

Pittwater Council

OFFICIAL RECEIPT

22/02/2005 Receipt No: 162250

To URBAN APPROVALS P/L

PRIVATE BOX 39
SOUTHLANDS CENTRE
PENRITH NSW 2750

Applic.	Reference	Amount
GL Recei	PRVC-Priv Iss 1 X N0186/04	\$30.00

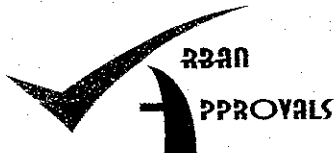
Total: \$30.00

Amounts Tendered

Cash	\$0.00
Cheque	\$30.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 22/02/2005 12:44:32 PM

Cashier: CLummas



162250
N0186/04

Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

1. Location and Title Description of the Property/Land:

Street No & Street: 2 Eucalyptus Place
Suburb: WARRIEWOOD
Lot(s): 3009
Section:
Deposited Plan(s): 1065726
Strata Plan:
Other:

2. Applicant:

Family/Company Name: Maincom Pty Ltd
Given Names/ACN:
Postal Address: 6/119 Coreen Ave
PENRITH 2750

3. Principal Certifying Authority:

Name: Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.: # 6328
Accreditation Body: Department of Infrastructure Planning and Natural Resources (NSW)

PCA's Signature:

Certification Details

4. Particulars

Determination: ☒ Approved ☐ Refused

Construction Certificate

Determination Date: 17th February 2005

Construction Certificate No.: PC03005

Building Code of Australia

Classifications: 1a & 10a

DA Consent No. and Date: N0186/04 - 20/5/04

Building Details: Two storey dwelling

5. **PCA's Certification Statement**

I, Warrick Norris, certify, that building work completed in accordance with the documentation accompanying the Construction Certificate Application made by the Applicant named in this certificate (with such modifications verified by me and Urban Approvals as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Act Regulation 2000, as required by section 81A (5) of the Environmental Planning and Assessment Act 1979.

PCA's Signature & Date:



17th February 2005

6. **Construction Certificate Attachments**

- ☐ ACE Hydraulic Engineer's Plans drawing number 0405-40 A1 (Sheets 1-2)
- ☐ Signed Urban Approvals Pty Ltd Application Forms
- ☐ Photographic Survey by Maincom Pty Ltd (previously supplied)
- ☐ Plans by Maincom Pty Ltd A101/3009-A202/3009 dated 13/12/04
- ☐ Structural engineers plans numbered 6915/50a-54

Certificate of Insurance

Maincom Pty Ltd
Locked Bag 89
PENRITH NEW SOUTH WALES 2751

Form 1
Section 92
Home Building Act 1989

Local Authority's Copy
Issue Date: 18/11/2004
Certificate No: RCW71630804

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: November 04, 2004
Declared Building Contract Value: \$382,753.95
(Refer policy for indemnity limit)

Carried Out By: Maincom Pty Ltd
ABN: 23080619174
Licence No: 51707C
For: Stockland Development Pty Ltd

In Respect Of: Single Dwelling
A/c: House No. 2
Eucalyptus Place
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N 45IQ6JJXK7FR

Printed 18/11/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807



ABN- 23 080 619 174

Locked Bag 89
Penrith NSW 2751
6/119 Coreen Ave
Penrith NSW 2750

Phone: (02) 4722 5900
Fax: (02) 4722 3200
Email: info@maincom.net
Web: www.maincom.net

17 February 2004

Mr Warrick Norris
21 Tukara Road.
South Penrith NSW 2750

Dear Mr Norris,

RE: No. 15, 17, and 19 Grevillea St. and 2 Eucalyptus place Warriewood

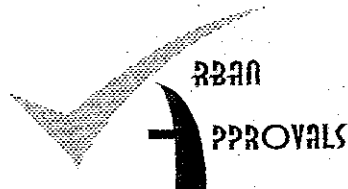
As per your request all matters have been resolved and noted below.

1. **Certificate for driveway:** The driveways for No. 15, 17 and 19 Grevillea Street and No. 2 Eucalyptus place Warriewood will be constructed in accordance and to satisfy council policy DCP E3 and as per condition B28 of the consent.

I hope all this meets with the requirements.

Yours Faithfully,

Jimmy Daaboul
Project Manager
0425 276 016
MaincomP/L

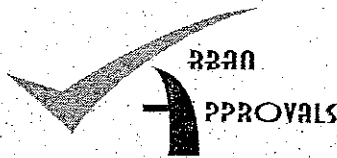


Building Schedule

Area of Subject Property (m ²) 330m²	Gross Area of Existing Building (m ²) N/A
Gross Floor area of Proposed Addition / Building (m ²)	Current use(s) of the Buildings / Land VACANT
Proposed use(s) of the building / Land RESIDENTIAL	Does the Site Contain or Propose a Dual Occupancy NO
Number of Pre Existing Dwellings NIL	Number of Buildings to be Demolished NIL
Number of Buildings Proposed ONE	Number of Storeys Proposed TWO

Please tick the Relevant Description of Materials Proposed for Construction

Walls	Roof	Floor	Frame
Brick Veneer (12)	Aluminium (70)	Concrete (20)	Timber (40)
Full Brick (11)	Concrete (20)	Timber (10)	Steel (60)
Single Brick	Concrete Tile (10)	Other (80)	Other (80)
Concrete Block (11)	Fibrous Cement (30)	Unknown (90)	Unknown (90)
Concrete / Masonry (20)	Fibre Glass (80)		
Steel (60)	Masonry Shingle Tiles (10)		
Fibrous Cement (30)	Terracotta Shingle Tiles (10)		
Hardi-Plank (30)	Tiles (10)		
Timber (40)	Slate (20)		
Weatherboard (40)	Steel (80)		
Aluminium Cladding (70)	Terracotta Tiles (10)		
Clain Glass (50)	Other (80) (Specify)		
Other (80) (Specify)			



Construction Certificate Application

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

Receipt of Application

Date:

14/2/05

Delivery by:

☒ Hand

☐ Post

☐ Electronic Transmission

(Must not be by facsimile)

Signed by Urban Approvals:

W. Brown

Application & Site Details

1. **DA, Consent Details:**
(You may only make this application if you already have development consent)

DA No.:

NO146/04

Consent No.:

Consent Date:

Building Code of Australia

Classification:

(As specified on the Consent)

2. **Applicant:**

Family/Company Name:

MAINCOM P/L

Given Names/ACN:

Postal Address:

LOCKED BAG 89 PENRITH
2750

Phone:

4722 5100

Facsimile:

4722 3200

Contact Person:

JIMMY DABOL

3. **Owner(s) of Property:**

Family/Company Name:

STOCKLANDS

Given Names/ACN:

Postal Address:

157 LIVERPOOL ST SYDNEY

Phone:

9020 8240

4. Location and Title Description of the Property/Land:

Street No & Street:

2 EUCALYPTUS PLACE

Suburb:

WARRIEWOOD

Lot(s):

3009

Section:

Deposited Plan(s):

1065726

Strata Plan:

Other:

5. Description of Building Work:

Detailed Description:

TWO STOREY BRICK VENEER HOME.

6. If required, have you provided:

4 copies of the detailed building plans

2 copies of any compliance certificates to be relied upon

4 copies of the specifications

proposed/existing fire safety measures

2 copies of certified engineering details

design verification statement (certain residential flat buildings)

Other.....

7. Estimated Cost of the Development

\$ 342,753.00

8. Builder/Owner Builder

Name:

MAIN CON P/C

Contact Phone No.:

4722 5000

Contractor Licence No.:

OR

Owner Builder Permit No.:

(Required for residential building over
exceeding \$5,000)

9. Do you need:

(If YES, please attach proof of payment and/or compliance)

(a) to pay the Building Industry Long Service Levy?

(Required if development involves building work which exceeds \$24,999)

Yes

Not Applicable

(b) Home Building Act Insurance?

(Required if using builder for residential building work which exceeds \$12,000. A certificate of insurance must be provided with this Application)

Yes

Not Applicable

(c) to register with the Australian Taxation Office under the prescribed payments scheme?

Yes

Not Applicable

10. Have you complied with all the conditions of development consent that require specific matters to be completed or satisfied before a construction certificate may be issued?

(eg. Landscape & drainage plans, drainage calculations, section 94 contributions)

Yes

Not Applicable

11. List of documents accompanying this Application:

ARCHITECTURALS
STRUCTURALS
HYDRAULIC
LANDSCAPE

12. Schedule

(The attached schedule is to be completed for the purpose of providing information to the Australian Bureau of Statistics.)

Payment of Fees

13. Fees and Charges:

The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule, as updated and/or amended from time to time.

Execution

14. Owner's Consent:

(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s: REFER TO LETTER Date:

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence (eg power of attorney, executor, trustee, director).

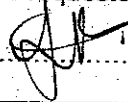
Signature on behalf of Owner/s: Date:

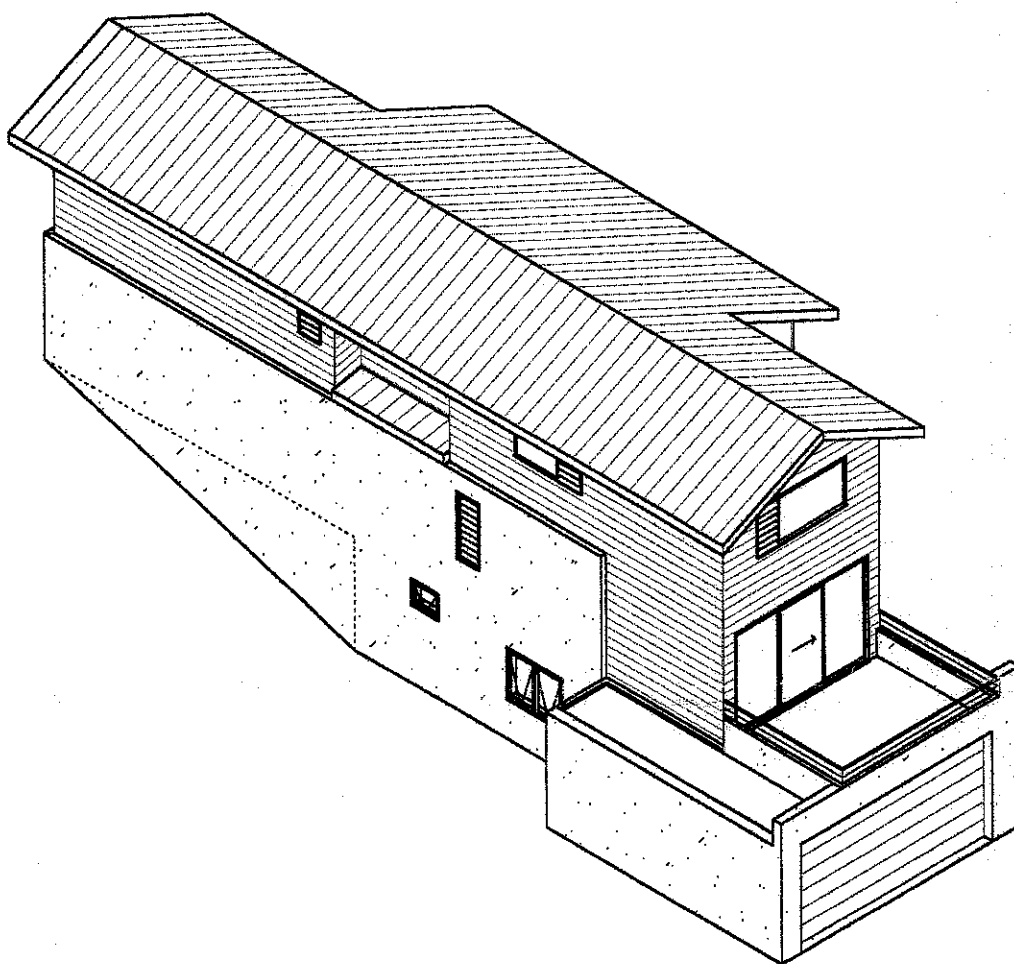
15. Applicant's Declaration

DECLARATION

I apply for a Construction Certificate to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- (a) If incomplete, the application may be delayed or rejected, and
- (b) More information may be requested by Urban Approvals prior to determination.

Signature of Applicant: 



LOT 3009 - FERNBROOK STAGE 3 @ WARRIEWOOD

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES

CC 3009-01	SITE PLAN 1:200
CC 3009-02	LEVEL 1 PLAN 1:100
CC 3009-03	LEVEL 2 PLAN 1:100
CC 3009-04	LEVEL 3 PLAN 1:100
CC 3009-05	ROOF PLAN 1:100
CC 3009-06	NORTH EAST + WEST ELEVATIONS 1:100
CC 3009-07	SOUTH ELEVATION + LONG SECTION 1:100
CC 3009-08	ELECTRICAL LAYOUT PLAN 1:100

L01

LANDSCAPE PLAN

e dko
architecture
19/151 foveaux st. surry hills 2010
T: 02 9332 1211 F: 02 9332 1355
E: enviro@envirostudio.com.au


Stockland

Fernbrook

Stage 3 @ Warriewood
Lot 3009


1.00 - INTERIOR FINISHES SCHEDULE

Issue C 11.03.04

Area	Item	Finish	Code	Description	Supplier	Rev
ENTRY	Driveway	Stencilcrete/ Pavers		Stencilcrete with borders or Pavers with borders large format 400 x 400mm.		
GARAGE DOOR		Colourbond	C5	Spring Assisted Solid Sectional Door Colourbond col: Surfmist	Colourbond	
WINDOWS/ DOORS	Glass/ Aluminium	Powdercote	PC8	New Aluminium framed windows and doors Colour: Satin White 32312	Dulux	
DOORS GENERALLY	Solid Core	Paint	P10	Taubmans full gloss enamel paint finish Colour: Woolooware T122- 5W	Taubmans	
FAÇADE WALLS	Bagged Brickwork	Rendered	R13	Taubmans Colour: Wizard Grey T167- 7A	Taubmans	
	FC Weatherboards	Paint	P11	Selected paint finish Taubmans Col: Pebble Bay T112- 2W	Taubmans	
	FC Sheet with Panelling	Paint	P12	Selected paint finish Taubmans Col: Woolooware T122- 5W	Taubmans	
ROOF	Steel	Colourbond	C5	Colourbond corrugated roofing Colour: Ironstone	Colourbond	C
FASCIA	Steel	Colourbond	C5	Colour: Ironstone	Colourbond	C
GUTTERS	Steel	Colourbond	C5	Colour: Ironstone	Colourbond	C
DOWNPIPES	Steel	Colourbond	C5	Colour: Ironstone	Colourbond	C
FLASHING	Steel	Colourbond	C5	Colour: Ironstone	Colourbond	C
BALUSTRADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
SUNSHADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
FENCE & GATE	Timber			Selected hardwood timber slats with clear coat polyurethane finish 30% gloss level		

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M:\dKO\Projects\03945 - Fernbrook\Interiors\Ext Finishes Schedule_D.doc

Modified: 23-Mar-04

Printed: 23-Mar-04 11:37 AM

WASTE MANAGEMENT PLAN

Issue A Date 2.02.04

MATERIALS EST. QUANTITY ONSITE RECYCLING
OFF SITE RECYCLING
OFF SITE DISPOSAL

Volume Area weight
cum sqm tonne

WTS = Waste Transfer Station

EXCAVATION STAGE					
Top soil	3.00			Top soil stored on site for use in landscaped gardens.	
Sand/clay/shale	30.00			Sand/clay stored on site for use as backfill where poss.	Balance sent to authorised land fill site.
Rock	Nil			Stored on site for use as backfill where volumes allow.	Balance sent to authorised land fill site.
CONSTRUCTION STAGE					
Bricks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Excess broken blocks stored for collection to crushing.
Concrete blocks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Broken blocks sent for crushing to road base at WTS
Concrete	0.20			Excess concrete to moulds on site for garden pavers.	Nil
Timber framing	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.
Timber cladding	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.
FC cladding	0.20			Nil	Material broken up on site, for collection to crushing.
Plasterboard	0.20			Nil	Binned separately for recycling by Boral Plasterboard
Roofing: tiles		nil		Full tiles stored on site as spares	Stored for collection to crushing to road base at WTS
Roofing: Steel		10.00		Sheets ordered cut to size to minimise waste	Offcuts stored for collection for recycling.
Insulation				Nil	Unused returned to manufacturer/store by builder.
Metal piping etc			0.001	Nil	Non ferrous metals binned separately for recycling.
PVC piping	0.10			Nil	Unused returned to manufacturer/store by builder.
Tiles + pavers	0.30			Full tiles set aside as spares.	Cut tiles sent to crushing to road base at WTS
Misc packaging, fixings glues etc	0.50			Timber packaging sorted for reuse as above.	Removal to Land Fill site.
IN USE					
Putrescible waste	0.15	per week		To on site compost/worm farm	
General waste	0.25	per week			To Council collection
Paper card			0.005		Council's recycling bins to WTS
Plastics			0.001		Council's recycling bins to WTS
Bottles			0.001		Council's recycling bins to WTS
Steel tins etc			0.002		Council's recycling bins to WTS
Aluminium			0.001		Council's recycling bins to WTS
Garden waste	0.1	per week		All small branches and leaves chipped for mulch.	Mulch to garden. Large trunks to timber salvage. Excess to periodic waste collection

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE D, LOTS 3007, 3009

Scope of work/Notes

All work as shown in the drawings and schedule, including all necessary work even if not drawn or scheduled.
Refer all queries and discrepancies to the architects.
All measurements in mm unless noted otherwise.

