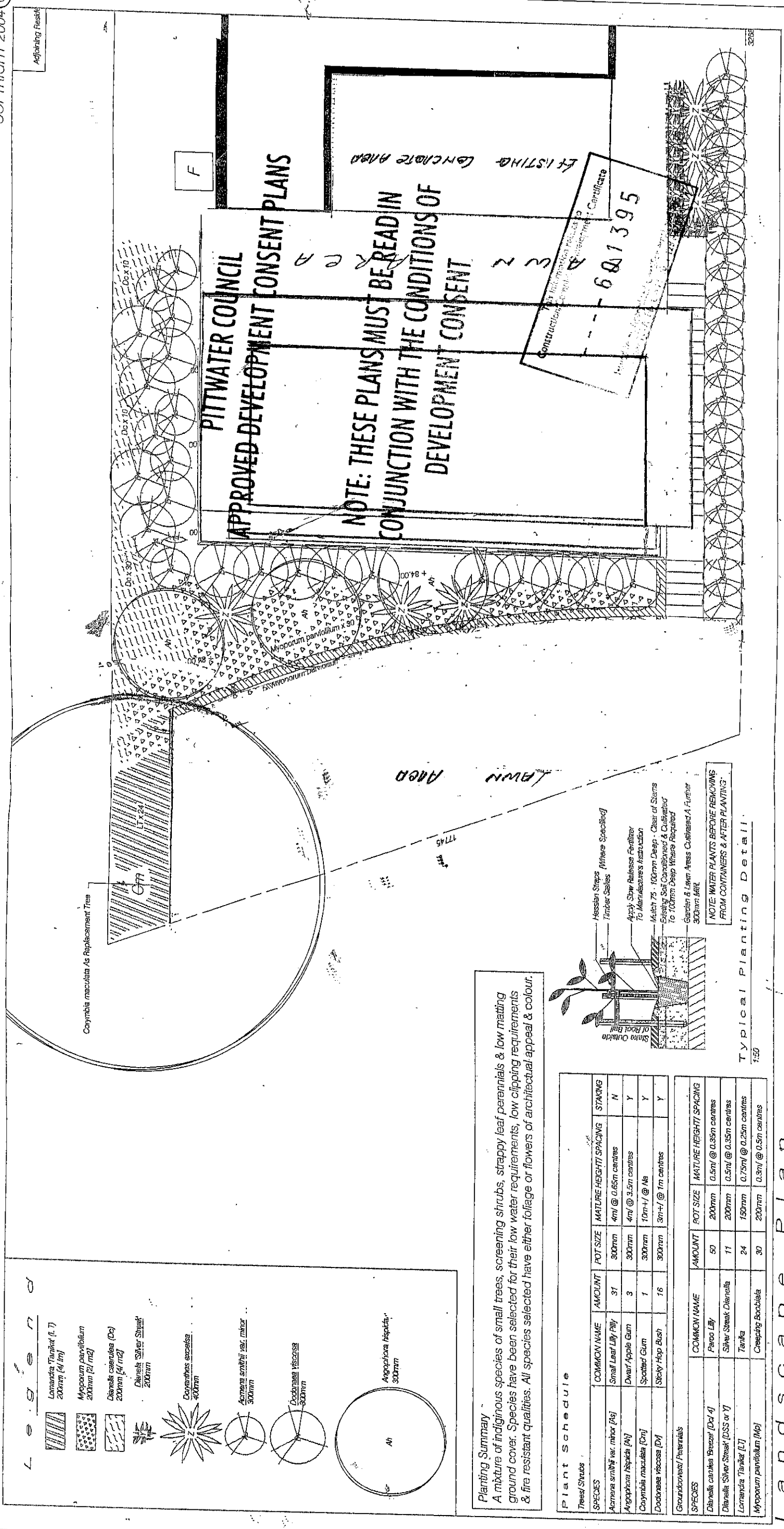
- Site Area By Boundary Dimension = 628m²
Existing Built On
House = 107.6 m²
Paving & Concrete = 107 m²
Driveway = 12.5 m²
Carport = 18 m²
Existing Built On = 245.1 m² = 39%
- Proposed Built On
Swimming Pool Surface = 47.4 m² [Excluded]
Pool Concourse = 25 m²
Proposed Built On = 25 m² or 4%
Total Built On = 270.1 m² or 43%
Landscape Area > 2m² = 337.3 m² or 53.7%

BM: Exposed Concrete RL 88.62
The Pool Concours Structure
Will Be Level The BM (RL 88.62)
F Sound Proof Filter Box

SEDIMENT FENCE DETAIL

NOT TO SCALE





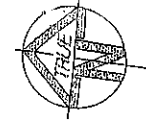
Planting Summary
A mixture of indigenous species of small trees, screening shrubs, strappy leaf perennials & low matting ground cover. Species have been selected for their low water requirements, low clipping requirements & fire resistant qualities. All species selected have either foliage or flowers of architectural appeal & colour.

Plant Schedule			
SPECIES	COMMON NAME	POT SIZE	AMOUNT
<i>Acrocarpa frutescens</i> var. <i>minor</i> [N]	Small Leaf Lilly [N]	300mm	31
<i>Angophora hispida</i> [N]	Dwarf Apple Gum	300mm	3
<i>Corymbia maculata</i> [N]	Spotted Gum	300mm	1
<i>Dodonaea viscosa</i> [N]	Silky Hop Bush	300mm	16
Groundcovers / Perennials			
SPECIES	COMMON NAME	POT SIZE	AMOUNT
<i>Dianella caerulea</i> [N]	Paroo Lily	200mm	50
<i>Dianella Silver Sheen</i> [N]	Silver Sheen Dianella	200mm	11
<i>Lomandra 'Tanka'</i> [N]	Tanka	150mm	24
<i>Myoporum parvifolium</i> [N]	Creeping Boobiala	200mm	30

Landscape Plan

1:100 @ A3

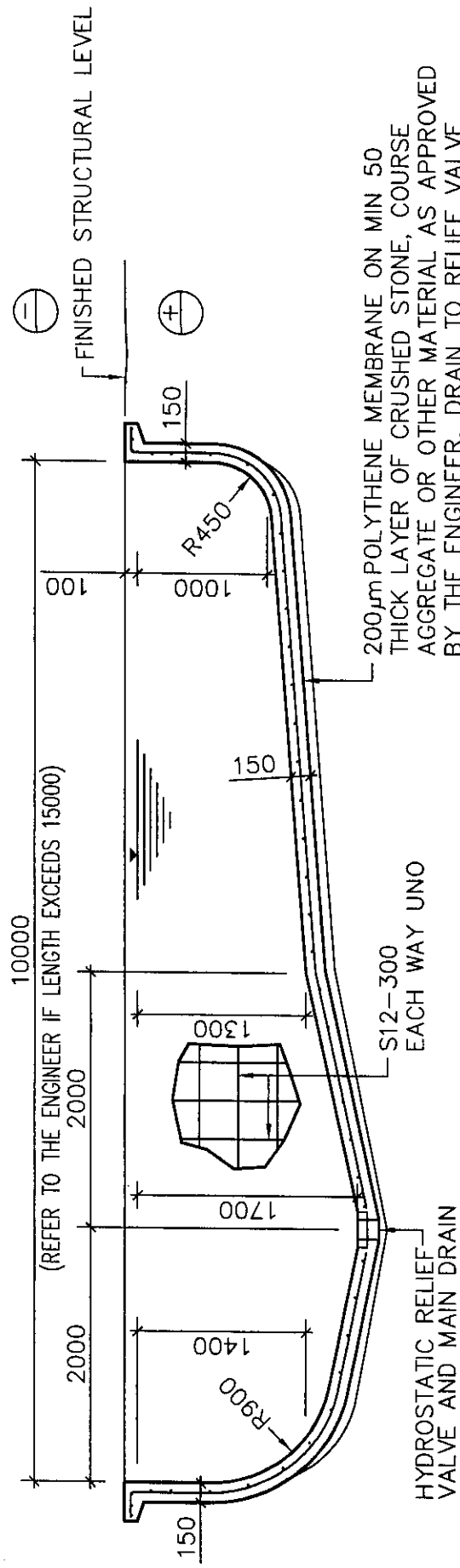
LEVELS & DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO CONSTRUCTION
DRAWING MAY SHOW OR DESCRIBE ITEMS/ WORK EXCLUDED FROM CONTRACT
WARNING- CHECK FOR UNDERGROUND SERVICES DIAL 1100 BEFORE YOU DIG



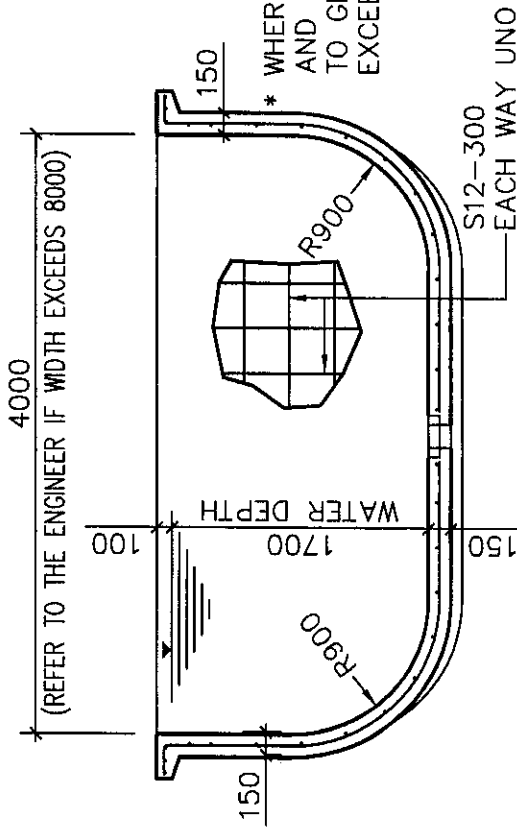
Landscape Plan

Scale As Shown Issue Date: 7/07/2004 Sheet 1/1
DRAWING- EXTRAORDINARY LANDSCAPE & SWIMMING POOL DESIGN
Planting Plan SITE ADDRESS: 44 Byron Road
Project No. 0438 Dwg. DA01

