

Get Certified

BUILDING SERVICES PTY LTD

16 May 2008

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam

**CONSTRUCTION CERTIFICATE
PROPOSAL Swimming Pool
PREMISES 23 Thyra Road, Palm Beach
DEVELOPMENT APPLICATION N^O NO333/07**

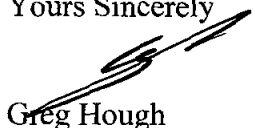
I refer to the above matter and accordingly submit the following documentation for your records

- Construction Certificate No 08/71
- Form 7
- Copy of construction certificate application form
- Copy of the Home Warranty Certificate
- Copy of plan stamped by Sydney water
- Form 2
- Soil & erosion control plan certification
- Landscape plans & site plans prepared by Paul Scrivener
- Structural engineering details prepared by Neilly Davies & Partners Pty Ltd
- Cheque from the owners for \$537 50 in favour of Council being payment for the Long Service Leave Levy (\$507 50) & Construction Certificate registration fee (\$30 00)

In addition to the above please be advised that the builder for this project will be Jade Swimming Pools. Licence No 31789

Should you have any queries in relation to this matter, please contact us immediately

Yours Sincerely


Greg Hough
DIRECTOR

hec# 238502
20/5/08

C:\Documents and Settings\Greg\My Documents\Get Certified Building Services\Clients\Jade Swimming Pools Pty Ltd\23 Thyra Rd, Palm Beach\Letter to Council.doc



BUILDING SERVICES PTY LTD

CONSTRUCTION CERTIFICATE

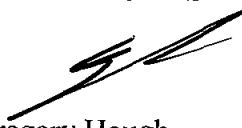
Pursuant to Section 109D(1) of the Environmental Planning and Assessment Act 1979

Construction Certificate Application No	08/71
Date of this Construction Certificate	16 May 2008
Applicant's Name	Jade Swimming Pools P/L
Applicant's Address	488 Windsor Road, Baulkham Hills, NSW, 2153
Details of the land on which the development is to be carried out	Lot 23, DP 18612, 23 Thyra Road, Palm Beach, NSW
Development as described on any relevant development consent	Swimming Pool
Registered number and date of issue of any relevant development consent	NO333/07 – 8 August 2007

The issue of this Construction Certificate has been endorsed on the plans, specification and documentation lodged with the Application and detailed on the attached table. The classification (in accordance with the Building Code of Australia) of the building and structures to which this certificate relates is 10b.

Work completed in accordance with the documentation accompanying the application for Construction Certificate No CC-08/71 (with such modifications verified by the certifying as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as are referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979.

The Certifying Authority by which this Construction Certificate is granted is Gregory Hough, Accredited Certifier.



Gregory Hough
Accredited Certifier
(Accreditation Number BPB0186)

Building Professionals Board is the accreditation body by which Gregory Hough is accredited.
Attachments Endorsed plans, specifications and documentation

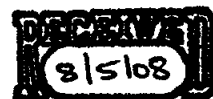
1/2



CONSTRUCTION CERTIFICATE No 08/71

PLANS / DETAILS	REFERENCE NUMBERS
Structural Engineering Details & Site Plan Prepared by Neilly Davies & Partners Pty Ltd	Job No J0813 DWG No 1/4 to 4/4p
Landscape Plans & Site Plan Prepared by Paul Scrivener	Dated 8 May, 2007 Sheets 1 of 4 to 4 of 4 Issue B

COPY



- ☒ **CONSTRUCTION CERTIFICATE APPLICATION**
☐ **COMPLYING DEVELOPMENT CERTIFICATE APPLICATION**
Environmental Planning and Assessment Act 1979

Application No 08/71

Subject land:

Address 23 THYRA ROAD, PALM BEACH

Lot no, DP/MPS, etc vol/fol LOT 6 DP 18612 Area of site 676 m²

Description of development:

Type of application ☒ new application ☐ modification to existing approved certificate

Description of proposed works INGROUND CONCRETE SWIMMING POOLS WITH CATCH TANK AND TIMBER STEPS

Applicant's details:

Name/s (In block letters) JADE SWIMMING POOLS P/L

Address 488 WINDSOR RD, BAULKHAM HILLS 2153

Telephone No (Business 9686-6000 (Private)

JOHN-(Mobile) 0418 229 010 (Fax No) 9686-6665

(Email Address) jadepools@jadepools.com.au

Owner's details:

Name/s RON & JENNY HICKEY

Address 23 THYRA ROAD, PALM BEACH

Telephone No (Business) (Private) 974-1612

(Mobile) 0407 41 093 (Fax No) ---

(Email Address)

Consent of owners.

I / we consent to

- The making of this application ☒
- Appointment of Greg Hough of Get Certified Building Services P/L as the Principal Certifying Authority for this development and agree by the terms under the PCA Service Agreement (Refer to attached PCA Agreement) ☒

Signature/s *[Signature]*

Date *23 April 08*

Signature/s *[Signature]*

Date *23 April 08*

Development consent details (Construction Certificate Application Only):

Development application No *N0333107* Date of determination *8/8/07*

Value of work (building) *\$145,000* (including GST)

Builder / owner-builder details (if known at this stage):

Name/s *Jade Swimming Pools Pty Ltd*
Address *488 Windsor Rd Bankham Hills*
Contract licence No or Permit No in case of an owner builder *31789*
Contact details *Roslyn 9686-6000*

Building Code of Australia building classification (if known): *10b*

Privacy

The personal details requested on this form are required under the Environmental Planning and Assessment Act 1979 and will only be used in connection with the requirements of this legislation. Access to this information is restricted to Get Certified Building Services Pty Ltd and other people authorised under the Act.