Standard of Work and Regulations

- All work to be carried out in accordance with:
- Building Code of Australia 1996
 - SAA Codes
 - Conditions of Council
 - Conditions of supply authorities
 - NATSPEC Housing Specification for each trade.

Terms and Abbreviations

Abbreviations used on the drawings and in the specifications and schedules are as follows:

AFS As further specified
BBW Bagged Block / Brickwork
BC Bright Chrome
CB Colorbond (coloured Zincalume steel sheet)
CCA Copper/Chrome/Arsenate treated timber
CCR Corrugated Colorbond Roofing
CCS Corrugated Colorbond Wall Sheeting
CFC Compressed Fibre Cement sheet
CIS Cast in situ (concrete)
CT Ceramic Tiles

cts Centres

EPS Expanded Polystyrene (insulation)

F Fixed glass

FC Fibre Cement sheet

FFL Finished floor level

GB Glass blockwork

HW Hardwood

HDG Hot Dipped Galvanised

HDPE High Density Polyethylene (piping)

HSC Hardiflex sheet cladding

HTP Hardiflex panel

L Glass Louvres (in windows)

LSOP Light Oil Solvent Preservative = 'Gold' Treated timber

LVL Laminated Veneer Lumber

MDF Medium density fibreboard = customwood

MGP Machine Graded Pine framing (Wall/Roof)

MI Manufacturer's instructions

NIC Not in Contract

PB Plasterboard

PFC Parallel Flange Channel

PS Provisional Sum

BBW Rendered Block / Brickwork

RFL Reflective foil laminate

RP Radiata Pine

S-I Supply and Install

SC Satin Chrome

SHS Square Hollow section

SS Stainless Steel

T+G Tongue and grooved (flooring/walling)

TBA To be advised

TT Terracotta Tile

UB Universal Beam

UC Universal Column

UNO Unless noted otherwise

VOS Verify on site

VR Veneer

WRO Western Red Cedar (timber)

Groundwork/Excavation

Bulk excavation and fill removed by others.
Implement waste, water and soil management measures.
AS 2870.1 Soil classification - Class M (mod. reactive clay)
Excavate to levels noted for footings, floors, retaining walls
Excavated material retained on site as fill to levels.

Footings

Concrete strip footings in accordance with AS 2870.
Generally 400 d x 300 w with 2 layers F8 TM throughout.

Retaining walls

Core filled concrete blockwork, per engineer's specification.
External joints struck flush and bagged for paint finish.

Floor level 1: Concrete slab on ground

Concrete slab, cast on ground, per engineer's specification.
Slab laid on blinding layer of sand to levels indicated.
Polyethylene waterproof membrane to entire area.
Under slab termite protection in accordance AS 3660.1.
'Termimesh' termite protection collars to all penetrations.
30 mm set down for 'wet areas', external walls and door sills.
40 mm set down for external walls and door sills.
Finish: steel trowel finish concrete throughout.

Floor level 2: Suspended slab

Concrete slab, suspended, per engineer's specification.
40 mm set down for external walls and door sills.
Finish: steel trowel finish concrete throughout.

Floor level 3: Timber framed

Floor joists to Timber Framing Code: (MGP or LVL or Hybeam are acceptable). Joists at 600 centres or as required.
R 1.5 insulation + 6 FC sheet finish to ceiling of garage under level 2 internal floor area.
Ceilings: direct fix, or on Rondo battens as required.
Flooring: 18 Particleboard sheet flooring glued and nailed.
Wet areas: 16 CFC sheet, glued and screwed, 30 set down.
Refer floor finishes schedule.

External walls: Timber frame

90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggins, lintels, bracing in accordance with Code.
'Insulation: R1.5 polyester batts in external walls.
Reflective foil sarking to outside face all external walls.
External finishes: refer below.
Internal finishes: 10 plasterboard/6.5 villaboard, see below.

External walls: Brickwork + Brick Veneer

All brickwork laid in accordance with Australian Standards.
Clay commons suitable for bagged finish throughout.
110 veneer work in stretcher bond to levels indicated.
110 work with attached piers to garage in stretcher bond.
Soldier course capping to all walls.

Brickwork Finish

Bagged finish with integral colour equal to Mac render or Morokan coat finish.

External cladding: Harditex (HTP)

Where indicated on drawings, equal to:
Harditex 6.5 FC sheet.
Finish: equal to Mac Render / Granosile texture coat

External cladding: weatherboards

Where indicated on drawings, equal to:
External: Hardies Primeline weatherboards, laid horizontally.
Finish: refer paint schedule.

External cladding: flat sheet and cover strips

Where indicated on drawings, prepainted sheet equal to:
Laminex Mateon exterior laminate, (Laminex Tel 132 136), or Seratone Silverseal (Halifax Vogel tel 1300 558 882).
Covers: aluminium channel 40 x 20 U shaped, powdercoated
Note: painted FC sheet not acceptable.

Roof frame

All roof bracing in accordance with Code.

Gable pitched roof areas

Gang nail softwood trusses @ 900 centres or as required, to Timber Framing Code / engineers spec.
Roofing battens: 90 x 45 MGP on flat.
Ceiling battens: MGP @ 450 cts or Rondo turring channels.

Flat roof areas

Timber rafters (MGP or LVL or Hybeam are acceptable), to Timber Framing Code / engineers spec.
Roofing battens MGP Graded to falls.
Ceiling battens: MGP @ 450 cts or Rondo turring channels.

Roofing: Corrugated Colorbond Steel (CCS)

Blue Scope steel Colorbond Custom Orb profile 0.48 steel roofing. Refer colour schedule.
Sarking/Insulation: Astrofoil double sided anti glare insulation or ACI Permaslop R1.5 Sisalation backed fibreglass.
Fascia: Brake pressed Colorbond steel, 100 x 100 angle colour to match roof, no round edges> No timber fascias.
Flashings: as per MI, Colorbond steel, colour to match roof.
Valley gutters: 0.6 Colorbond Armour Grey steel.

Roof plumbing + Rainwater Drainage

Outboard gutters: 100 quad gutter, Colorbond to match roof.
Inboard (box) gutters: custom fold in 0.48 Colorbond.
Downpipes: 100 dia Colorbond to match roof.
Drainage: 100 dia uPVC pipe to rainwater collection tank.

Internal walls: Timber frame

90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggins, lintels, bracing in accordance with Code.

Internal Linings

Rooms: 10 mm plasterboard. Tape and set to MI
Wet areas: 6.5 mm Villaboard with recessed edges.

Skirtings + Architraves

Skirtings: 90 x 20 finger jointed RP, paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.

Ceilings

10 mm plasterboard ceiling equal to Supacell.
Insulation: R3.0 polyester insulation above all ceilings.
Cornice: living areas: square set.
Cornice: all other areas: standard 90 cove.

Windows: aluminium

Frame/sash: fixed and sliding aluminium equal to Vantage / Capral / Lidco / Bradhams semi commercial series, refer elevations.

Finish: powdercoat / natural anodised, refer colour schedule
Glazing: in accordance with Aust. Standards.
Louvres (L): Breezeway 150, clear 6.38 laminated glazing.

Sliding doors: aluminium

Frame/sash: sliding aluminium equal to Vantage / Capral / Lidco / Bradhams semi commercial series.
Note multiple sliding sashes as shown on elevations.
Sash: multiple sliding and fixed (F) as shown

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE D, LOTS 3007, 3009

Finish: powdercoated aluminium in Dulux Slate Grey Glazing: in accordance with Aust. Standards, min 6.38 laminated to all doors. Hardware: integral handles/keyed locks, centre of door.	Joinery: Kitchen Carcass: Water resistant foil faced MDF. Doors + drawer fronts: 2 pack polyurethane paint finish. Bench tops: mid range select light coloured granite. Splashbacks: colour backed glass.
Front door: Solid core Frame: aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series. Finish: to match sliding doors. Sash: solid core masonite faced door, paint finish. Hardware: Lockwood 591 series, latch and deadlock	Kitchen Appliances Oven: Smeg, SS, SA410X Cooktop: Smeg, SS, SAR64X Exhaust hood: Slim Jim 60 Dishwasher: Smeg, SS, SA623X Excluded: Fridge, microwave, washing machine, clothes dryer
Internal doors: swing solid core Frame: 135 x 45 RP rebated frames. Doors: Hollow core, masonite faced for paint finish. Architraves: 45 x 20 finger jointed RP, paint finish. Hardware: tubular latch and SC lever passage set, privacy latch to bathroom and guest WC.	Tiling: Bathrooms and Laundries Refer Di Lorenzo Ceramics, contact David Isola tel 8818 2999. Wall: select 100 x 100 ceramic tiles, stack bond, white grout, allow \$50/sqm supply Floor tiles: select 50 x 50 mosaic tiles, square bond, cement grout, allow \$50/sqm supply
Garage Door Colorbond panel lift door, motorised remote control.	Floor finishes Schedule Living room: Carpet, allow \$80/sqm supply and lay. Entry, Hall, Dining, Family, kitchen: floating timber floor, refer Bell's Carpet, Geoff Arnold 9602 5184, Allow \$120/sqm Bedrooms, corridors: Carpet, allow \$80/sqm supply and lay.
Sunshade Main frame: ex 125 x 65 Channel, refer detail drawing Battens: 45 x 45 CCA treated battens @ 60 centres .	Fittings and Fixtures Schedule All equal in specification and quality to items listed:
Pergolas Main frame: 200 HDG PFC bolt fix to columns paint finish Rafters: 20 x 50 CCA, connect to walls, PFC frame Battens: 45 x 45 CCA treated battens @ 100 centres.	Sanitaryware Toilet Suite: Fowler Newport Close Coupled WC (3 off) Bath: Caroma Stirling 1675 x 770 x 330 (1 off) Joinery basins: Caroma Liano square semi recessed (2 off) Wall hung basin: Caroma Flora 500 with shroud (1 off) Kitchen Sink: Franke 1.5 bowl u'mount ARX 110-33/35 (1 off) Laundry tub: Clark 45 L Single Inset Flushline, (1 off)
Stairs: timber Timber framed stairs: boxed risers and treads in RP on RP stringers, screw fixed to walls, 20 x 20 trims to stringers. Finish: carpet. Balustrade: ex 100 x 100 timber rail, steel brackets to wall.	Tapware Shower: Caroma Liano AAA rated/head with mixer Basin: Caroma Liano AAA rated basin mixer Bath: Caroma Liano AAA rated bath spout + mixer Kitchen: Caroma Liano sink mixer Laundry: Tub: Irwell Retro, WM taps: Irwell Retro tapset Floor wastes: 100 square CP to laundry + bathrooms.
Joinery: Bathroom Carcass: Water resistant foil faced MDF. Doors + drawer fronts: 2 pack polyurethane paint finish. Bench tops: 20 reconstituted stone, polished edges. Splashbacks: tile to match wall tile.	Joinery: Wardrobes Carcass: Paint finished MDF. Top shelf @ 1800, sides as required, CP hanging rail. Doors: sliding aluminium, mirror finish.

Accessories Towel rails: Industrial Expressions Conquest Hand Towel rail: Industrial Expressions Conquest TRH: Industrial Expressions Conquest Mirrors: wall mounted mirror over vanity units (2 off) Shower Screens: Semi frameless, anodised aluminium frame
Hydraulics Sewer: 100 uPVC pipe to connect all fixtures to sewer. Water supply: 19 dia copper pipe, insulate for hot lines. External taps: 3 external taps Hot Water Supply: Rinnai 26 instantaneous gas Gas line: gas supply to HWS cooktop, bayonet outlet (2 off). Stormwater: roof water connected to tank, see below. Ground drains and sumps connected to stormwater system.
Rainwater tank Min 6300 Litre underground rainwater tank located as shown, Rain-masta or Haigan tanks, with leaf and dirt screening and fitted with internal pump. Overflow to stormwater system.
Electrical Underground power supply. Meter Box: gal. steel top hinged, including ELOB all circuits. Refer electrical plan. generally as follows: GPO's + Switches: Clipsal / HPM Excel range Lights: living: T5 electronic fluorescent in pelmets Bedrooms: ceiling mounted oyster fitting Kitchen, Bath: 6 off fluorescent downlights. Smoke detectors: to BCA code requirements Telephone: category 5 line 3 outlets. TV aerial/cable TV not included.
Painting Wattyl paints throughout. Externally: 2 coats external grade, satin finish. Harditex (HTP): Granosite texture coat External metalwork: 1 coat metal primer, 2 coats gloss enamel External WRC or HW: 2 coats oil based stain. Internal plasterboard walls: 2 coats acrylic, wash and wear Ceilings: 2 coats acrylic flat Internal doors: 1 coat primer, 1 coat gloss enamel Skirtings etc.: 1 coat primer, 1 coat gloss enamel
External works Refer landscape plan



LONG
SERVICE
PAYMENTS
CORPORATION

Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250

Telephone: 13 14 41 Facsimile: (02) 9287 5685

All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FORM

0233610

PLEASE PRINT ALL DETAILS USING CAPITAL

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE TO PAY LEVY

Surname (if person) or Company/Organisation Name **MAINCOMP/L**
 Given Names (if person)
 ABN (if applicable) **23080619174**
 POSTAL ADDRESS No. and Street or P.O. Box **LOCKED BAG 81**
 Town/Suburb **PENRITH**
 State **NSW** Postcode **2750** Business Hours Phone No. **47229900**

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street **2 EUCALYPTUS PLACE**
 Town / Suburb **WARRIEWOOD**
 State **NSW** Postcode **2102**
 Estimated Start Date **14/02/2005** Estimated Finish Date **15/10/2005**

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **PITFATERN**
 D.A./C.C./C.D.C. No. (circle which) **PC03005**
 Estimated value of work \$ **382,753.00** Levy Payable \$ **765.00**

Signature of Officer/Private Certifier

W. B. Norris

Date: **15/2/05**

Name of Officer/Private Certifier

Wanda Norris

Business Hours Phone No. (Private Certifier)

1300304420

NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept/authority where applicable - see reverse

Dept./Authority
 Contract No.
 Contract Amount \$
 Levy Payable \$
 Contact Person (Print)
 Signature:
 Contact Phone Number
 Date: / /

Part E - DECLARATION (To be signed by person liable to pay levy - or authorised officer, if Company)

I declare that the information provided on this form is true and correct to the best of my knowledge

Signature:

Jimmy Danboul

Date: **10/2/05**

NOTE: Any false or misleading information provided on this form may result in prosecution under Section 58A

Print name:

Jimmy Danboul

Part F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No.