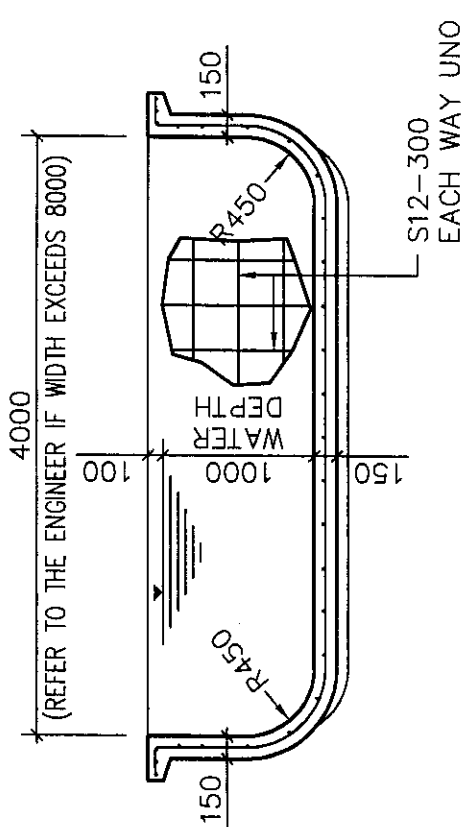
GREEN IGUANA LANDSCAPE
ISSUE A
Use Figured Dimensions Only. Report All Discrepancies To Green Iguana Landscape, Copyright Applies To This Design & Planning Graphics. Any Reproduction or Unauthorized Use of This Design & Plan is Prohibited.
PH. 040 777 2450
ABN. 42 878 456 057



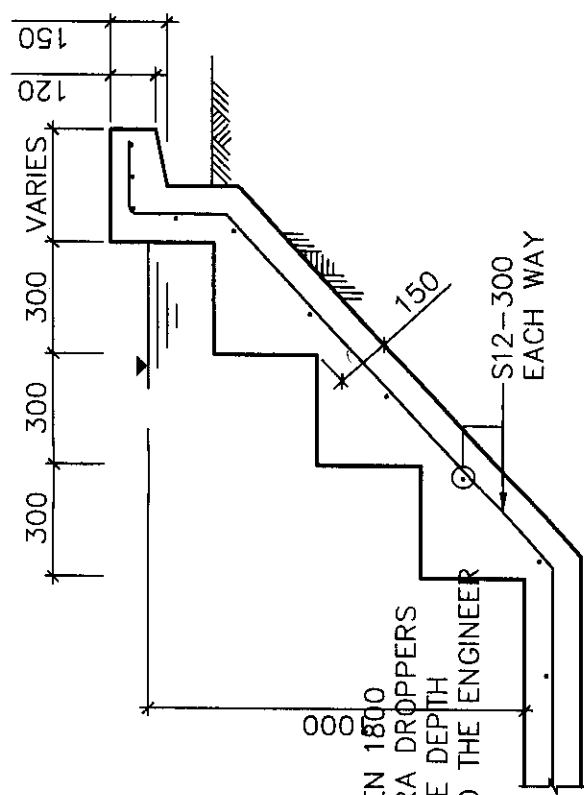
LONGITUDINAL SECTION
1:50



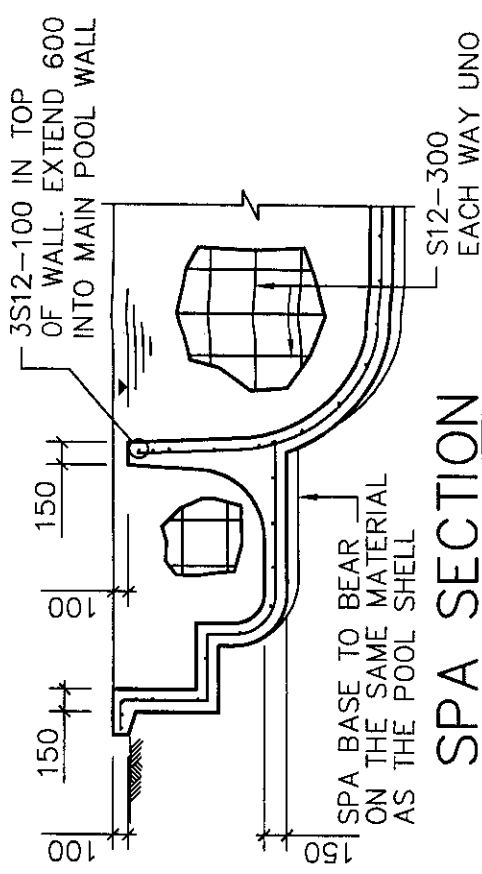
DEEP END SECTION
1:50



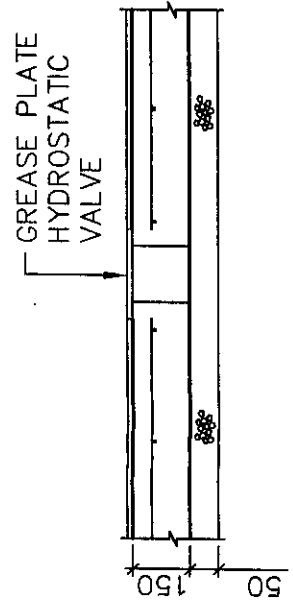
SHALLOW END SECTION
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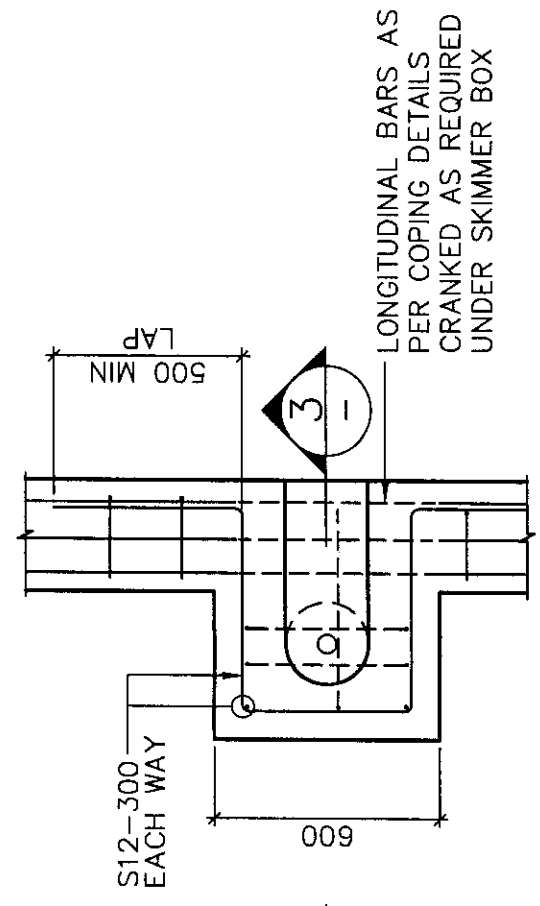
STEPS CAST AGAINST GROUND
1:20



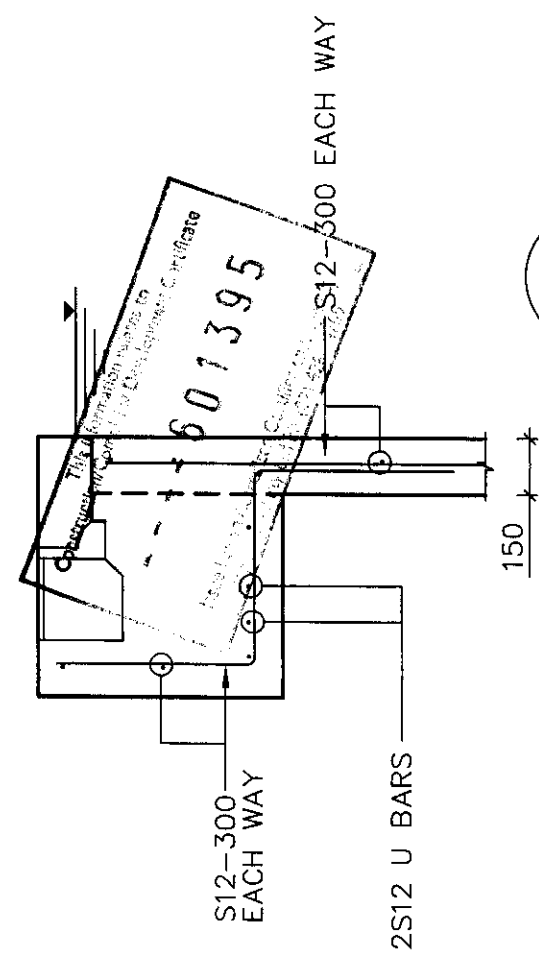
SPA SECTION
1:50



HYDROSTATIC VALVE DETAIL
1:20



PLAN OF SKIMMER
1:20



SECTION
1:20

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone: (02) 9728 0444 Fax: (02) 9728 0455

Keighran and Associates Pty Ltd
Consulting Structural and Civil Engineers
ABN 25 003 832 291
APPROVED
DATE 28/06/04

BE (Hons), MEngSci, FIEAust, CPEng
Registered NPER 3719 (Structural & Civil)

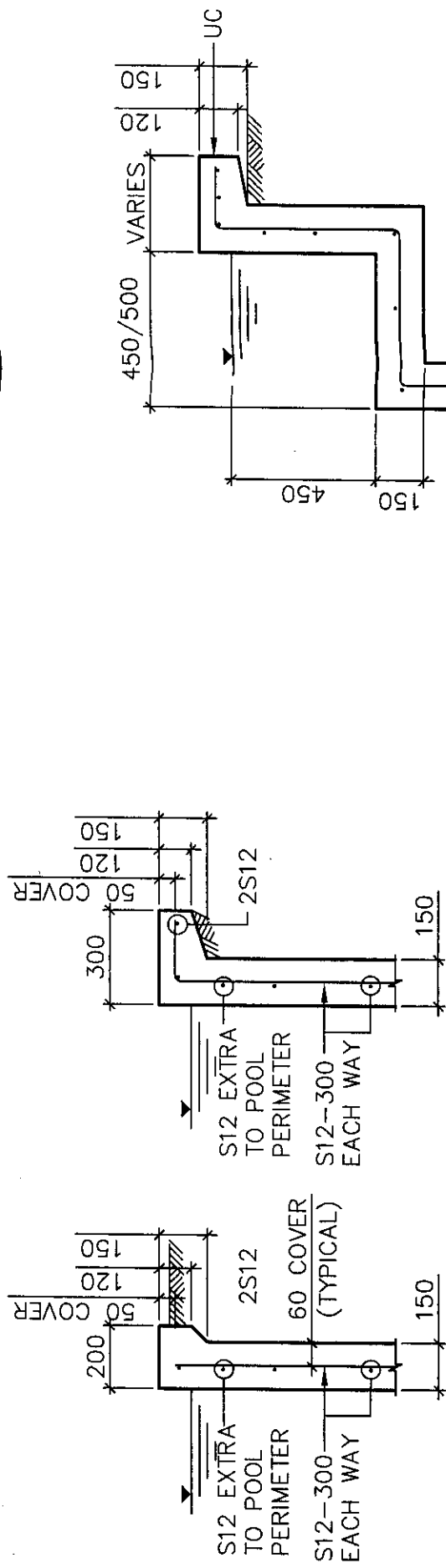


PROPOSED SWIMMING POOL STRUCTURAL DETAILS
FOR Mr & Mrs Jaggard
AT 44 Bynya Road Palm Beach