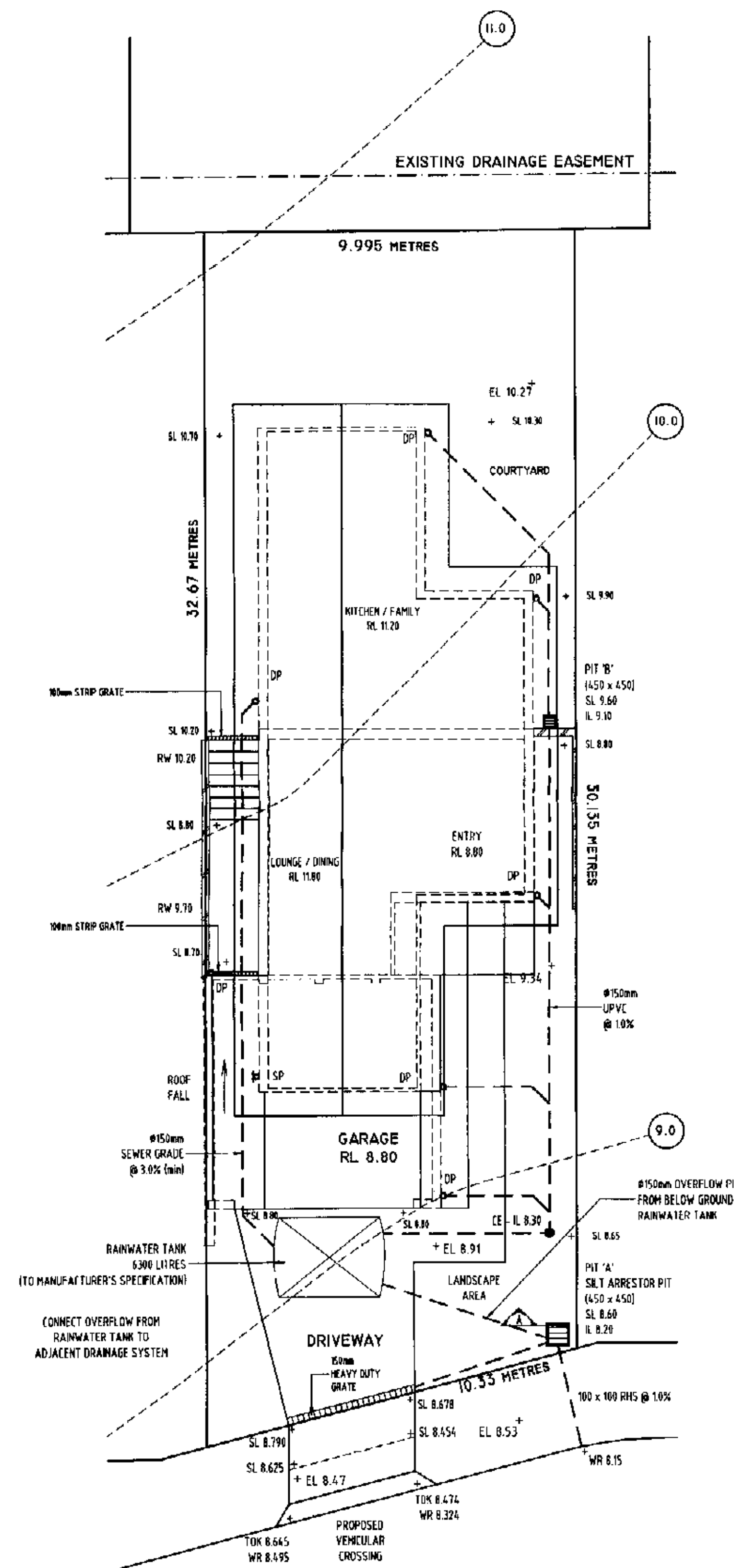




NOTES: ROAD RESERVE & FOOTWAY DRAINAGE ELEMENTS
ALL STORMWATER DRAINAGE ELEMENTS PROPOSED WITHIN THE ROAD RESERVE AND FOOTWAY SHALL BE CONSTRUCTED UNDER THE SUPERVISION AND TO THE SATISFACTION OF COUNCIL'S ENGINEER.

NOTES: COUNCIL ISSUED FOOTWAY DESIGN LEVELS
COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY PITTWATER COUNCIL.

NOTE: RETAINING WALLS & 'AGG' LINES
ALL RETAINING WALLS ARE TO BE WATERPROOFED AND CONSTRUCTED WITH 800mm AGRICULTURAL LIMBS AT THE BASE AND CONNECTED TO THE NEAREST PIT IN THE COURTYARD.

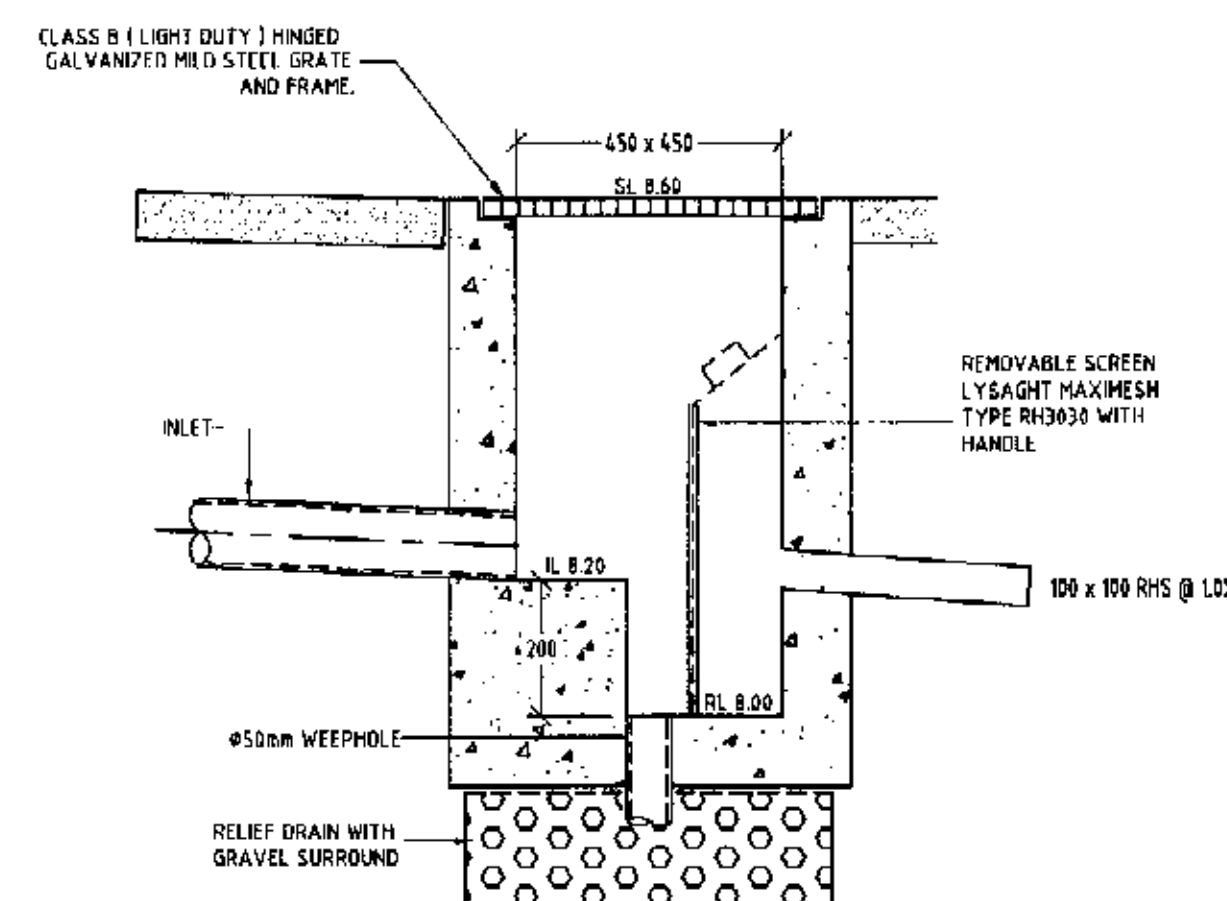


EUCALYPTUS PLACE

STORMWATER DRAINAGE PLAN

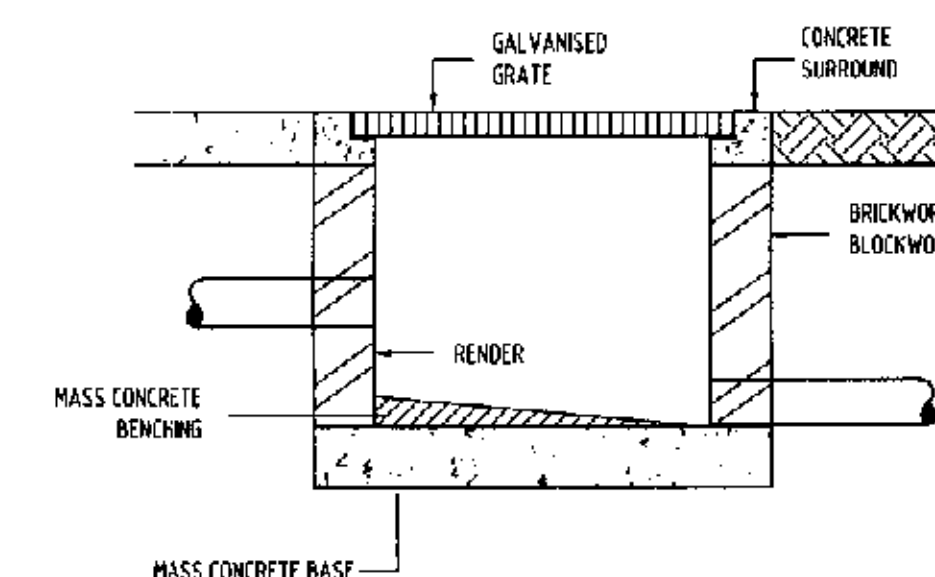
SCALE 1:100

NOTES: SERVICES
NO EXCAVATION IN FOOTPATH WITHOUT CHECKING FOR DEPTH AND LOCATION OF SERVICES



SILT ARRESTOR PIT 'A' DETAIL (SECTION A)

NTS



TYPICAL PIT DETAIL

NTS

NOTES: RAINWATER TANKS

1. RAINWATER TANK CAPACITY OF 6300 LITRES.
2. THE SYSTEM TO BE DESIGNED WITH THE FOLLOWING GUIDELINES:
 - A FIRST FLUSH DIVERSION TO REMOVE ROOF CONTAMINANTS
 - ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER
3. TANKS TO BE PLUNGED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIODS WHEN THE TANKS ARE 80% EMPTY.
4. NO DRILL CROSS-CONNECTION WITH THE STONY HILL POTABLE SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
5. A SIGN TO BE INSTALLED STATING 'NON POTABLE WATER'.
6. OVERFLOW FROM THE TANK SHALL BE PIPED TO OVERFLOW PIE AND DIRECTED TO THE DRAINAGE SYSTEM THE NEAREST DOWNSPIPE.
7. PIPE WORK USED SHALL BE COLOURED PURPLE IN ACCORDANCE WITH AS 1345. ALL VALVES AND APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS 1319.
8. CONNECTION OF AN AUTOMATIC IRRIGATION SYSTEM TO THE RAINWATER TANK TO ENSURE FULL UTILISATION OF THE STORED WATER AND TO MAINTAIN THE REQUIRED IRRIGATION RATE.

LEGEND:

- DP DOWN PIPE
- SP SPREADER
- CE - EL 36.00 CLEANING EYE
- EL 49.45+ EXISTING LEVEL 49.45
- SL 49.45+ PROPOSED SURFACE LEVEL 49.45
- IL 49.45+ PROPOSED INVERT LEVEL 49.45
- WR 49.45+ PROPOSED WATER RUN LEVEL 49.45
- TOK 49.45+ TOP OF KERB LEVEL 49.45
- RW 49.45 TOP OF RETAINING WALL 49.45
- KIP KERB INLET PIT

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A.S.3500.3.
2. COUNCIL'S STANDARD SPECIFICATION CODES AND THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
3. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
4. MINIMUM GRADES FOR ALL PIPE - 1.0%.
5. DIRECT SURFACE FLOW TO ALL GRADED SURFACE INLET PITS.
6. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
7. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.

ACE CIVIL & HYDRAULIC ENGINEERS

PROPOSED RESIDENTIAL DWELLING
AT (LOT 3009) 2 EUCALYPTUS PLACE
WARRIEWOOD N.S.W. 2102

DESIGNED: PAUL ARRAJ
BE, GRAD.IE(AUST), P. Eng
DATE 25.11.2004
DRAWN BY: P.A.

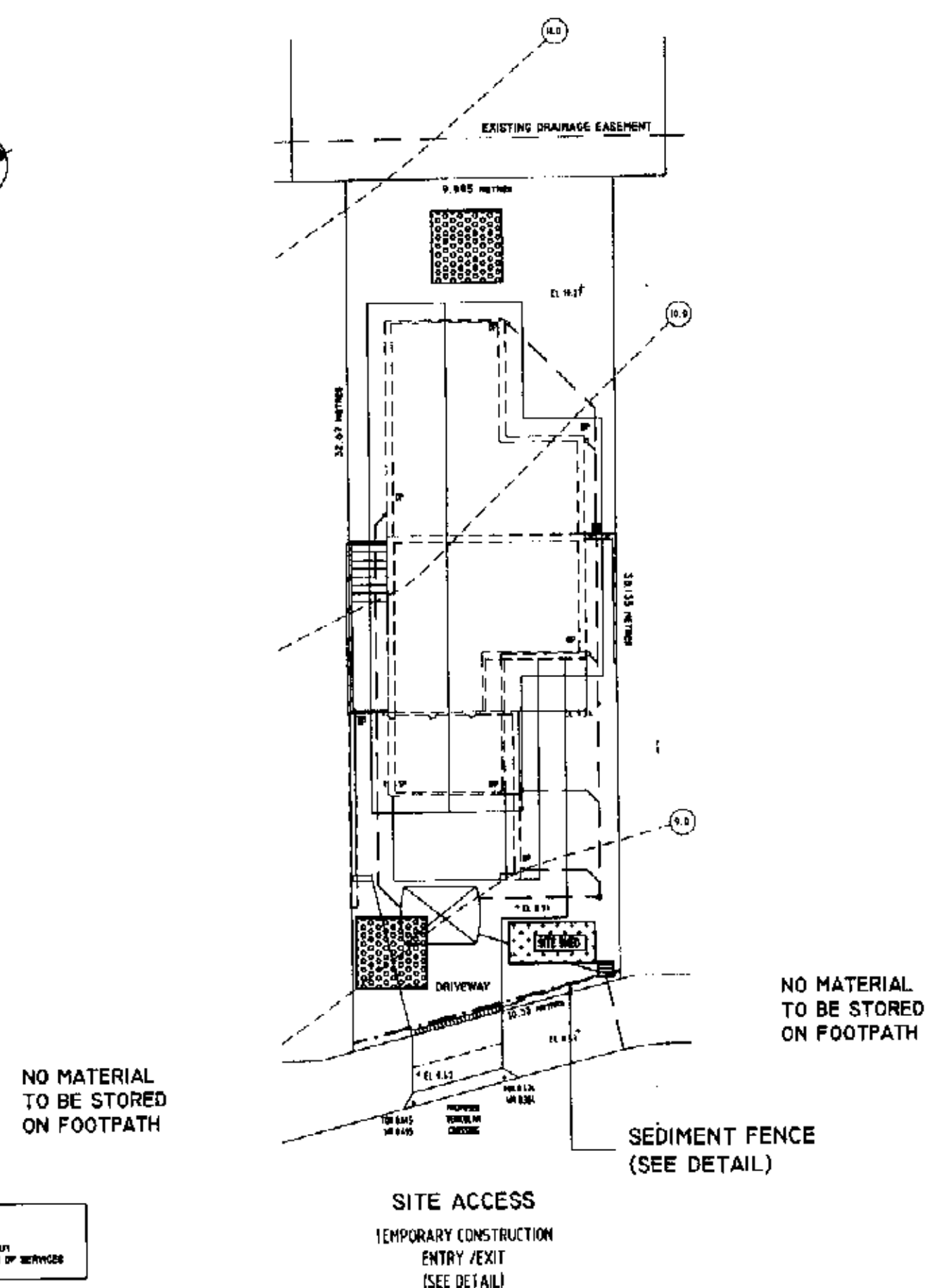
ACE-CIVIL & HYDRAULIC ENGINEERS
8 LEIGHDON STREET
BASS HILL, NSW, 2197
PHONE / FAX: (02) 9790 7821
MOBILE: 0412 331151
EMAIL: arra@martahat.net.au

SCALE: AS SHOWN

0405-40
DRAWING No.:
SHEET No. 1
No. OF SHEETS: 2

HYDRAULIC PLAN

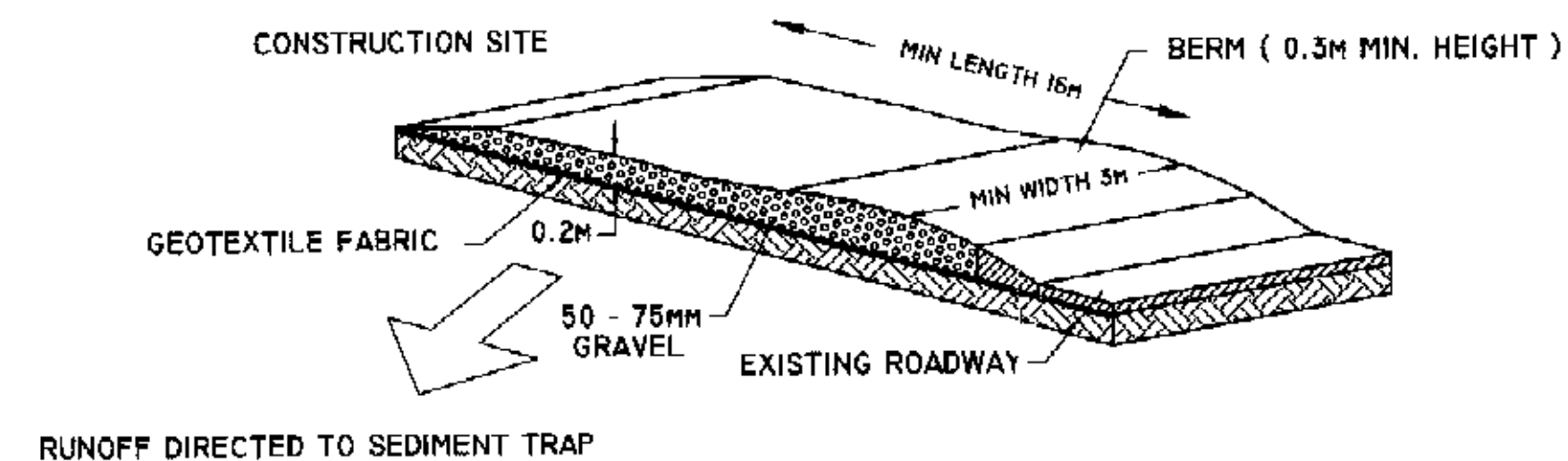
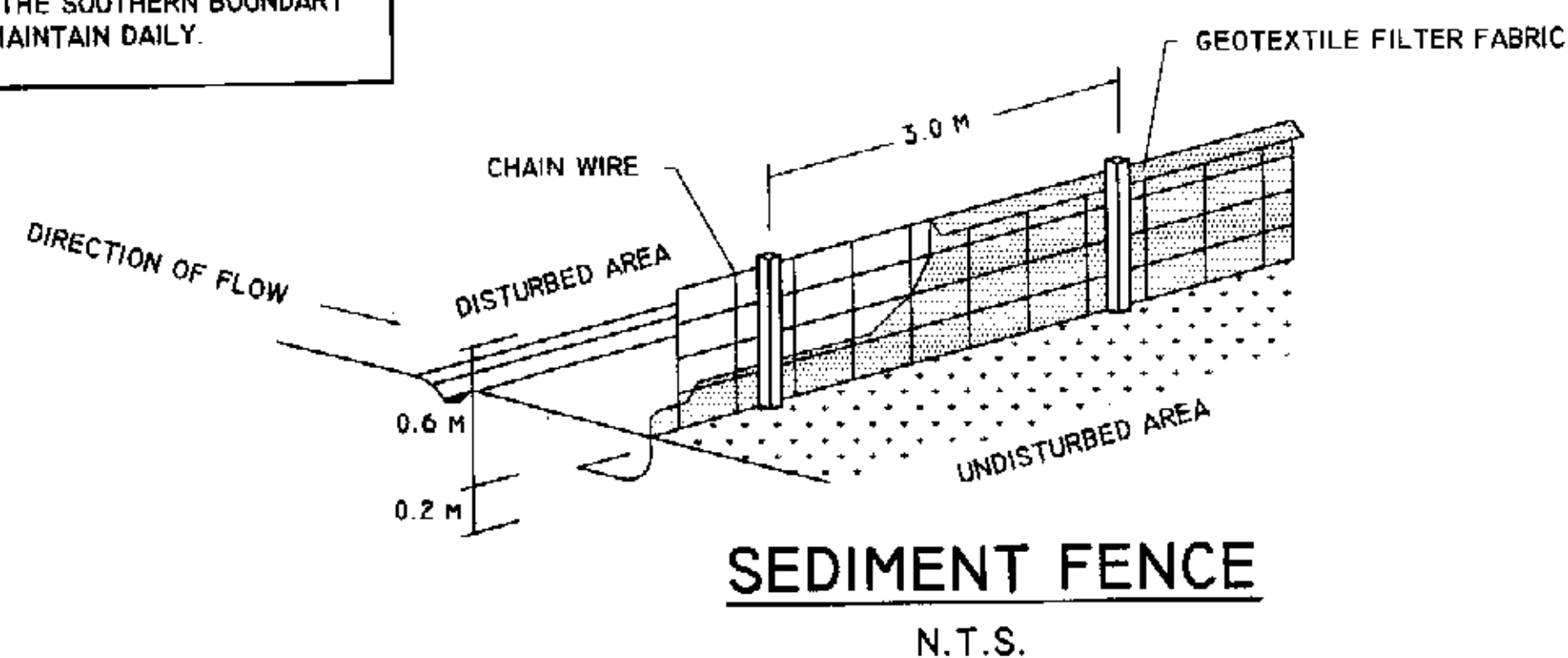
A1



SOIL & WATER MANAGEMENT PLAN

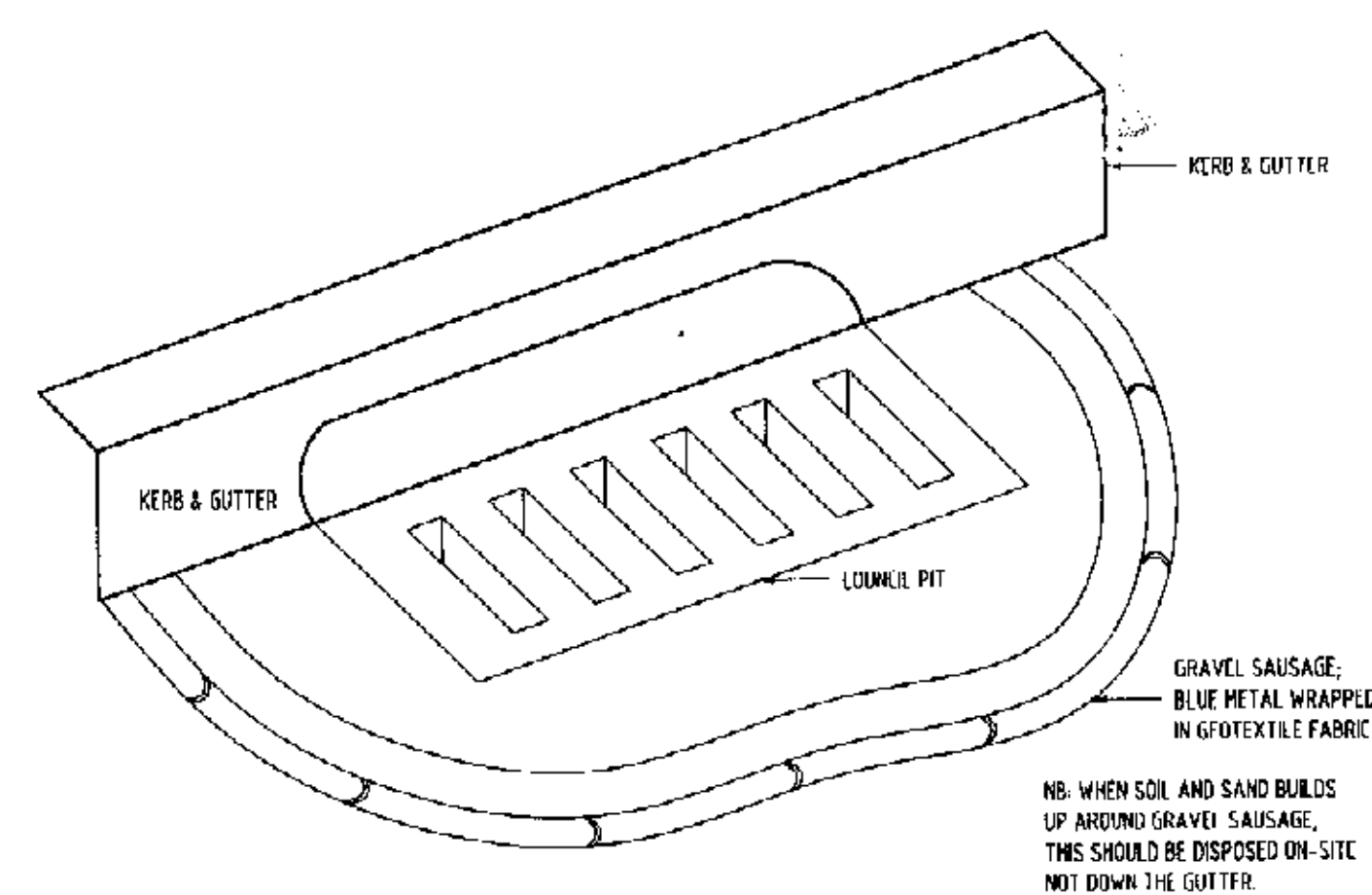
SCALE 1:200

NB: PROVIDE SEDIMENT FENCE ALONG THE FULL LENGTH OF THE SOUTHERN BOUNDARY AND CLEAN AND MAINTAIN DAILY.



TEMPORARY CONSTRUCTION EXIT / ENTRANCE

N.T.S.

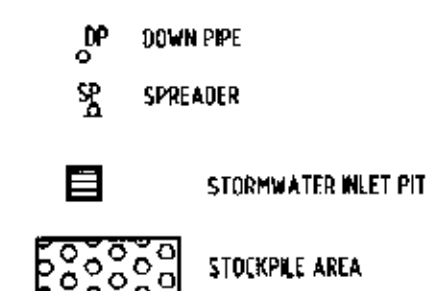


GRAVEL SAUSAGE - GUTTER PROTECTION

N.T.S.

NB: PLACE GRAVEL SAUSAGE AROUND THE NEAREST DOWNSTREAM COUNCIL STORMWATER PIT IN EUCALYPTUS PLACE.

LEGEND



ACE CIVIL & HYDRAULIC ENGINEERS

PROPOSED RESIDENTIAL DWELLING
AT (LOT 3009) 2 EUCALYPTUS PLACE
WARRIWOOD N.S.W. 2102

DESIGNED: PAUL ARRAJ
BE, GRAD.IE(AUST), P. Eng

DATE: 25.11.2004
DRAWN BY: P.A.

ACE-CIVIL & HYDRAULIC ENGINEERS
8 LEIGHDON STREET
BASS HILL, NSW, 2197
PHONE / FAX: (02) 9790 7921
MOBILE: 0412 331151
EMAIL: arraj@smartchat.net.au

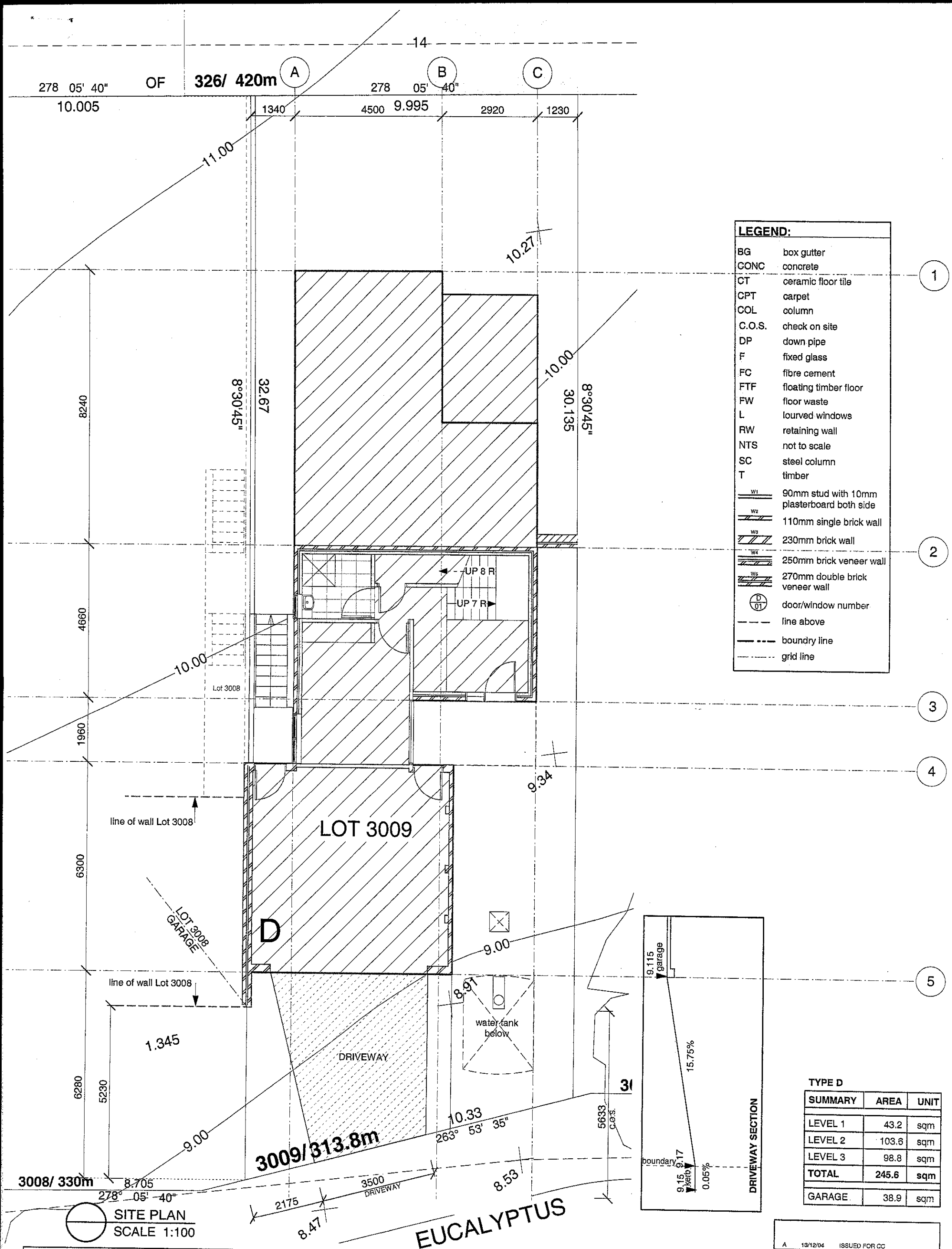
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0405-40
DRAWING No.:
SHEET No. 1
No. OF SHEETS: 7