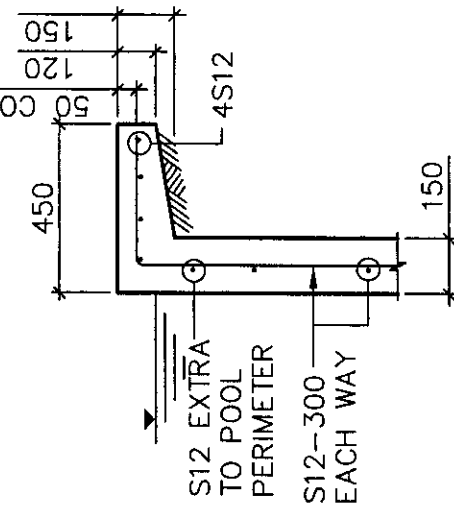
DATE: 28/06/04
DRAWN: EDH

DRAWING/CONTRACT No.
BHP 048083SC

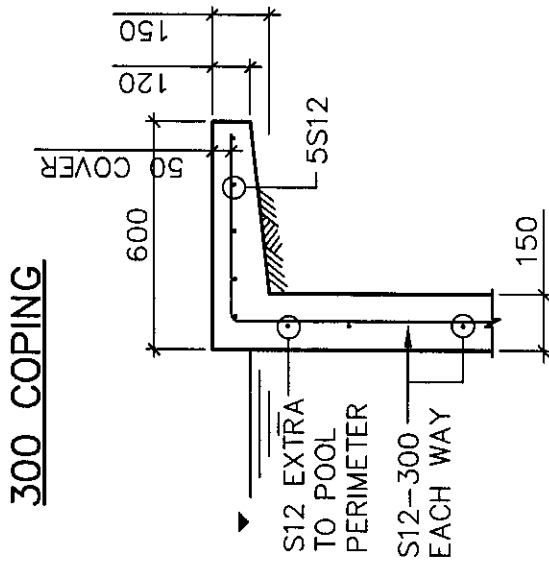
SHEET 2 OF 4



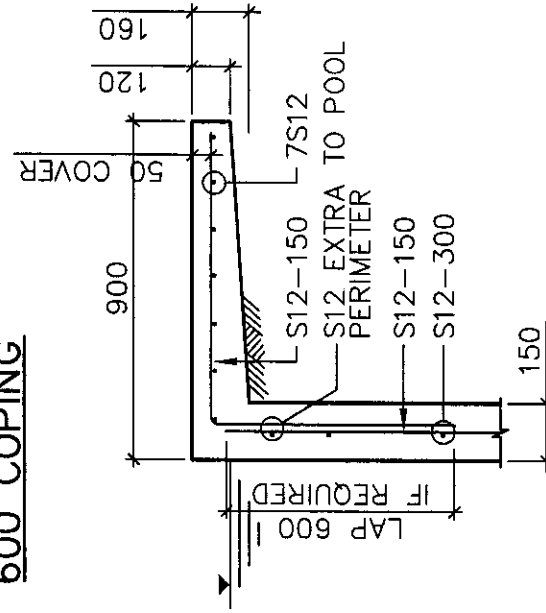
200 COPING



450 COPING



600 COPING



750 COPING

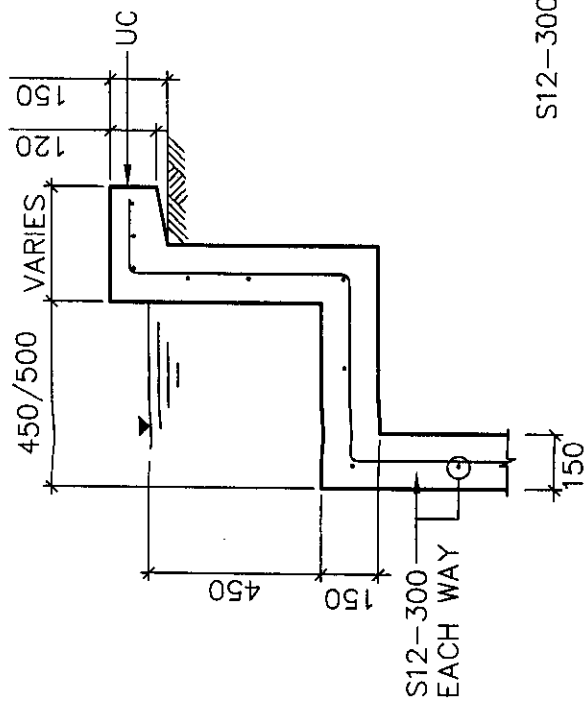
900 COPING

COPING DETAILS

1:20

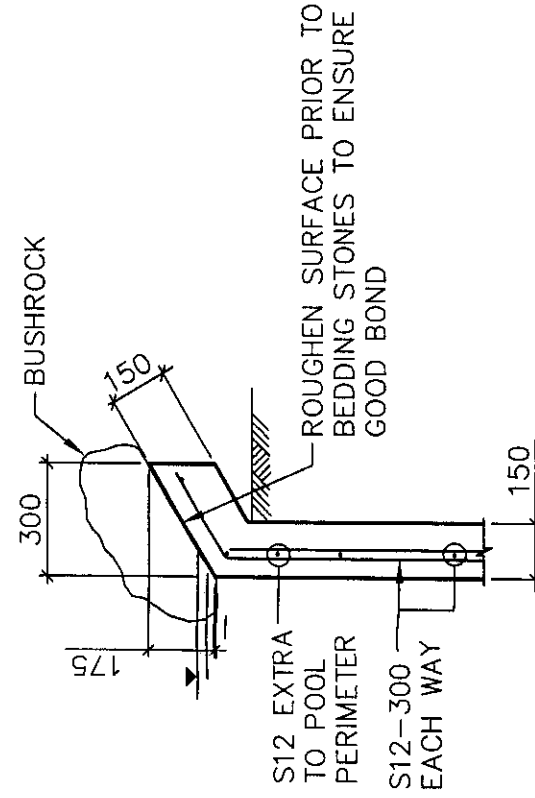
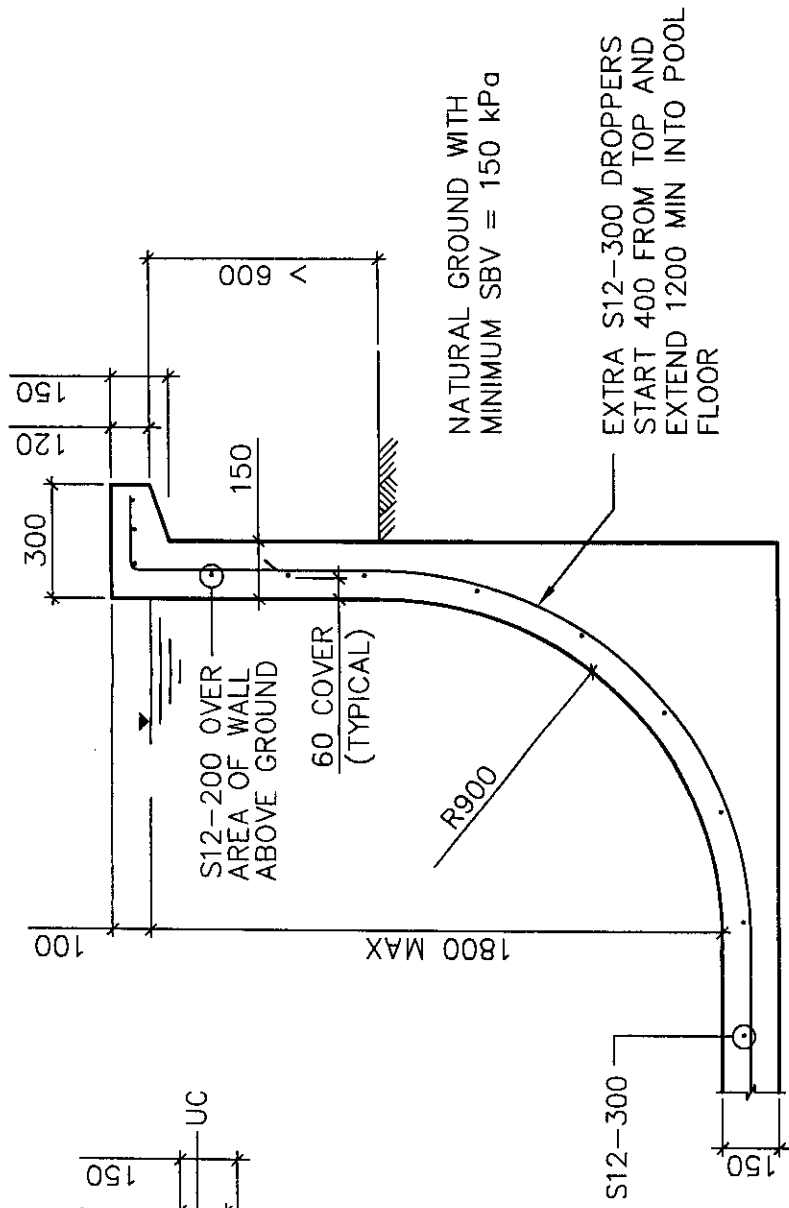
SWIMOUT