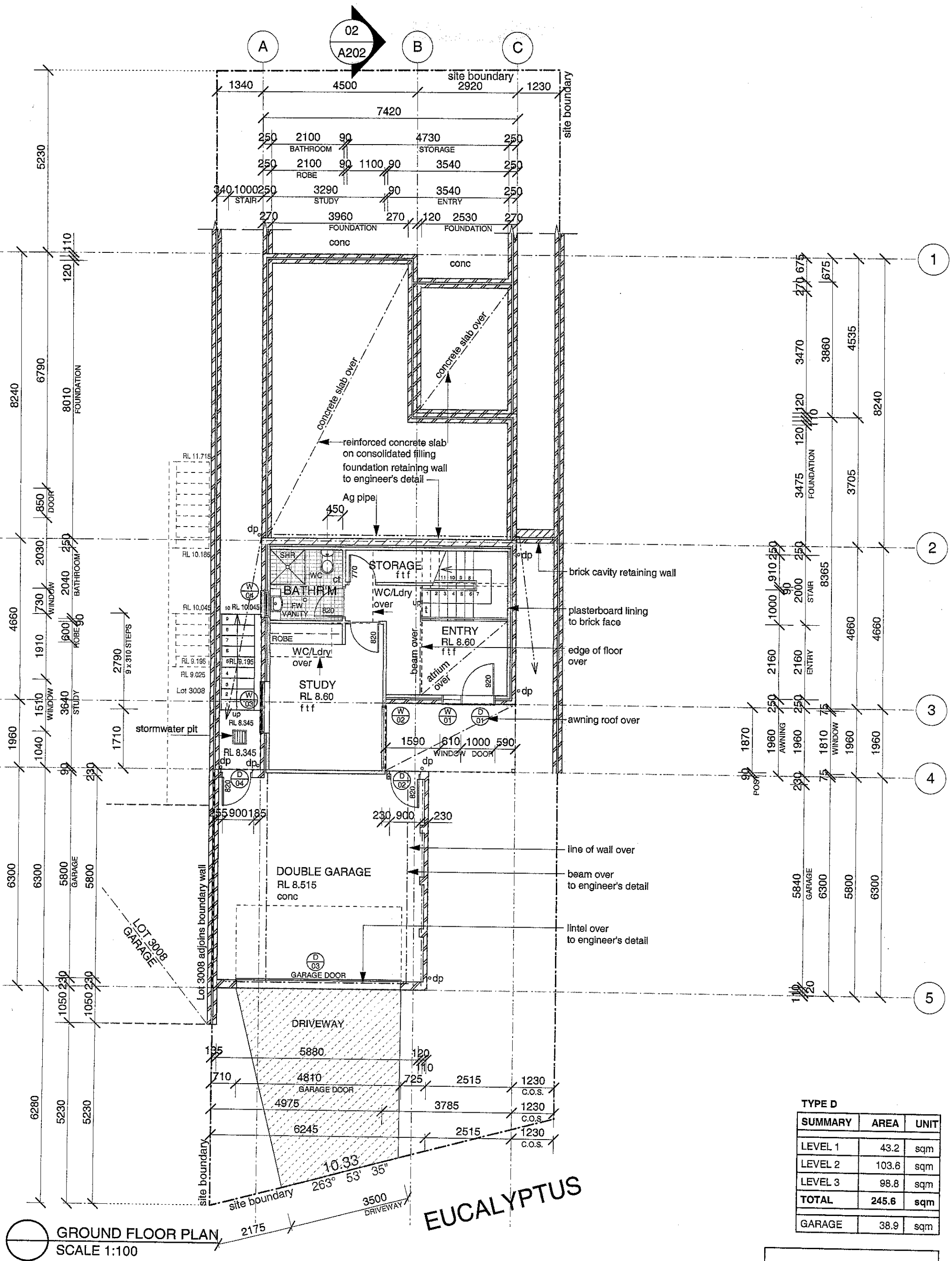
HYDRAULIC PLAN

A1

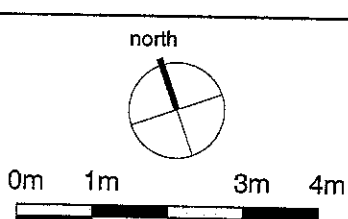
NOTES: SOIL & WATER MANAGEMENT

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
6. NO MATERIAL TO BE STORED ON FOOTPATH.
7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A \$1500 FINE.





NOTES
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted, use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

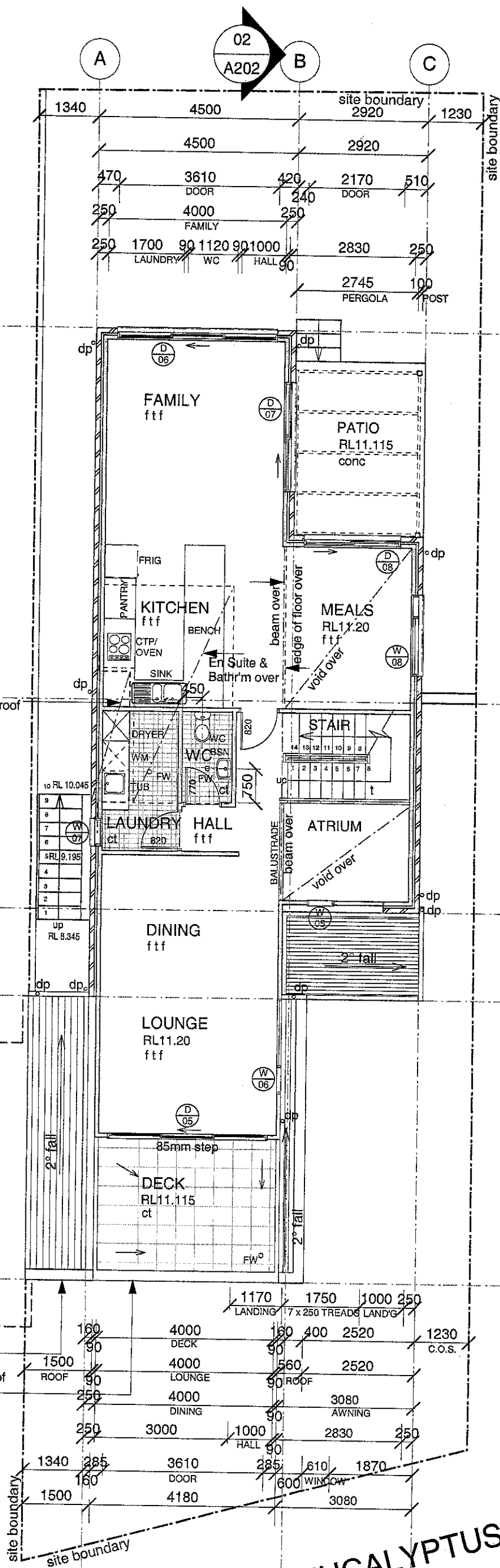


FERNBROOK -WARRIEWOOD
Lot 3009
project

GROUND FLOOR PLAN
drawing

1:100
scale

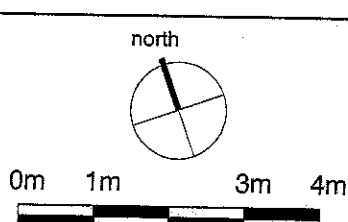
A 18/12/04 ISSUED FOR CC	
1704	Construction Certificate stage.
WL	A102-3009
drawn/checked.	dwg no.
13.12.04	A
date.	issue.



LEVEL 1 PLAN
SCALE 1:100

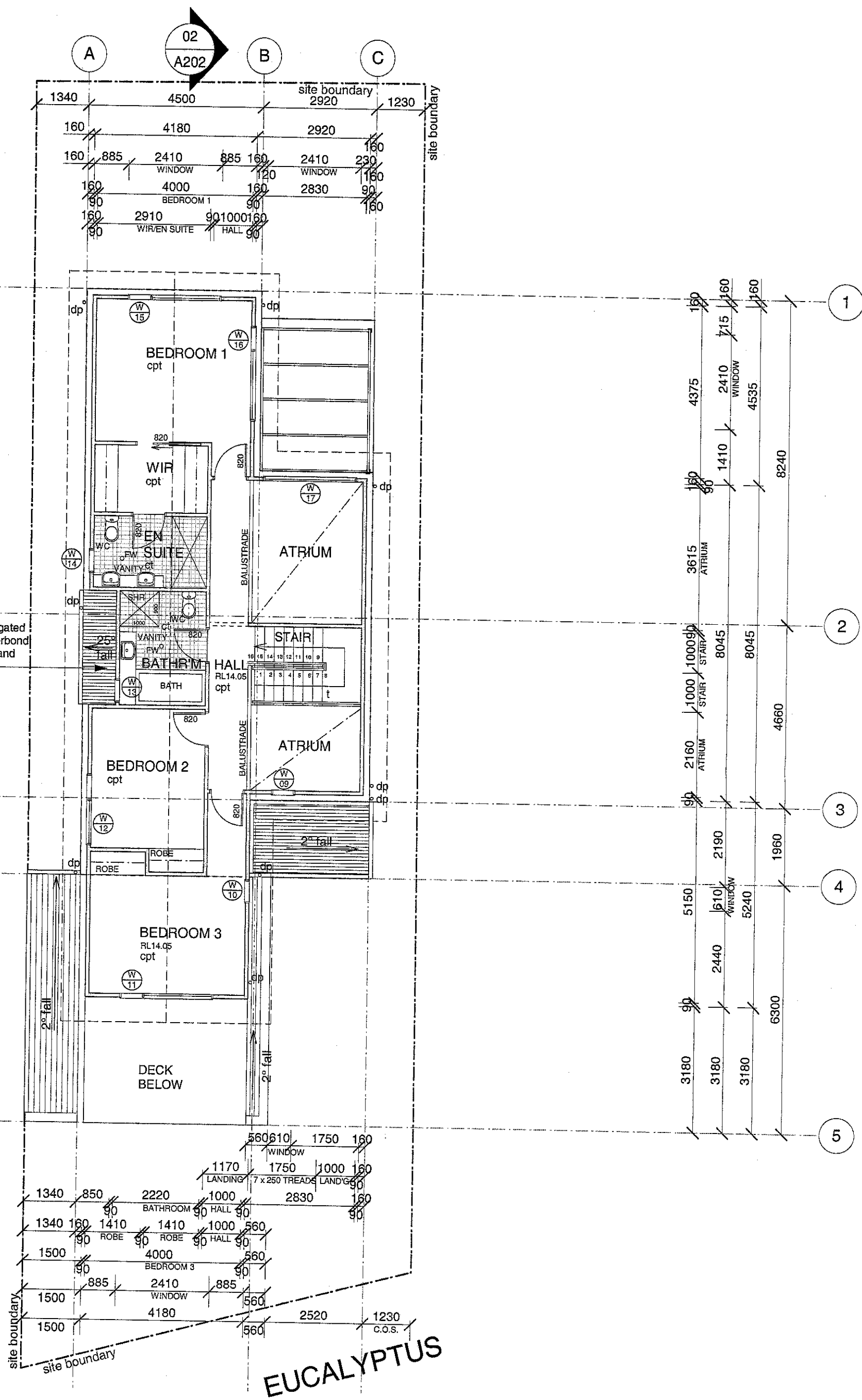
EUCALYPTUS

NOTES
all work to be carried out in accordance with bca, ssa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.



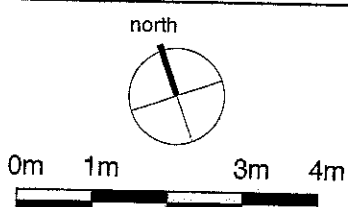
FERNBROOK - WARRIEWOOD
Lot 3009
project
LEVEL 1 FLOOR PLAN
drawing
1:100
scale

A 13/12/04 ISSUED FOR CC	
ISSUE	DATE
1704	13.12.04
job no.	date.
WL	13.12.04
drawn/checked.	date.
Construction Certificate	A103-3009
stage.	dwg no.
A	issue.



LEVEL 2 PLAN
SCALE 1:100

NOTES
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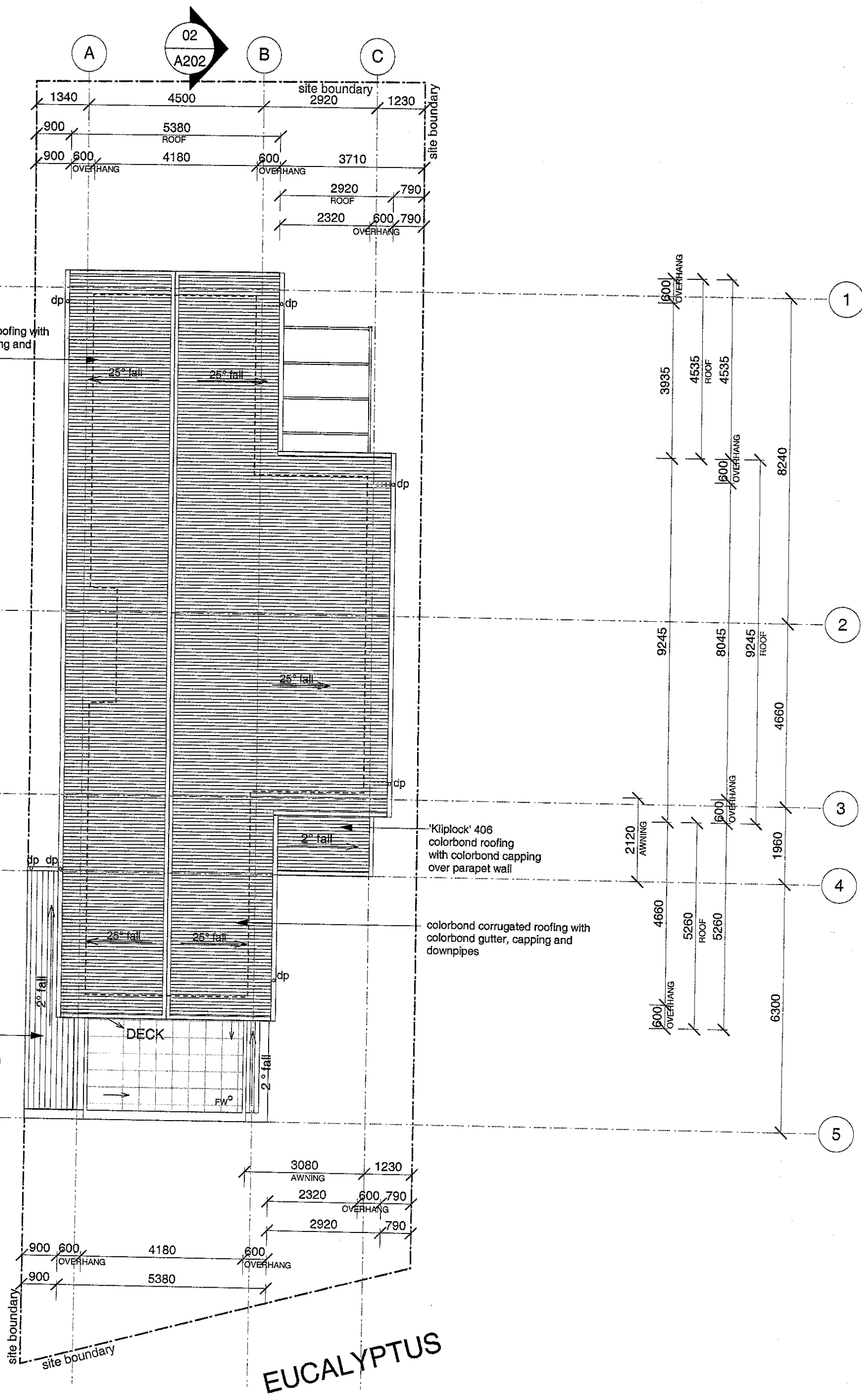


FERNBROOK - WARRIEWOOD
Lot 3009
project

LEVEL 2 FLOOR PLAN
drawing

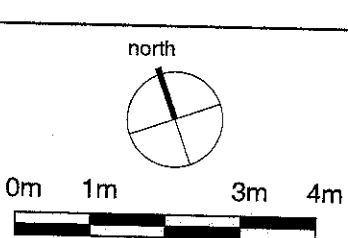
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scale

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ISSUE	REVISION
1704	Construction Certificate stage.
WL	A104-3009
13.12.04	A
data,	issue.



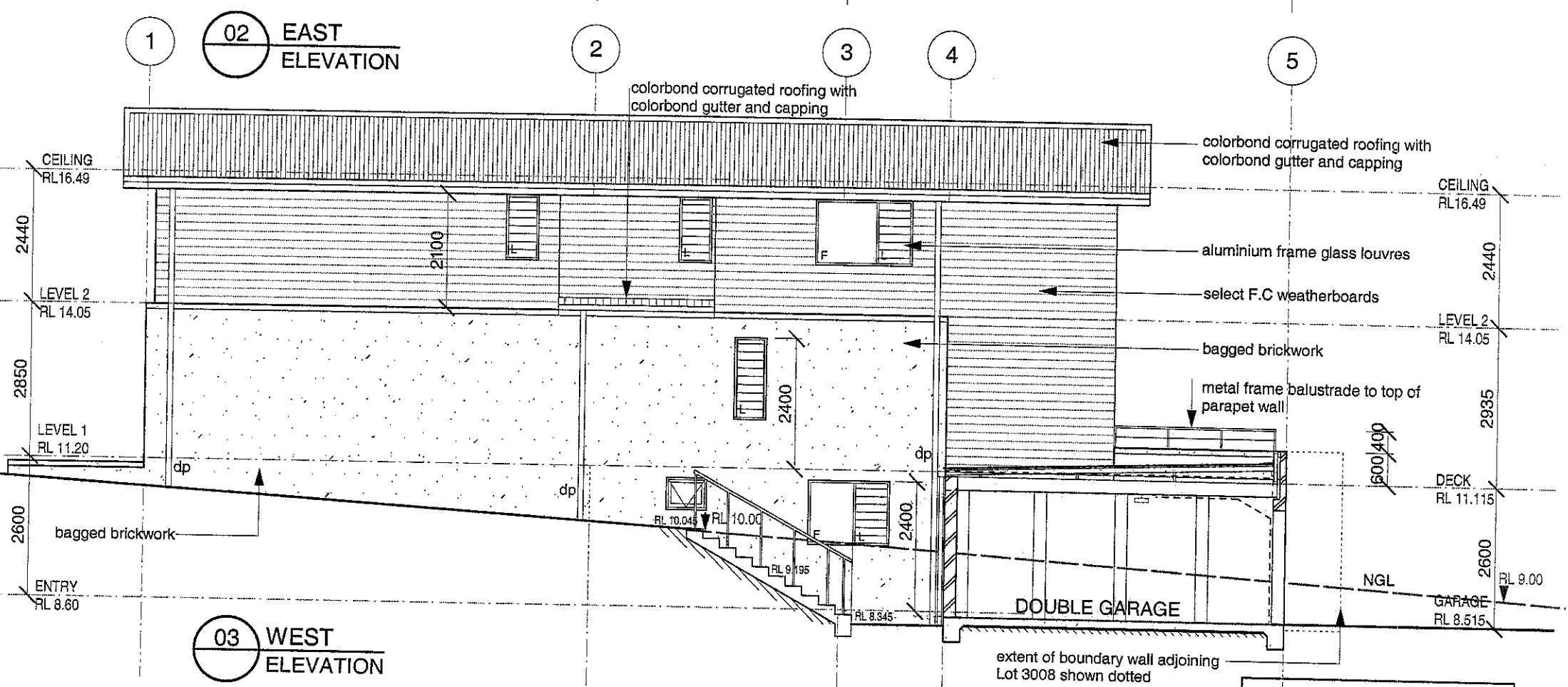
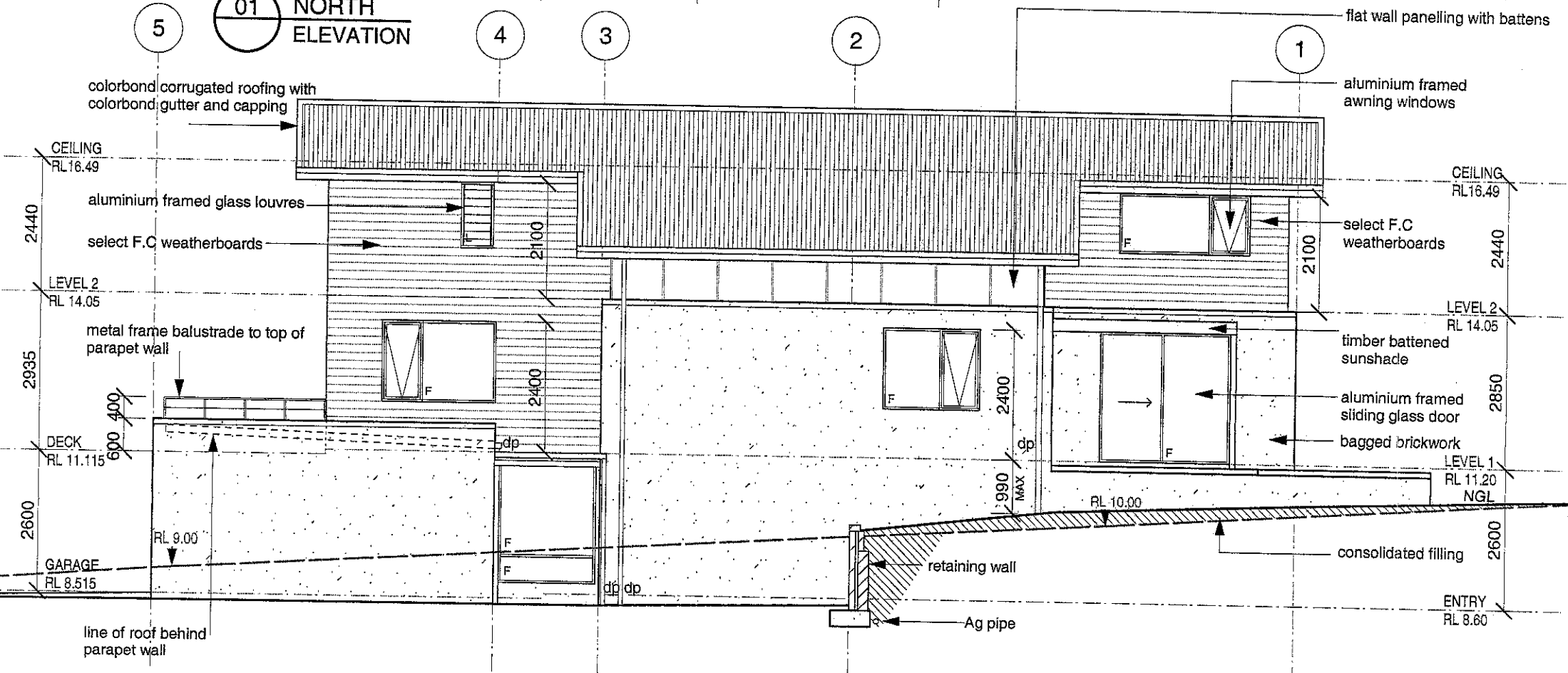
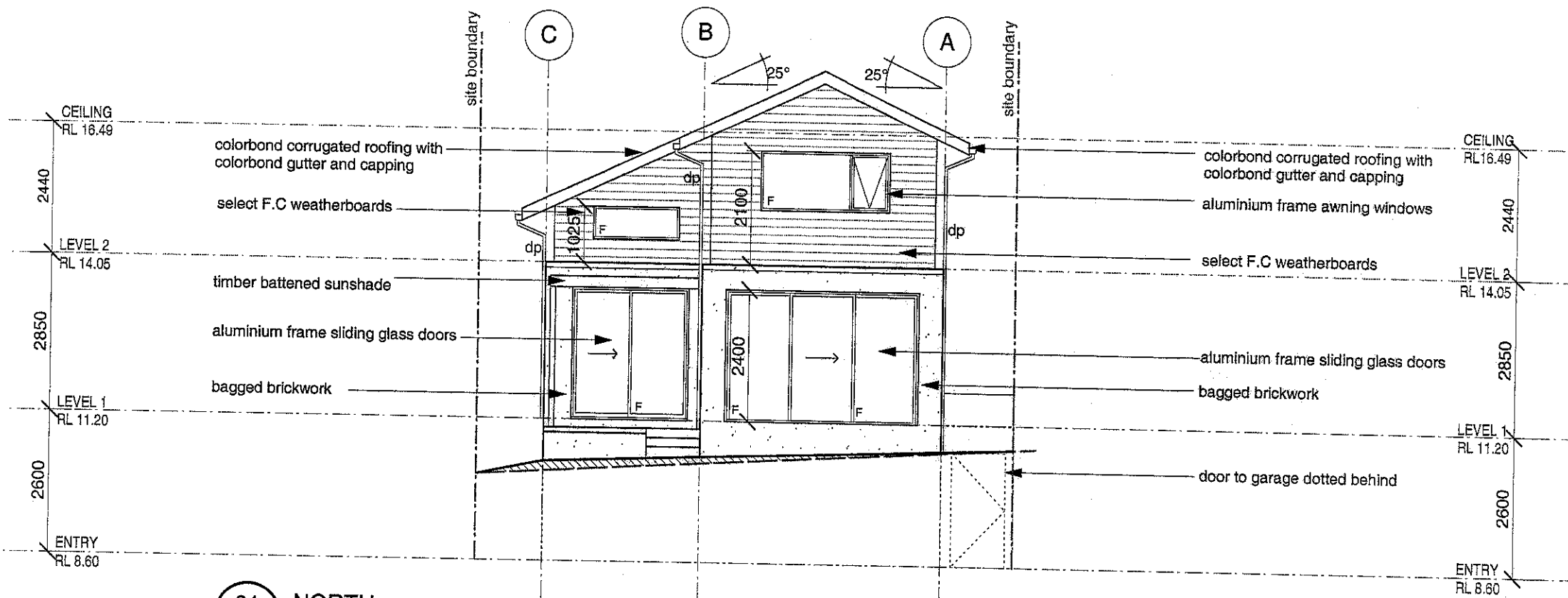
ROOF PLAN
SCALE 1:100

NOTES
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FERNBROOK - WARRIEWOOD Lot 3009 project
ROOF PLAN drawing
1:100 scale

A	13/12/04	ISSUED FOR CC
1704	job no.	Construction Certificate
WL	drawn/checked.	A105-3009
13.12.04	date.	A
		issue.



NOTES

all work to be carried out in accordance with BCA, SAA codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.



Stockland



maincom

Unit 6, 119 COREEN AVE. PENRITH NSW 2750

P (02) 4722 5900 F (02) 4722 3200
E enquiries@maincom.net

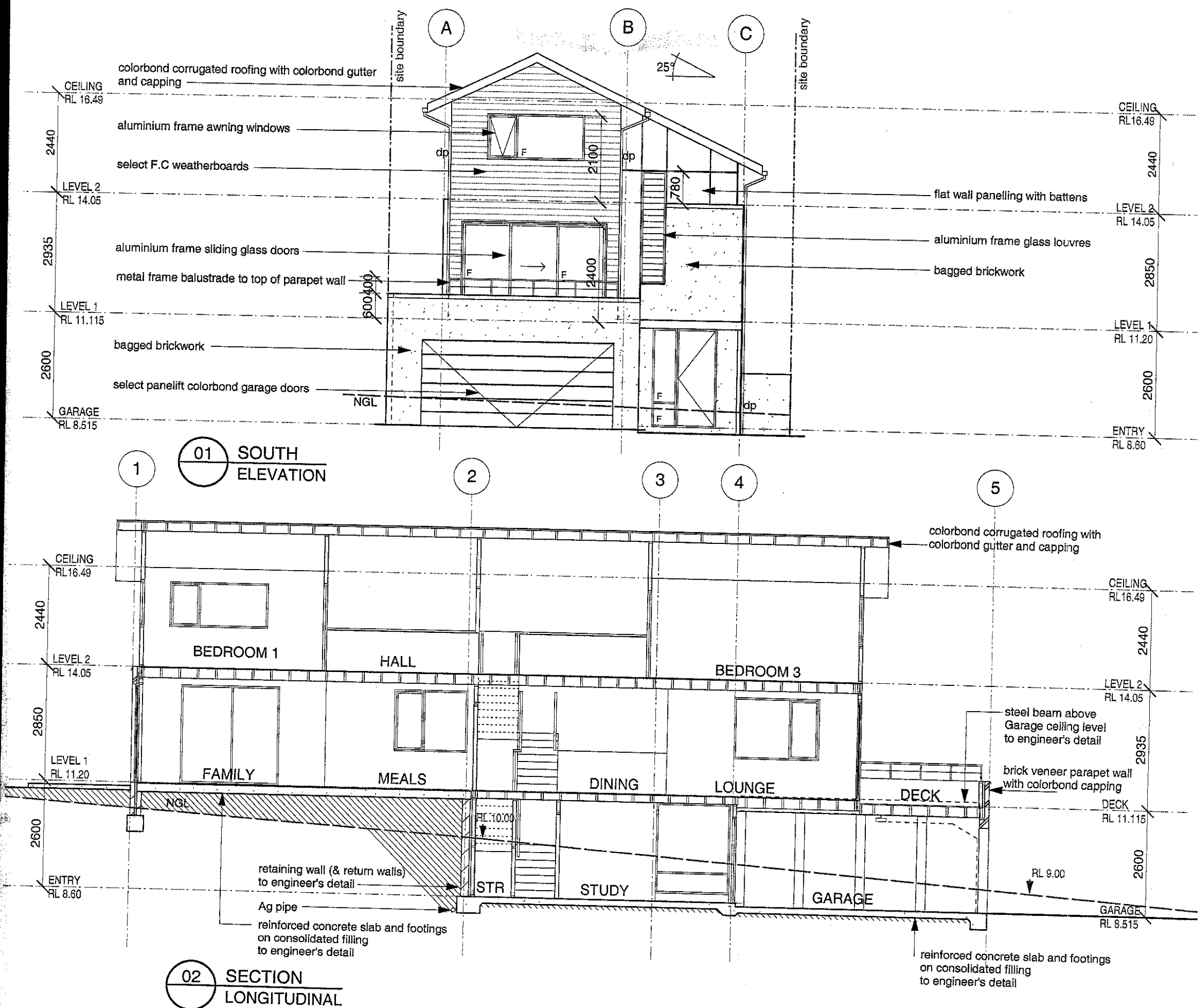
0m 1m 3m 4m

FERNBROOK -WARRIEWOOD
Lot 3009
project

NORTH, EAST + WEST ELEVATIONS
drawing

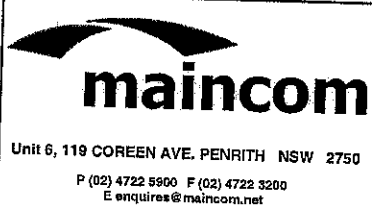
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WL		A201-3009
13.12.04		dwg no.
		A
		issue.