1:20

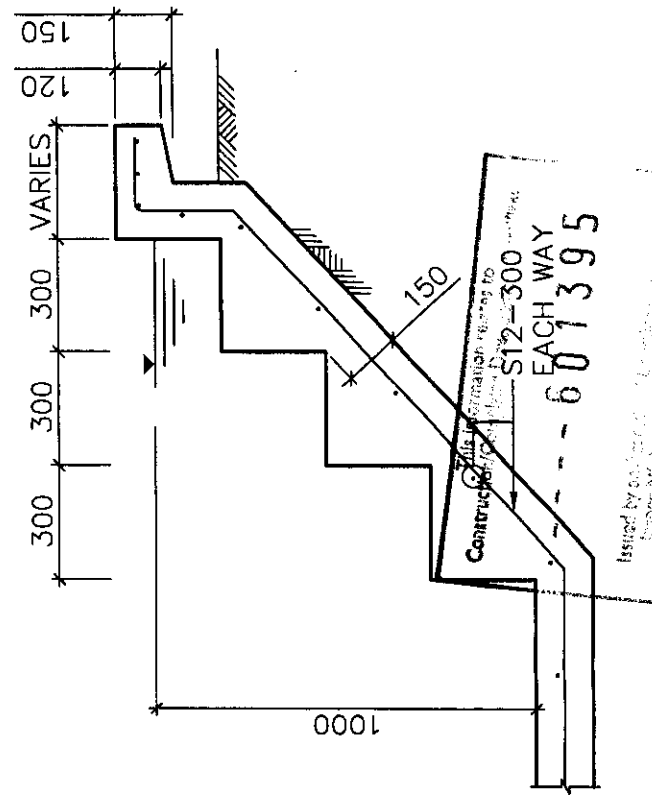


POOL WALL DETAIL

1:20

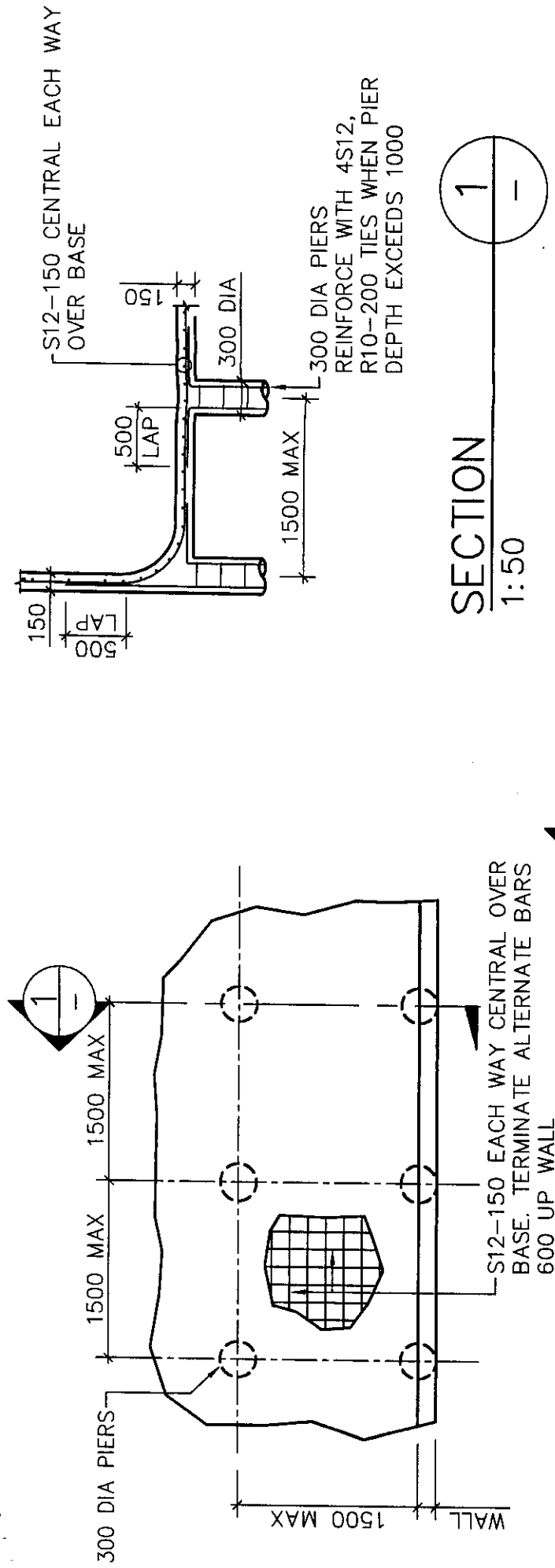


BUSHROCK COPING

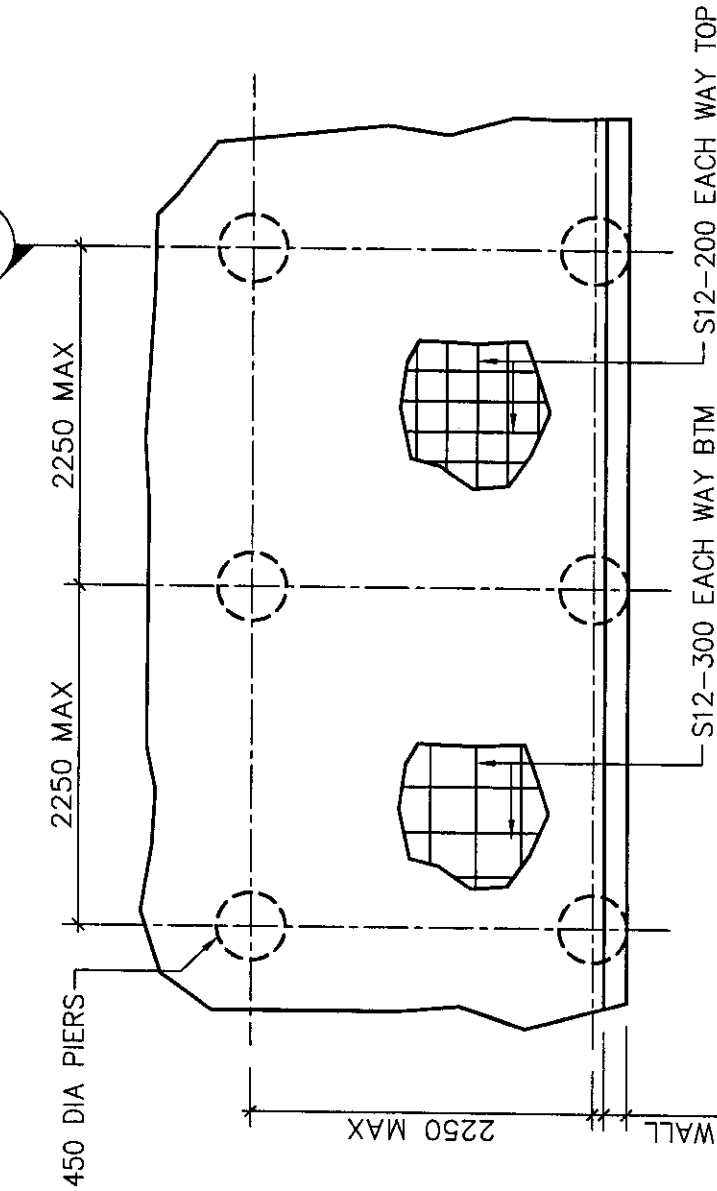


STEPS CAST AGAINST GROUND

1:20



PART PLAN - OPTION 1



PART PLAN - OPTION 2

SUSPENDED POOL PLANS

1:50

PIERS

$f'_c = 20 \text{ MPa}$

60 COVER TO REINFORCEMENT

PIERS TO BE FOUNDED IN UNIFORM ROCK WITH A SAFE BEARING VALUE OF 800 kPa. REFER TO THE ENGINEER IF DEPTH OF PIERS EXCEEDS 3000

Structural details only certified by:

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd

68 Hume Highway Lansvale NSW 2166

Telephone: (02) 9728 0444 Fax: (02) 9728 0455

Keighran and Associates Pty Ltd

Consulting Structural and Civil Engineers

ABN 25 003 832 291

APPROVED DATE 28/06/04

BE (Hons), MEngSci, FIEAust, CPEng

Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS

FOR Mr & Mrs Jaggard

AT 44 Bynya Road Palm Beach

DATE: 28/06/04

DRAWN: EDH

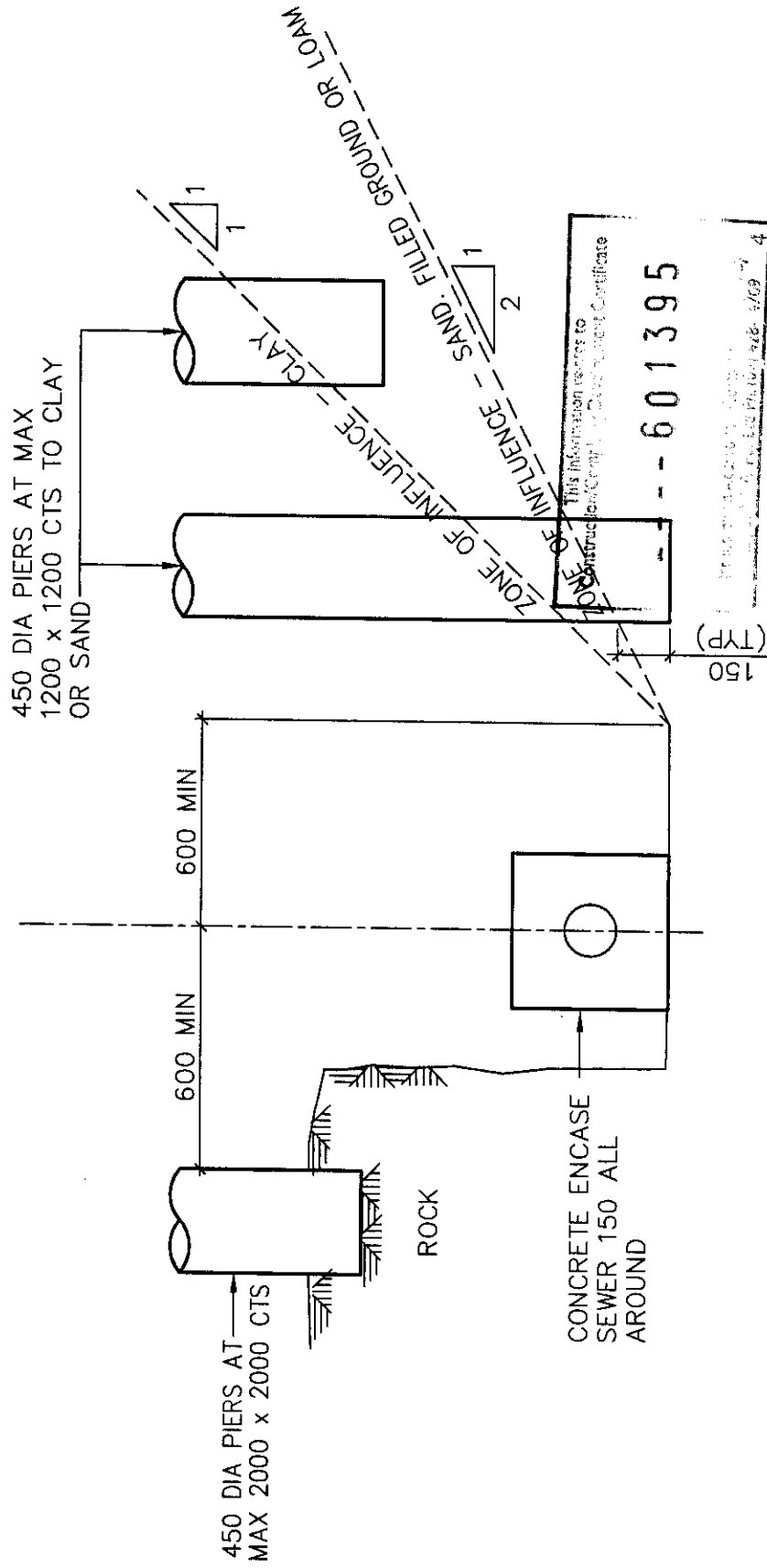
DRAWING/CONTRACT No.

BHP 048083SC

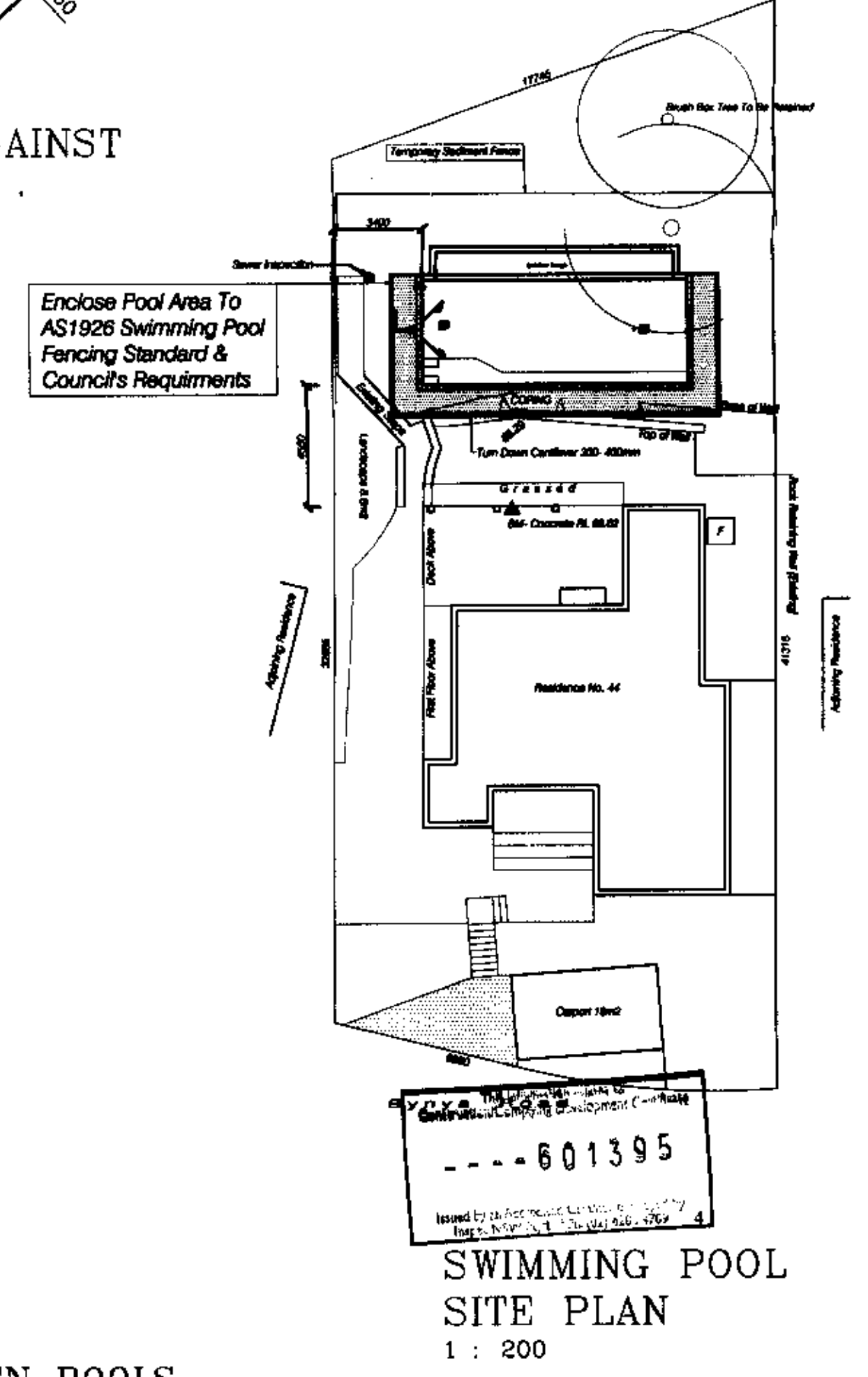
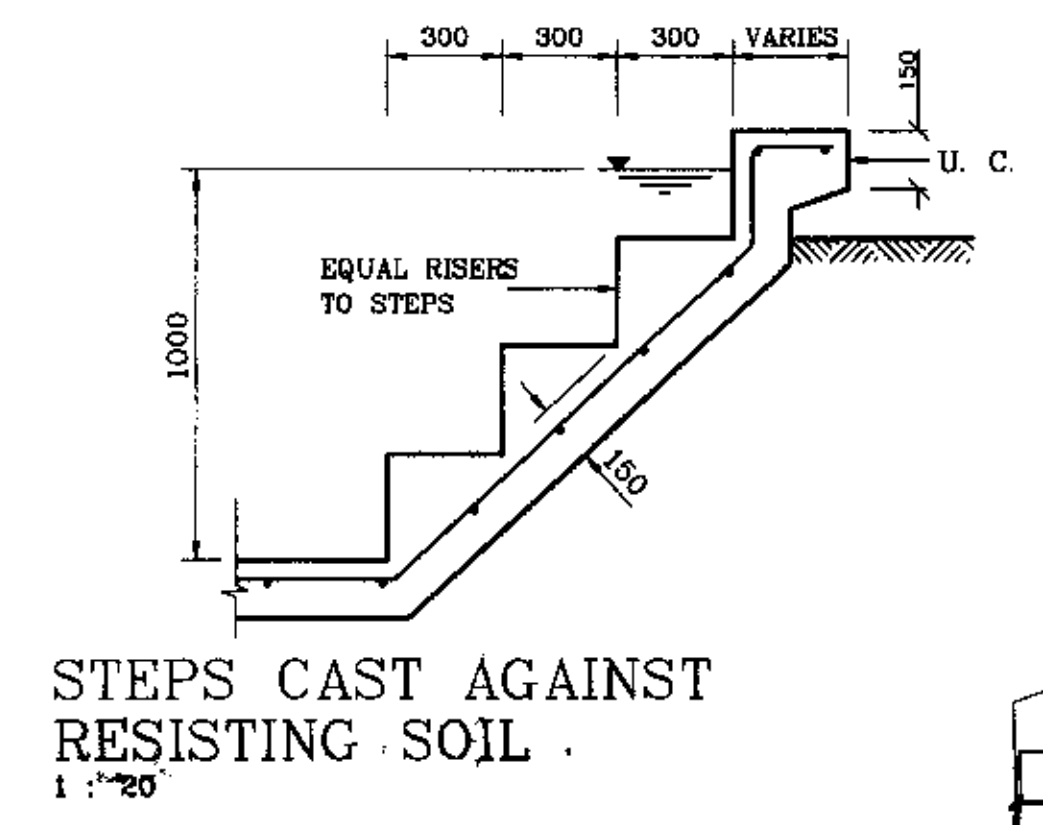
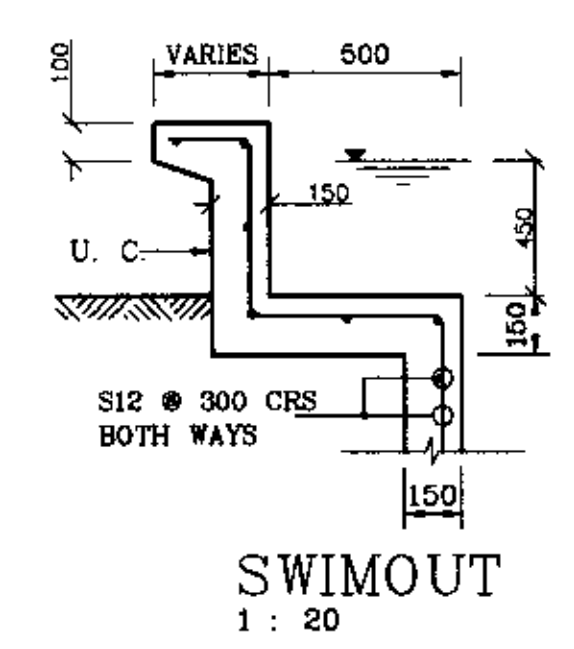
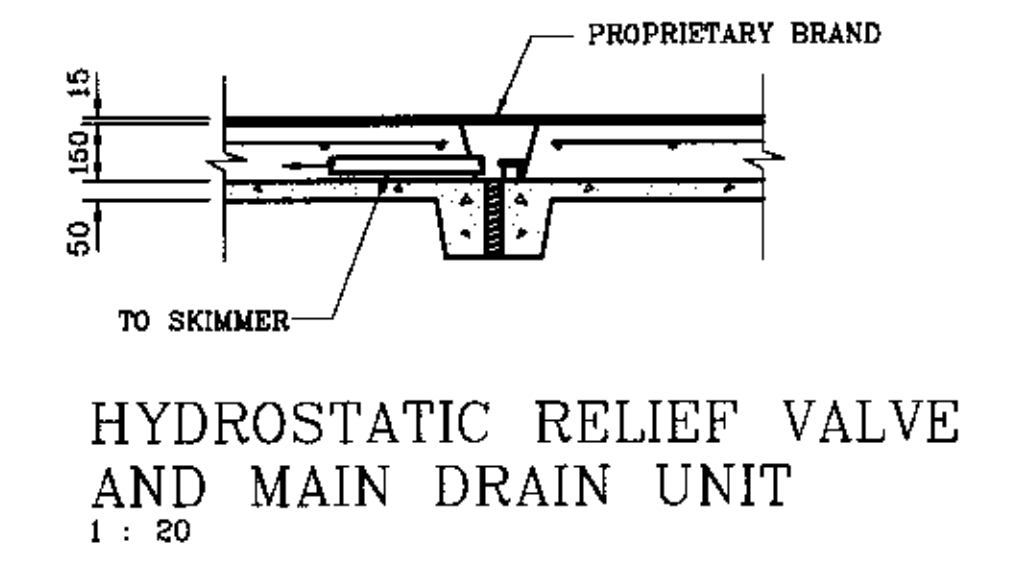
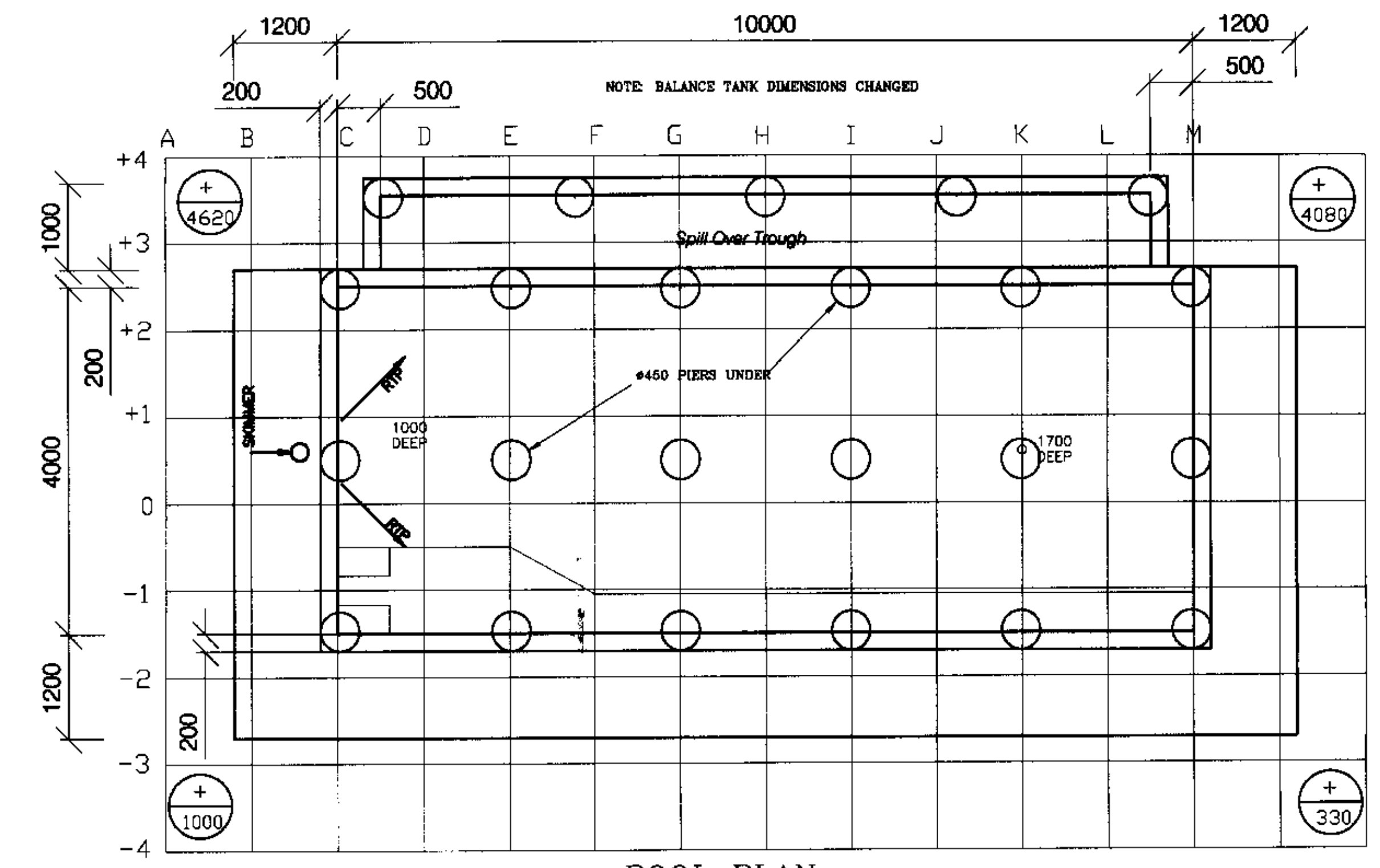