NOTES

all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.



FERNBROOK - WARRIEWOOD
Lot 3009
project

**SOUTH ELEVATION,
LONGITUDINAL SECTION**
drawing

1:100
scale

A 13/12/04 ISSUED FOR CC	
ISSUE	DATE
1704	13.12.04
job no.	date.
WL	13.12.04
drawn/checked.	date.
Construction Certificate	
stage.	
A202-3009	
dwg no.	
A	
issue.	

'H'	'B'	'V' BARS	'X' BARS	'T'	'F'
1.8m	1200	Y16 @ 400	Y16 @ 400	200	450
1.8m to 2.6m	1600	Y20 @ 400	Y20 @ 400	300	600
3.0m	2000	Y24 @ 400	Y24 @ 400	300	600

Y16 @ 400 ctrs

200

F72 FABRIC

HORIZONTAL BARS
Y12 @ 400 ctrs

'V' BARS

SELECTED GRANULAR BACKFILL
COMPACTED AS SPECIFIED (TYP).
BACKFILL TO COMMENCE ONLY
AFTER GROUND FLOOR SLAB
HAS GAINED FULL STRENGTH.

'V' BARS

100Ø AG. PIPE
WRAPPED IN
GEOTEXTILE

50Ø WEEP HOLES
AT 2000 ctrs

F72 FABRIC

LONGITUDINAL BARS
Y12 @ 300 ctrs

300

'B'

SECTION 6 TYPE F

FILL ALL CORES WITH
GROUT (15 MPa)
10mm max. AGGREGATE

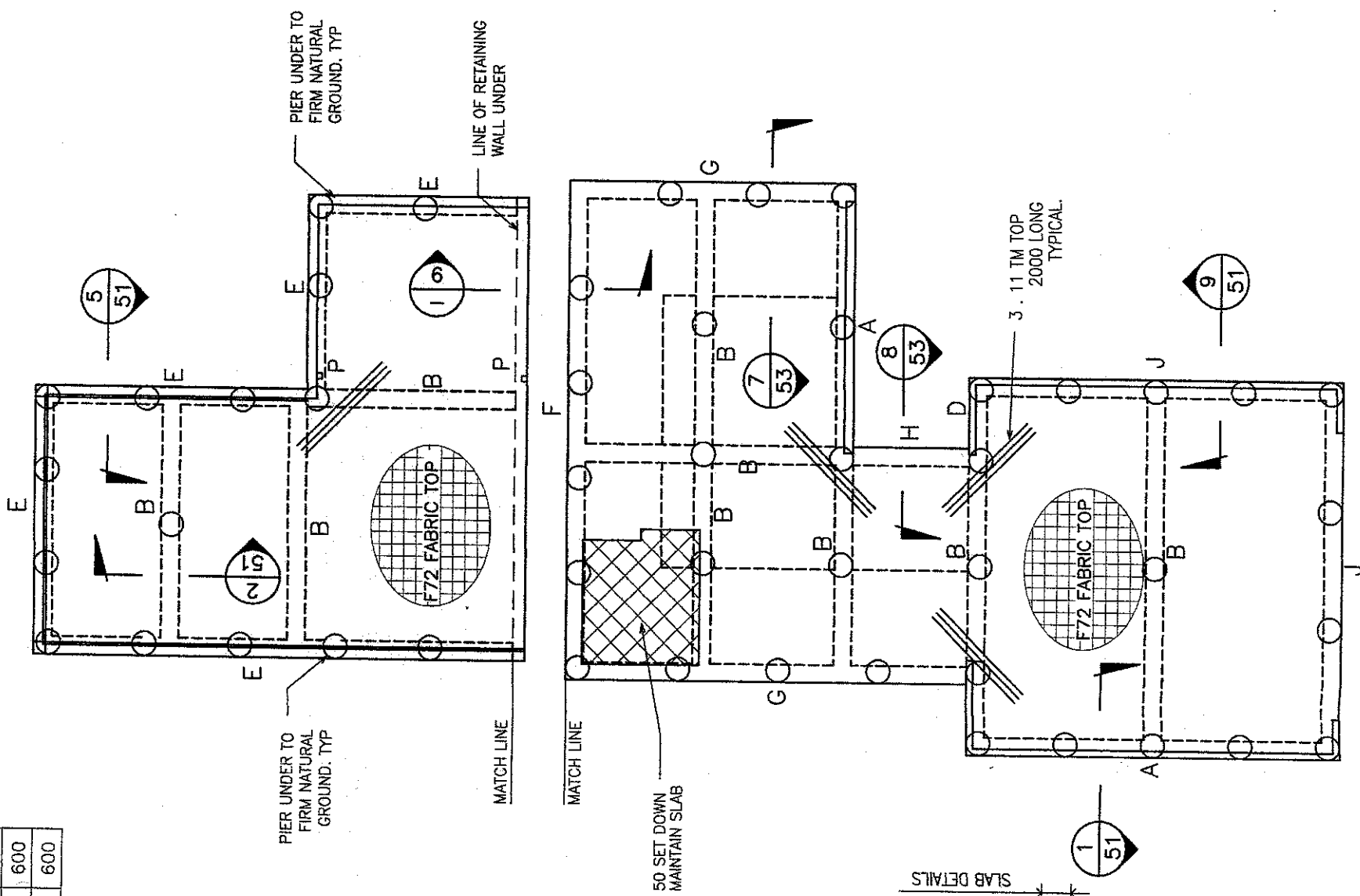
SLAB PLAN
ADDITIONAL REINFORCEMENT AS SHOWN

PROPOSED PIER LAYOUT AS SHOWN
TO BE CONFIRMED ON SITE.

P - 90x90 (HW) POST
C1 - SHS 90x4



THE SITE CLASSIFICATION IS CLASS 'M'
REFER GEOTECH REPORT No G22103/1-D
DATED 26 Nov 2003. PREPARED BY
NETWORK GEOTECHNIC Pty Ltd



SLAB NOTES:

SLAB 100mm THICK WITH 1 LAYER OF F72 FABRIC
IN TOP UNLESS NOTED OTHERWISE. LAID ON
200mm WATERPROOF MEMBRANE ON 50mm SAND
BLINDING ON WELL COMPACTED GRANULAR FILL.
THE FILLING IS TO BE PLACED & COMPACTED TO
AVOID ANY DEFLECTION & SETTLEMENT IN THE SLAB.

IF THE SITE IS CUT & FILLED:

THE EXTERNAL BEAMS INDICATED, WHERE NOT
BEARING ON FIRM NATURAL GROUND, MUST BE
PIERED TO FIRM NATURAL GROUND (HAVING A SAFE
BEARING CAPACITY OF 300 kPa MINIMUM) BELOW
THE FILL & TOP SOIL, USING 400 DIA. PIERS
AT 1.8m ctrs.

WHERE DEPTH OF ROLLED FILL BELOW SLAB
EXCEEDS 400mm THE INTERNAL BEAMS INDICATED
MUST BE PIERED TO FIRM NATURAL GROUND
USING 400 DIA. PIERS AT 3.3m max. ctrs.

IF LOAD BEARING BEAMS ARE BEARING ON
NON-STRUCTURAL FILL, THE FOLLOWING PIER
ARRANGEMENT SHALL BE USED:
FOR 210 kPa PRESSURE (CLAY STRATUM):
400 DIA. BORED PIERS AT 1.8m ctrs OR
500x300 BULK PIERS
FOR 400 kPa PRESSURE (SHALE OR ROCK):
300 DIA. BORED PIERS AT 1.8m ctrs OR
500x300 BULK PIERS.

ALL STRIP FOOTINGS ARE TO BE FOUNDED DIRECTLY
ON, OR PIERED DOWN TO FIRM NATURAL GROUND
WITH AN ALLOWABLE MINIMUM BEARING PRESSURE
OF 150 kPa.

PIERS SHOULD BE 400 DIA. & SPACED
AT 1.8m ctrs.

IF SHALE OR ROCK IS ENCOUNTERED IN THE
TRENCHES OR PIER HOLES, THE ENTIRE BEAM
SYSTEM MUST BE PIERED DOWN TO THIS STRATA.

THE EDGE BEAMS ARE TO HAVE A MINIMUM
PENETRATION OF 150mm INTO THE FIRM NATURAL
GROUND.

TOP OF SLAB IS TO BE 250mm ABOVE
THE EXTERNAL GROUND LEVEL.

PROVIDE ADDITIONAL BRICK ARTICULATION JOINTS
AS REQUIRED

THIS DRAWING IS SIGNED SUBJECT TO A INSPECTION
CERTIFICATE BEING ISSUED BY THIS OFFICE.
ALL REINFORCEMENT SHALL BE INSPECTED BY
THIS OFFICE PRIOR TO POURING CONCRETE.

REVISED TO SUIT CLIENT	8.12.04
AMENDMENTS	DATE
PROPOSED RESIDENCE AT:	
LOT 3009	
FERNBROOK ESTATE	
WARREWOOD	
FOR STOCKLAND	
Builder:	MAINCOM
Job No:	
Design:	

Palitha S. Wijesena & Associates Pty Ltd
ABN 71 067 121 091
Consulting Civil & Structural Engineers
36 Doulton Drive, Cherrybrook, NSW 2126
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

Drawn:	Scale:	Drawing No:
AR	1:100	6915-50A
SLAB PLAN		

SECTION 1
TYPE A

SECTION 2
TYPE B

SECTION 3
TYPE C
NOT USED

SECTION 4
TYPE D

SECTION 5 TYPE E

SECTION 9
TYPE J

FOOTING PLAN AT INTERSECTION

PLAN OF PLUMBING PENETRATION THROUGH FOOTING

1-Y12 1200 LONG
TO REPLACE WIRES
CUT FOR PLUMBING
PENETRATION (TYP)

BRICK JOINT DETAIL (BJ*)

INTERNAL STEPPED
EDGE DETAIL

DROPPED EDGE
BEAM DETAIL

BULK PIER DETAIL

STORMWATER DETAIL

[illegible]

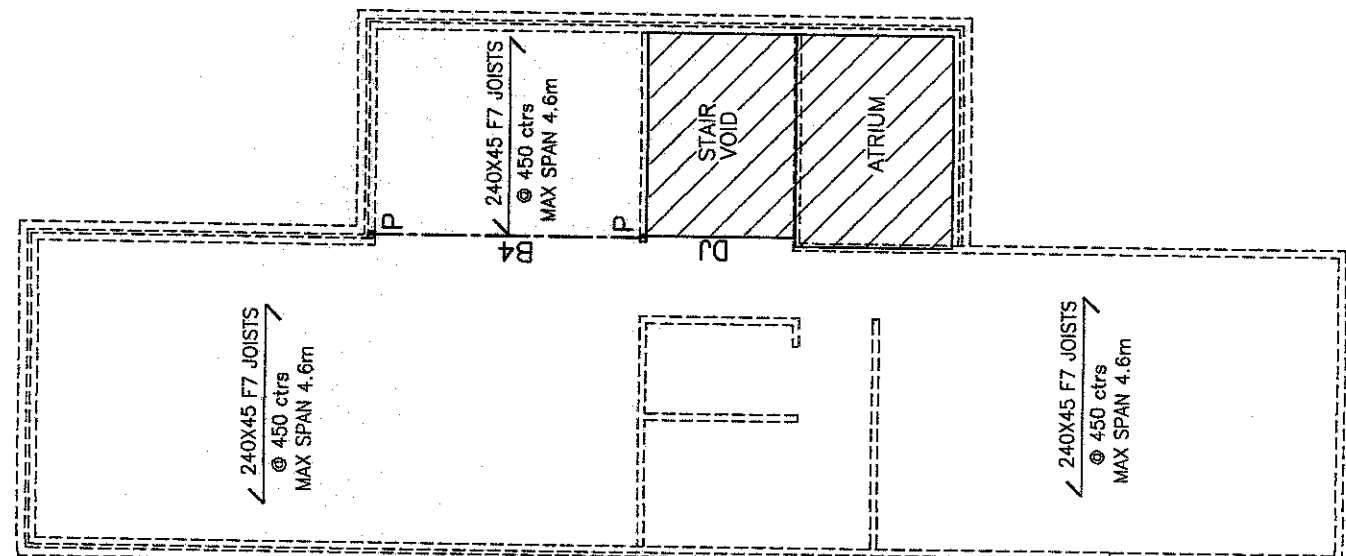
BEAM SCHEDULE

MARK No.	SIZE
B1	360UB45
B2	380PFC + 10 PLATE
B3	200UB25/250X10 BEARING PLATE
B4	250UB31 OR 2-240X43LVL
DJ	DOUBLE JOISTS
P	90X90 (HW) POST

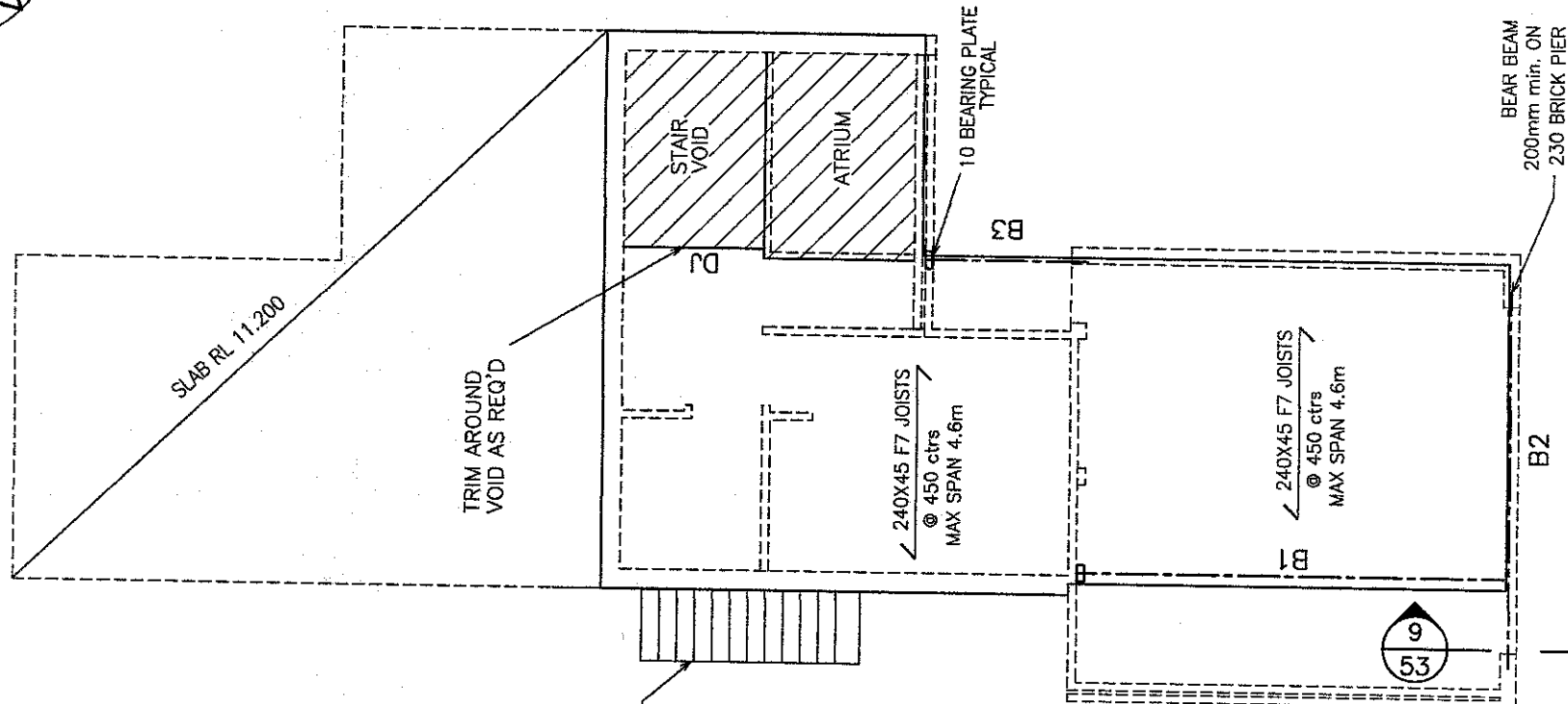
STEELWORK NOTES:

STEELWORK DESIGNED IN ACCORDANCE WITH AS4100
'STEEL STRUCTURES CODE' & AS1170.1/AS1170.2
'DEAD & LIVE LOADS & WIND LOADS'
STRUCTURAL STEEL TO BE GRADE (BHP 300 Plus) U.N.O.
SURFACE PREPARATION & FINISH TO COMPLY WITH
AS/NZS 2312/1994

A	8.12.04	REVISED TO SUIT CLIENT
REV	DATE	AMENDMENTS
PROPOSED RESIDENCE AT:		
LOT 3009		
FERNBROOK ESTATE		
WARREWOOD		
FOR STOCKLAND		
Builder:	Job No:	Design:
MAINCOM		
Palitha S. Wijesena & Associates Pty Ltd		
ABN 71 067 121 091		
Consulting Civil & Structural Engineers		
36 Doulton Drive, Cherrybrook, NSW 2126		
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161		
Certified:	Drawn:	Scale:
Palitha S. Wijesena	AR	1:2.10.04
B.Sc.(Engg.) & P.Engg.		
Drawing Title:		
LEVEL 1 & 2		
FRAMING PLAN		
6915-52A		



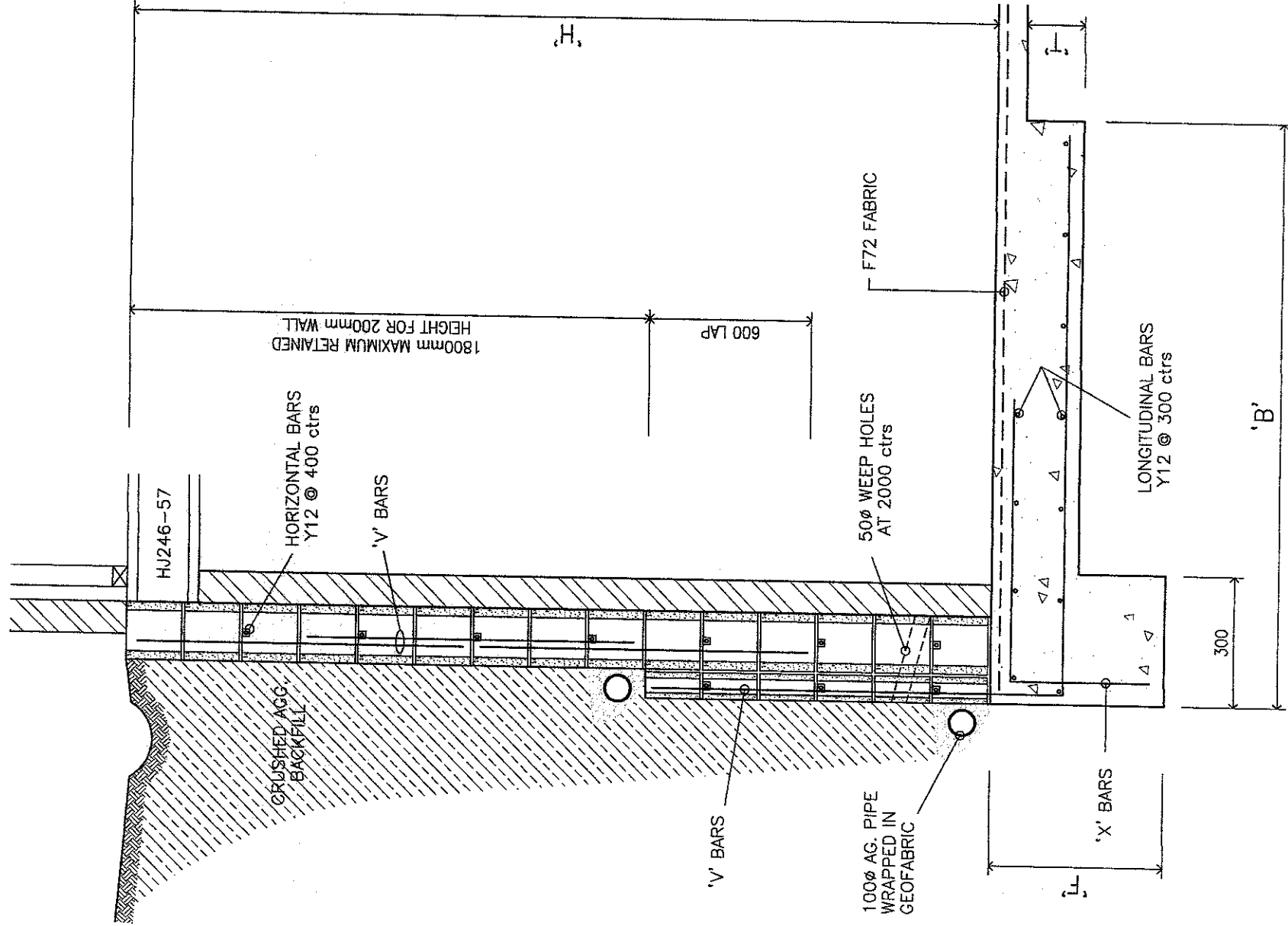
SECOND FLOOR FRAMING PLAN



FIRST FLOOR FRAMING PLAN

NOTE:
FOR STEEL DETAILS
SEE DRWG -53

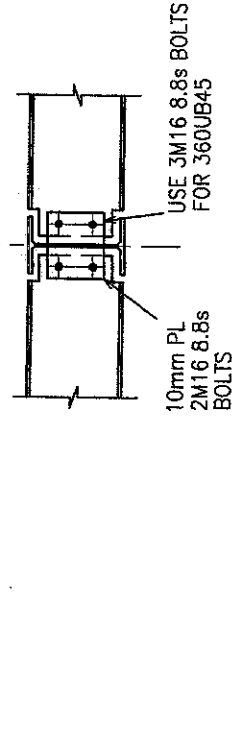
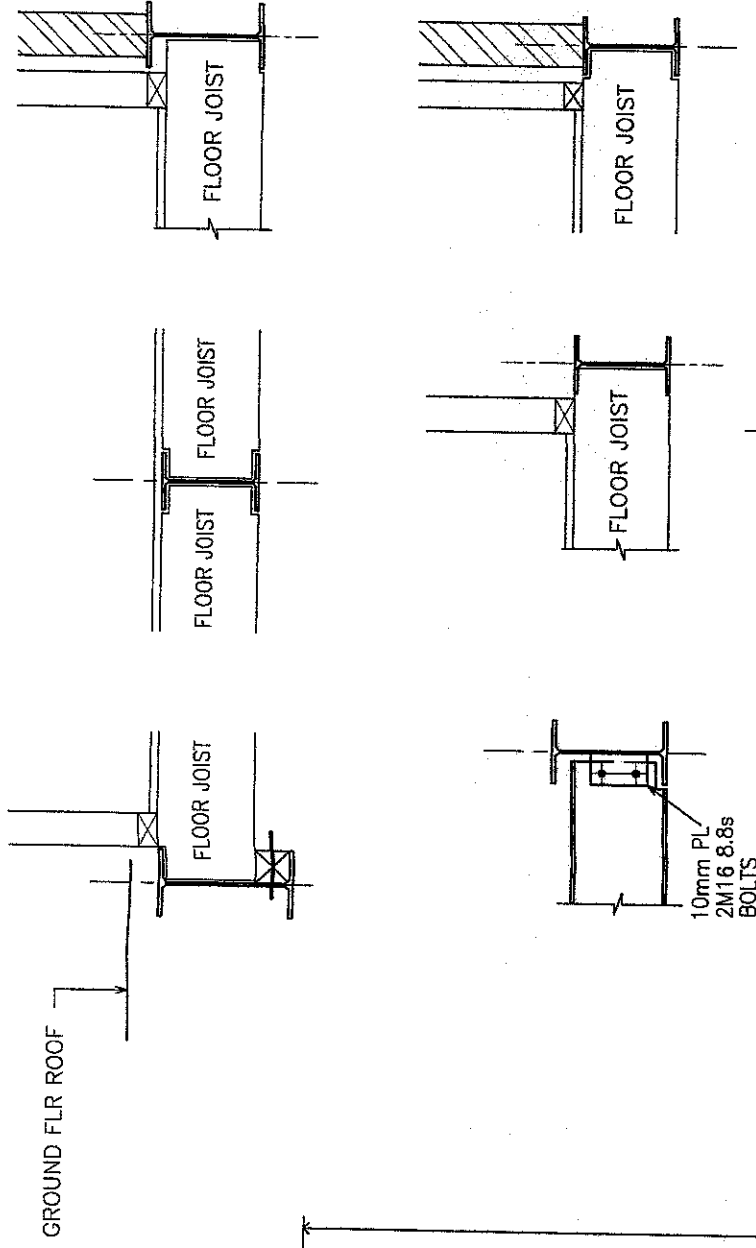
'H'	'B'	'V' BARS	'X' BARS	'T'	'F'
1.8m	1200	Y16 @ 400	Y16 @ 400	200	450
1.8m to 2.6m	1600	Y20 @ 400	Y20 @ 400	300	600
3.0m	2000	Y24 @ 400	Y24 @ 400	300	600



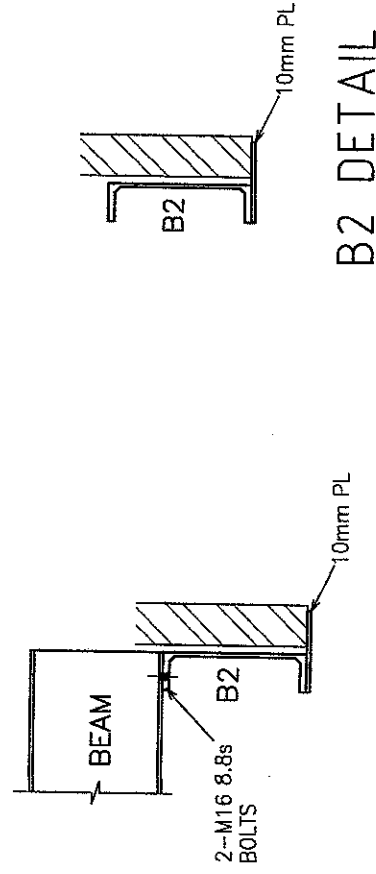
SECTION 7

TYPE G

FILL ALL CORES WITH
GROUT (15 MPa)
10mm max. AGGREGATE

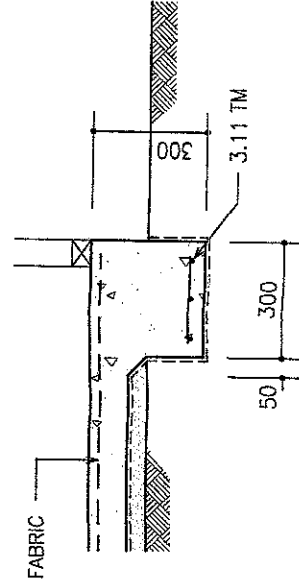


TYPICAL BEAM DETAILS



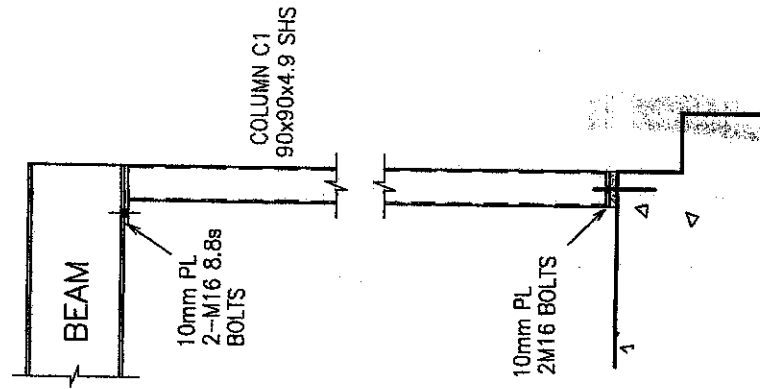
SECTION 9

FOR ALTERNATE DETAIL SEE DRWG 37



SECTION 8

TYPE H



TYPICAL COLUMN DETAILS

NOTE:
6mm FILLET WELDED CONNECTIONS
MAY BE USED FOR BEAM TO BEAM
AND BEAM TO COLUMN CONNECTIONS

PROPOSED RESIDENCE AT:
LOT 3009
FERNBROOK ESTATE
WARREWOOD
FOR STOCKLAND

Builder: **MAINCOM**
Job No.:
Design:

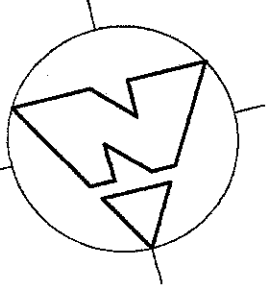
Palitha S. Wijesena & Associates Pty Ltd
ABN 71 067 121 091

Consulting Civil & Structural Engineers
36 Boulton Drive, Cherrybrook, NSW 2128
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

NOTE:
THIS DRAWING IS SIGNED SUBJECT TO A INSPECTION
CERTIFICATE BEING ISSUED BY THIS OFFICE.
ALL REINFORCEMENT SHALL BE INSPECTED BY
THIS OFFICE PRIOR TO POURING CONCRETE.

MISCELLANEOUS
DETAILS

6915-53



DETERMINED ON SITE
RETAINING WALL TO BE
EXTENT & LOCATION OF

DETERMINED ON SITE
RETAINING WALL TO BE
EXTENT & LOCATION OF

LOT 3009
PROPOSED RESIDENCE

DRIVEWAY

DETERMINED ON SITE
RETAINING WALL TO BE
EXTENT & LOCATION OF

SITE PLAN

NOTE: FOR RETAINING WALL DETAILS
SEE TYP DETAILS ON DRWGS -03,04,05

PROPOSED RESIDENCE AT:	
LOT 3009	
FERNBROOK ESTATE	
WARREWOOD	
FOR STOCKLAND	
Builder:	MAINCOM
Job No:	
Design:	
Palitha S. Wijesena & Associates Pty Ltd	
ABN 71 067 121 081	
Consulting Civil & Structural Engineers	
36 Doulton Drive, Cherrybrook, NSW 2126	
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161	
Certified:	
Palitha S. Wijesena	
B.Sc.(Engg.)	Eng: M.I.E. Aust.: M.I.C.E. (U.K.): N.P.E.R.
Date:	Scale:
AR	12.10.04
Drawing No:	
Drawing Title:	SITE PLAN
6915-54	