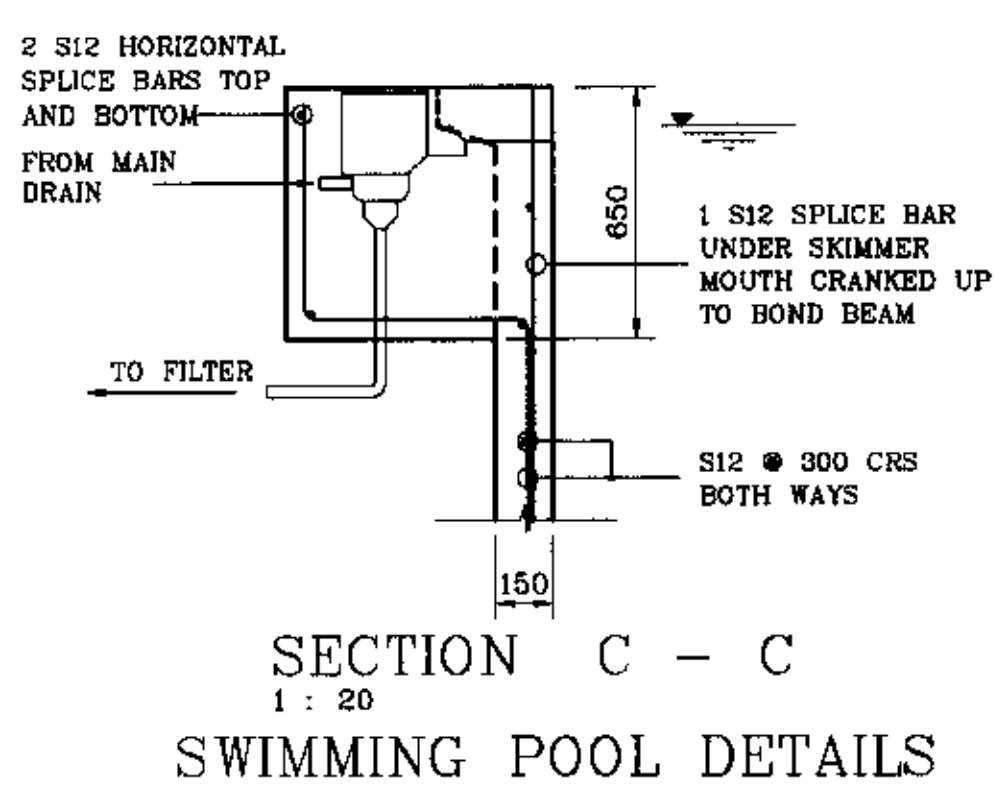
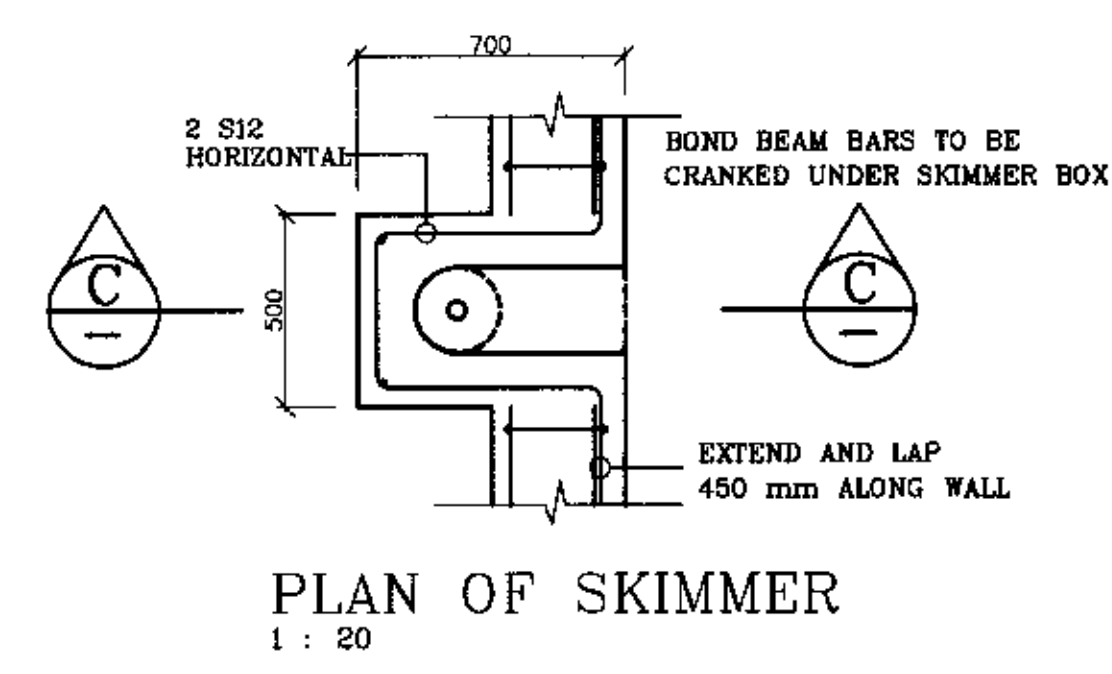
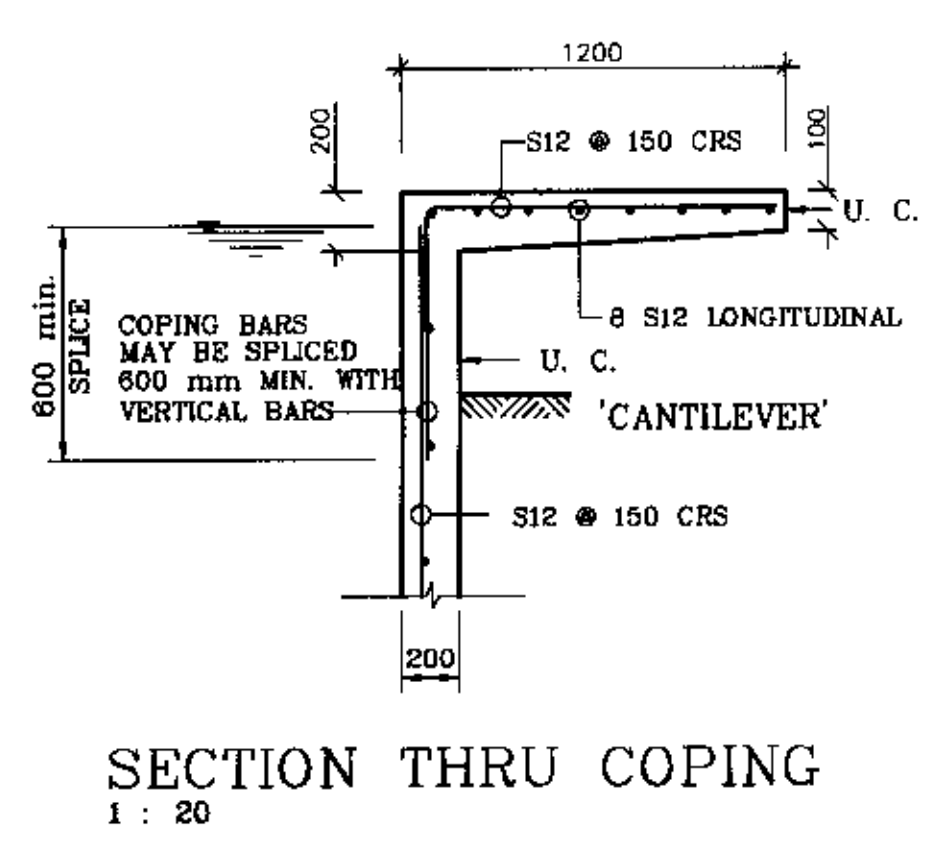
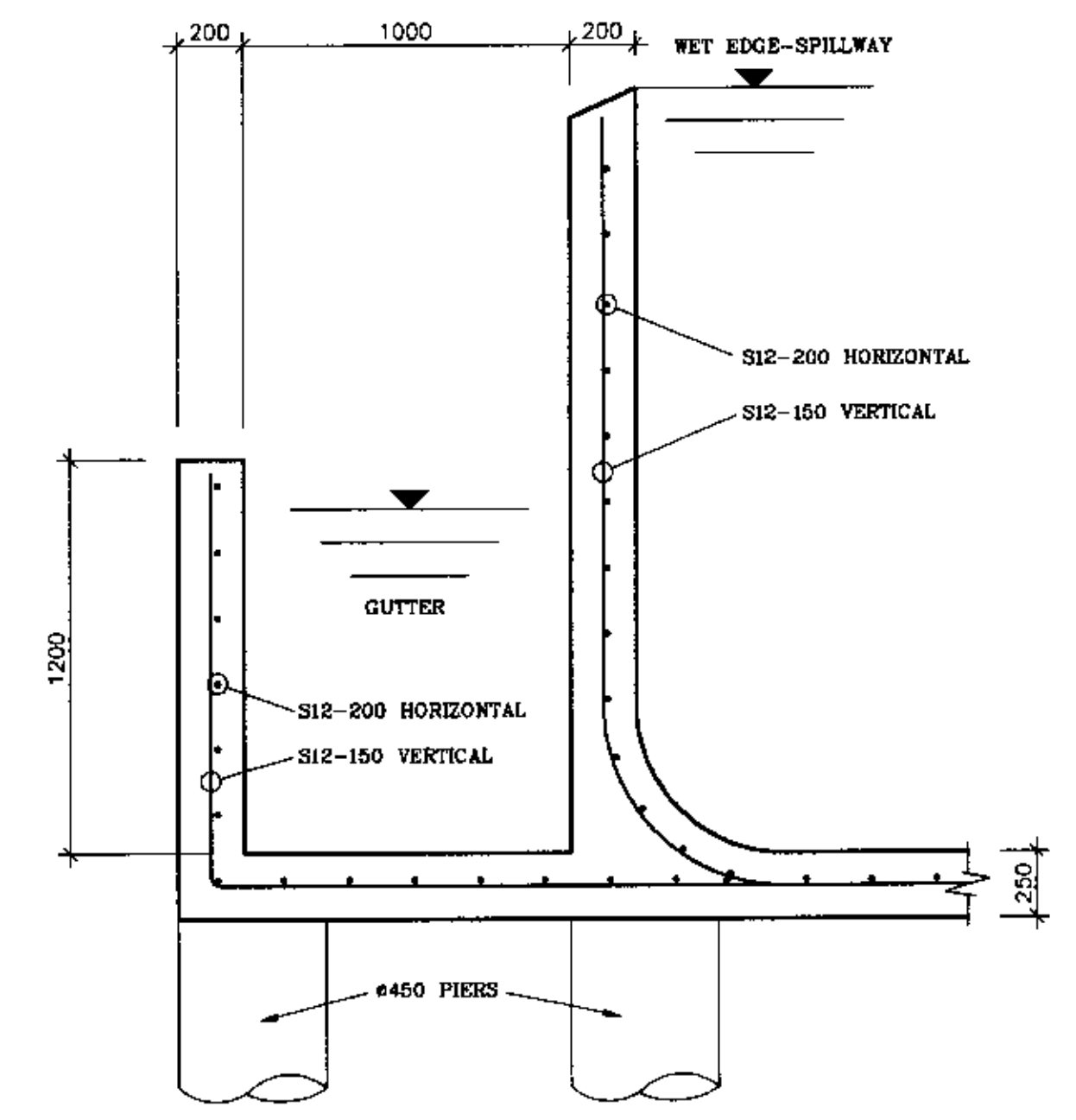
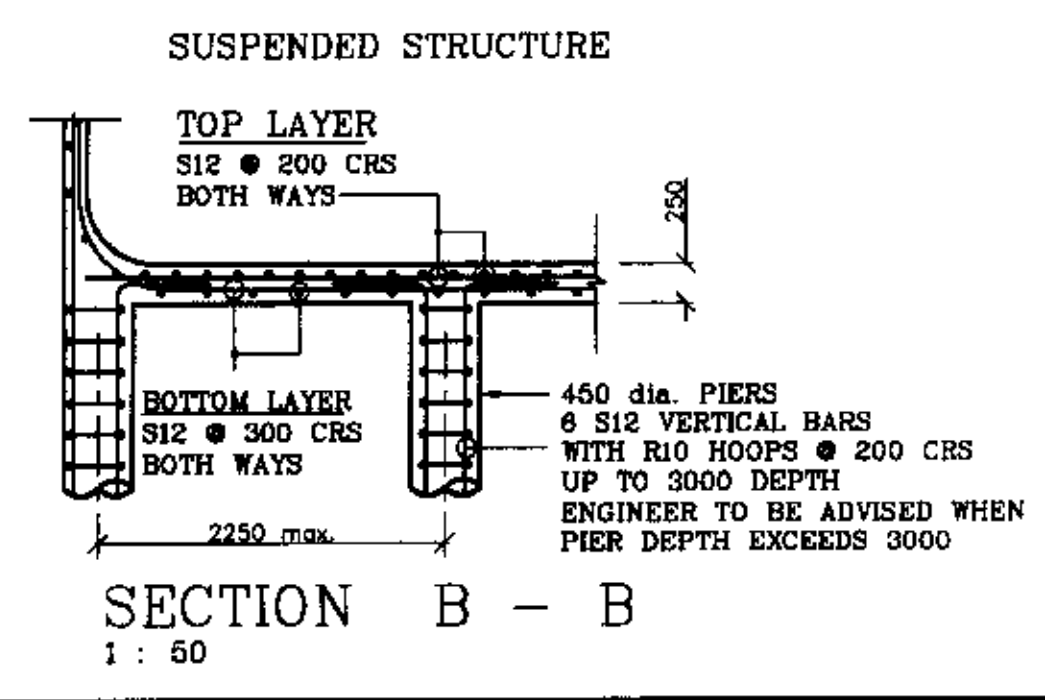
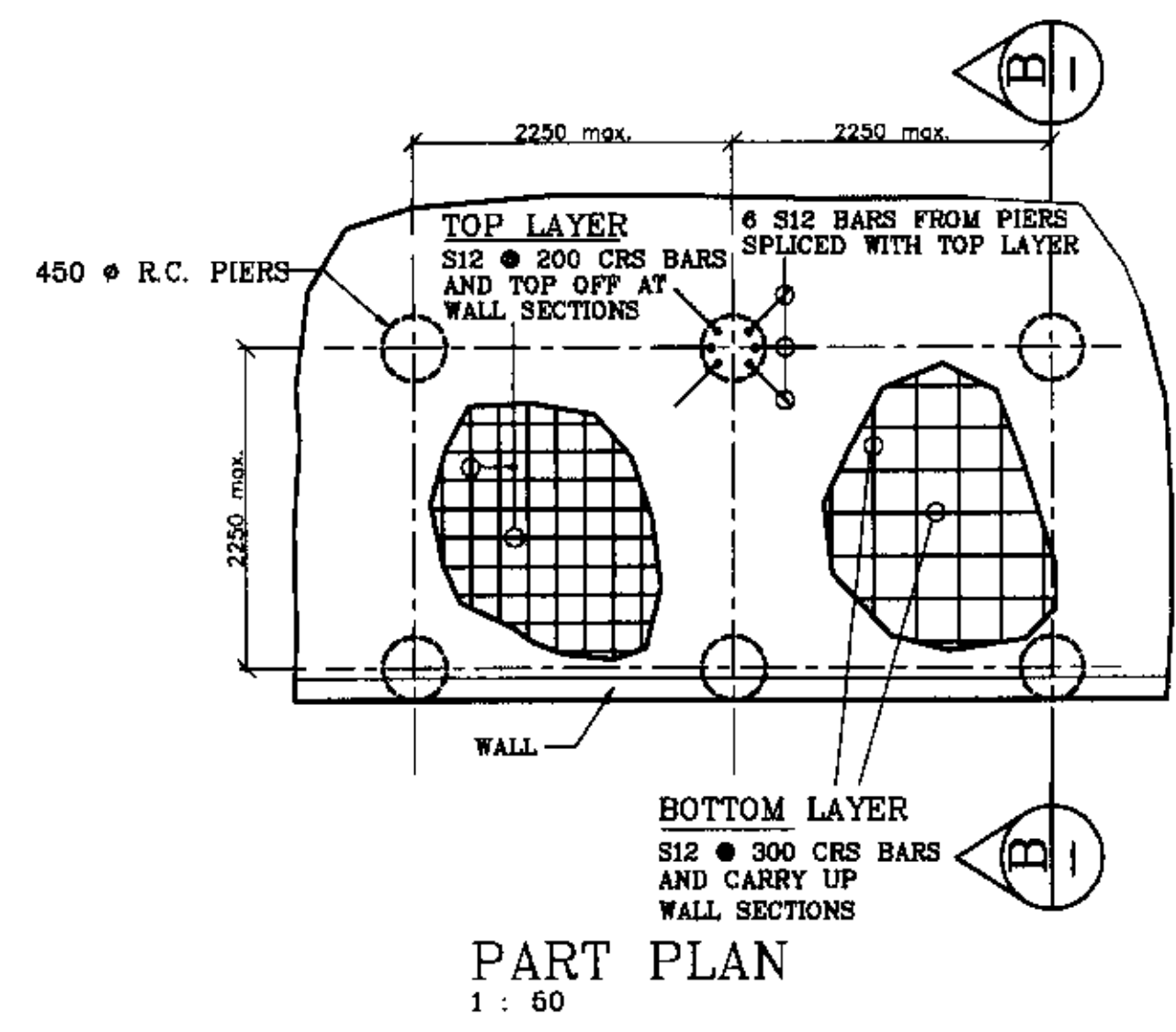
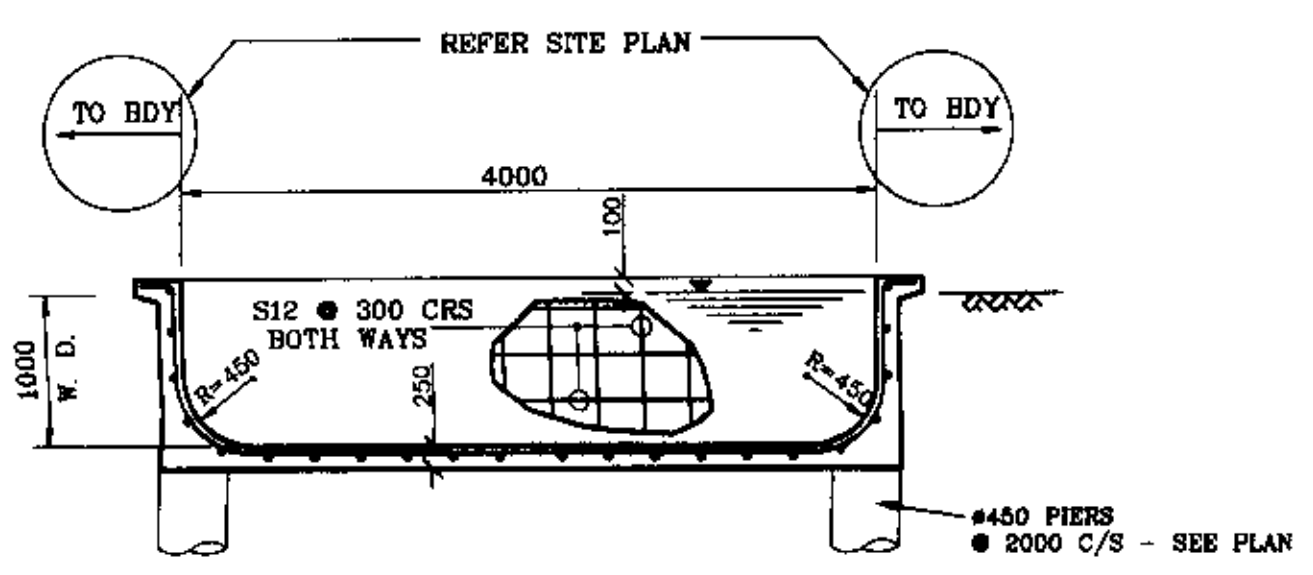
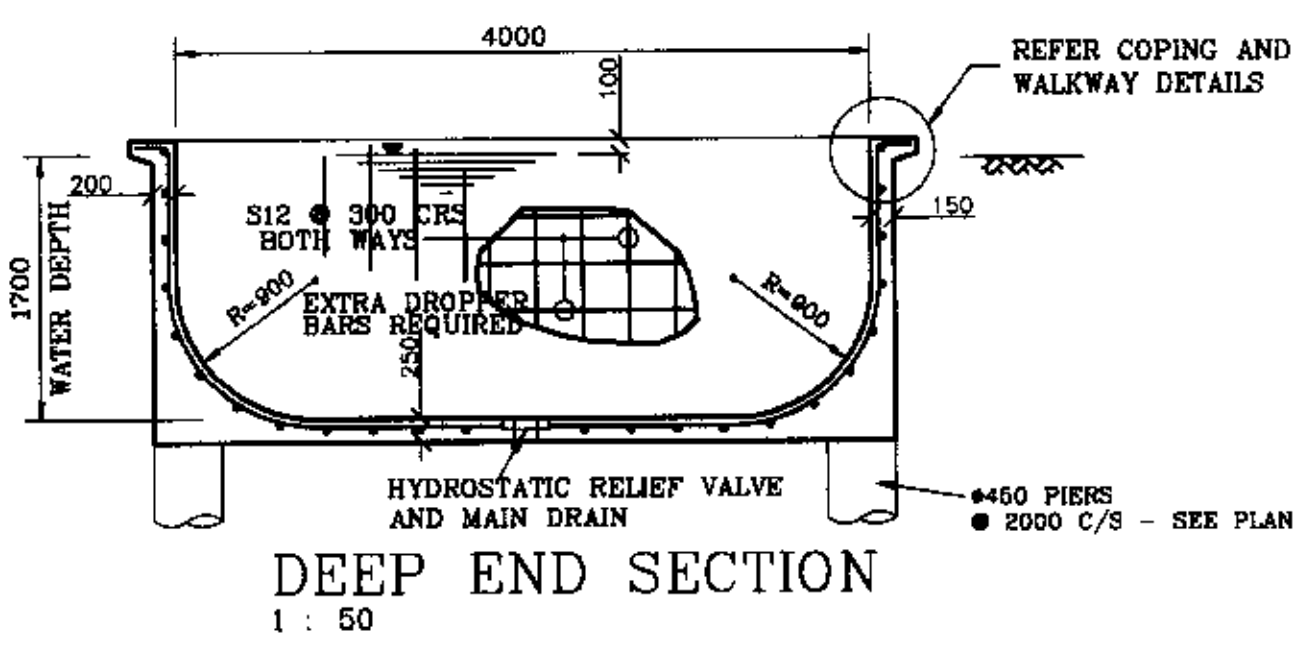
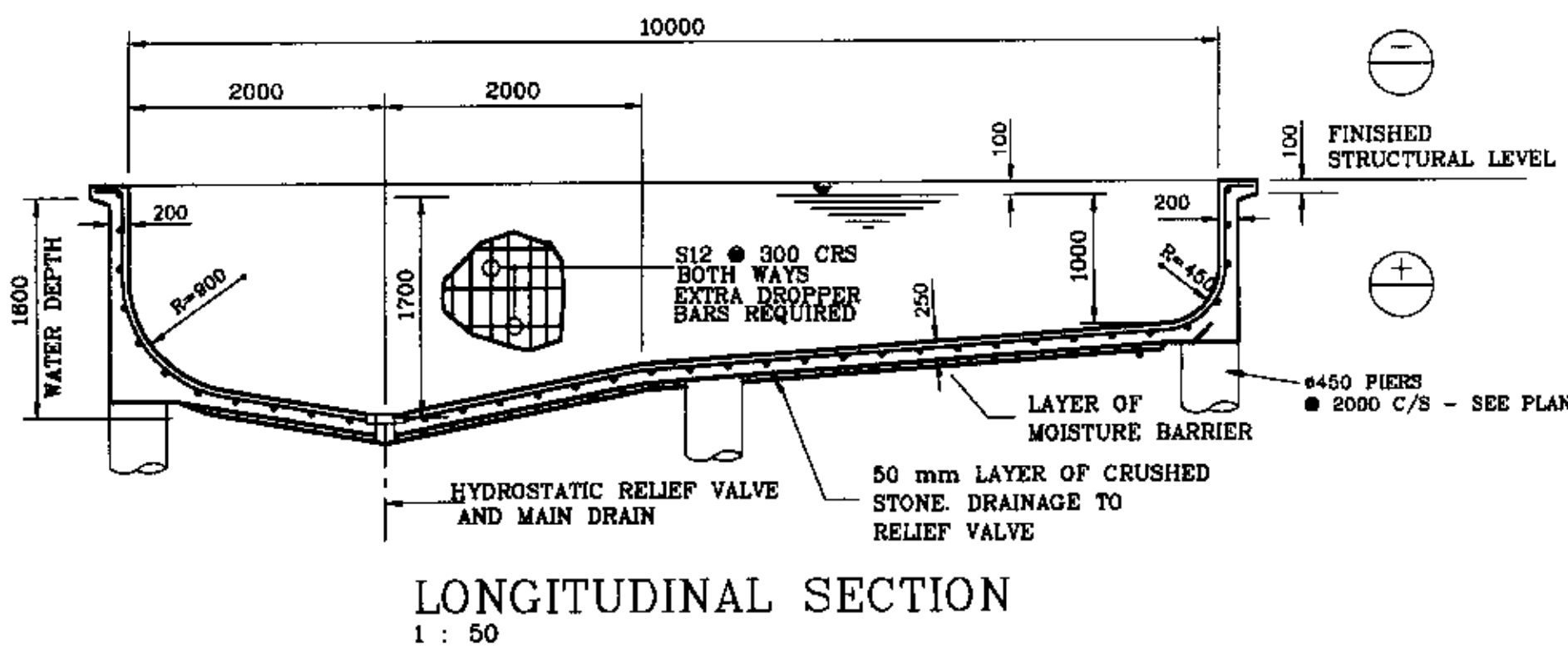
SHEET 4 OF 4

TYPICAL BUILDING OVER SYDNEY WATER SEWER

1:20



1. CLAY OR SAND TO HAVE A MINIMUM SAFE BEARING VALUE OF 200kPa
2. ROCK TO HAVE A MINIMUM SAFE BEARING VALUE OF 800kPa
3. POOL BASE TO BE AS PER SUSPENDED POOL FOR RELEVANT PIER SPACING



GENERAL NOTES

- All workmanship and materials shall comply with relevant SAA codes, By-laws and ordinances of the Local Building Authority.
- The overall dimensions shall be checked on site. Dimensions shown are concrete sizes and do not include finishes. These drawings are to be read in conjunction with the Contract but do not form part of the Contract. Do not scale from this drawing. Any discrepancies shall be notified to the Engineer.
- The foundation material must be stable and shall have a minimum bearing capacity of 150 Kpa. Any variations in the foundations from that assumed shall be immediately referred to the Engineer. The underside of the pool shall be separated from the foundation material by an impervious membrane overlying a 50mm thickness of permeable material draining to the Hydrostatic Valve.
- Excavations shall not be permitted within 2 metres of an existing structure without prior approval or recommendations provided by the Engineer.
- Walkways have been designed for a distributed load of 4 Kpa and a line load of 30kg/m. No additional loads shall be permitted without prior approval from the Engineer.

REINFORCED CONCRETE SHELL IN ACCORDANCE WITH AS 2783-1985

- The mix shall be proportioned to produce a minimum 28 day compressive strength of 25 Mpa and suitable for pneumatic application. All workmanship and materials to be in accordance with AS 3600.
- The use of calcium chloride as an accelerator will not be permitted without reference to the Engineer.
- Concrete cover shall be as per the Swimming Pool Code.
- Concrete shall be moist cured by the means of a hand held hose approximately four times a day, continue minimum of seven days after concrete placement. This work shall be carried out by the owner.
- All reinforcing steel to be fixed by an approved method and supported at 1m max. centres.
- CA - Y - denotes high yield bar.
S - denotes structural grade 230 deformed - bar.
- All laps to be 500mm unless noted otherwise.

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THIS DRAWING DOES NOT FORM PART OF ANY CONTRACT

Registered Professional Engineer 198230 Mr Edward A. Bennett MEAust CPENG Signature: <i>[Signature]</i> Date: 2/08/2005 Register on the NPER in the Category of Civil/Environmental/Regulatory/Geotechnical National Professional Engineers Register			OWNER COUNCIL DESIGNER CONSTRUCT	BLUE HAVEN POOLS PROPOSED SWIMMING POOL - STRUCTURAL DETAILS FOR MR & MRS JAGGARD AT 44 BYNYA ROAD PALM BEACH CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES PTY. LTD. A.C.N. 051 307 852 CONSULTING STRUCTURAL & CIVIL ENGINEERS 3 WANNITI ROAD, BELROSE N.S.W. 2085 PHONE 61-02 9975 3899 FAX 61-02 9975 1943 MOBILE 0407 75 3899 EMAIL nted@con.com.au	SCALE: As Shown DRAWN: D.W.S. CHECKED: DATE: 2/08/2005 CONTRACT No. DRAWING No. B-05-18176
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