Signature of Applicant

Sign *[Signature]* Date *7-5-08*

SCHEDULE TO CONSTRUCTION CERTIFICATE/COMPLYING DEVELOPMENT APPLICATION
(This information will be sent to the Australian Bureau of Statistics)

All new buildings:

Please complete the following

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

Pool

N/A

20.91² approx

676m²

All new buildings:

Please complete the following details of residential structures

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling (s) be attached to other new Buildings?
- Will the new dwelling (s) be attached to existing Buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

N/A

ONE

N/A

Yes ☐ No ☒

Yes ☐ No ☒

Yes ☐ No ☒

All new buildings:

Please indicate the materials to be used in the construction of the new building(s)

Pool

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☒ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☒ 60
Concrete or stone	☒ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre Cement	☐ 30	Steel	☐ 60	Not Specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☒ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not Specified	☐ 90	N/A					



Insurance services

YOUR INSURANCE PARTNER



Certificate of Insurance

Jade Swimming Pools Pty Ltd
PO Box 654
BAULKHAM HILLS NEW SOUTH WALES 1755

Form 1
Section 92
Home Building Act 1989

Local Authority's Copy
Issue Date 2/04/2008
Certificate No RCW73773341

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With Section 92
Of The Home Building Act 1989

Issued By Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date March 31, 2008
Declared Building Contract Value \$145,650 00
(Refer policy for indemnity limit)

Carried Out By Jade Swimming Pools Pty Ltd
ABN 80001835552
Licence No 31789
For R & J Hickey

In Respect Of Swimming Pools
At House No 23
Thyra Road
PALM BEACH NEW SOUTH WALES 2108

Permit Authority Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the Insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N 30MHD4ATY88R

Printed 2/04/2008

Signed for and on behalf of the insurer

Insurer Vero Insurance Limited ABN 48 005 297 807

Vero Warranty is a division of Vero Insurance Limited



Transaction Summary



Date Requested Wed April 16 2008 **A B N** 49 776 225 038

Agent Cooks North Rocks, 27 Loyalty Road North Rocks

Applicant JADE POOLS, 488 WINDSOR RD BAULKHAM HILLS 2153

This document will be a tax invoice when you make payment

Transaction Details	Charge	GST	Total
23 Thyra Rd, Palm Beach 2108			
03 2269744 Building Plan Approval Application Fee	\$24 40	\$0 00	\$24 40
Transaction Total	\$24 40	\$0 00	\$24 40

A C
483
BAL
PO
BAL
Tel
Fax



Neilly Davies & Partners Pty Ltd

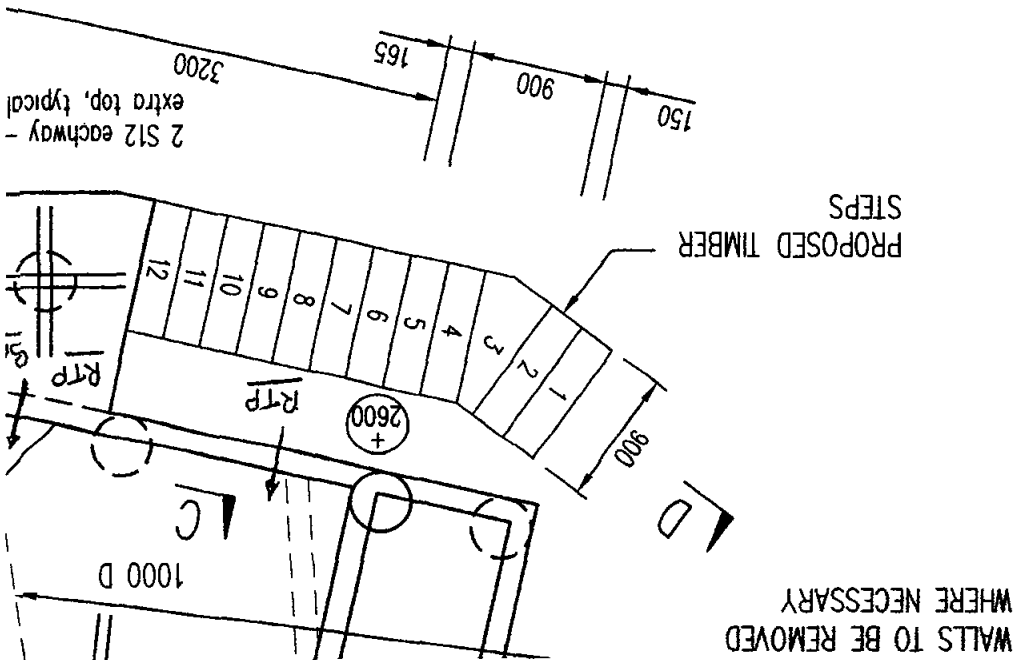
Consulting Civil & Structural Engineers
44 Hampden Road, Suite 405, Artarmon, NSW 2064
Tel (02) 98848637 Fax (02) 94198241

CHECKED

DATE

11 04 08

MIE RUST 2 P 202 13982 92995



SYDNEY WATER

FILLING OF SWIMMING POOLS

The water supply to the pool must be drawn from a metered service and any tap or hose used to fill the pool must be at least 150mm above the highest possible water level of the pool

EMPTYING OF SWIMMING POOLS

Pools emptying into Sydney Water's Sewer must

- Discharge into a gully through a pipe
- Discharge only in dry weather, with prior approval from Sydney Water's Customer Centre

NOTE IT IS PROHIBITED TO DISCHARGE POOL WATER INTO ANY OF SYDNEY WATER'S VACUUM SYSTEM SEWERS

Cooks North Rocks
Quick Check Agent on behalf of
SYDNEY WATER

er

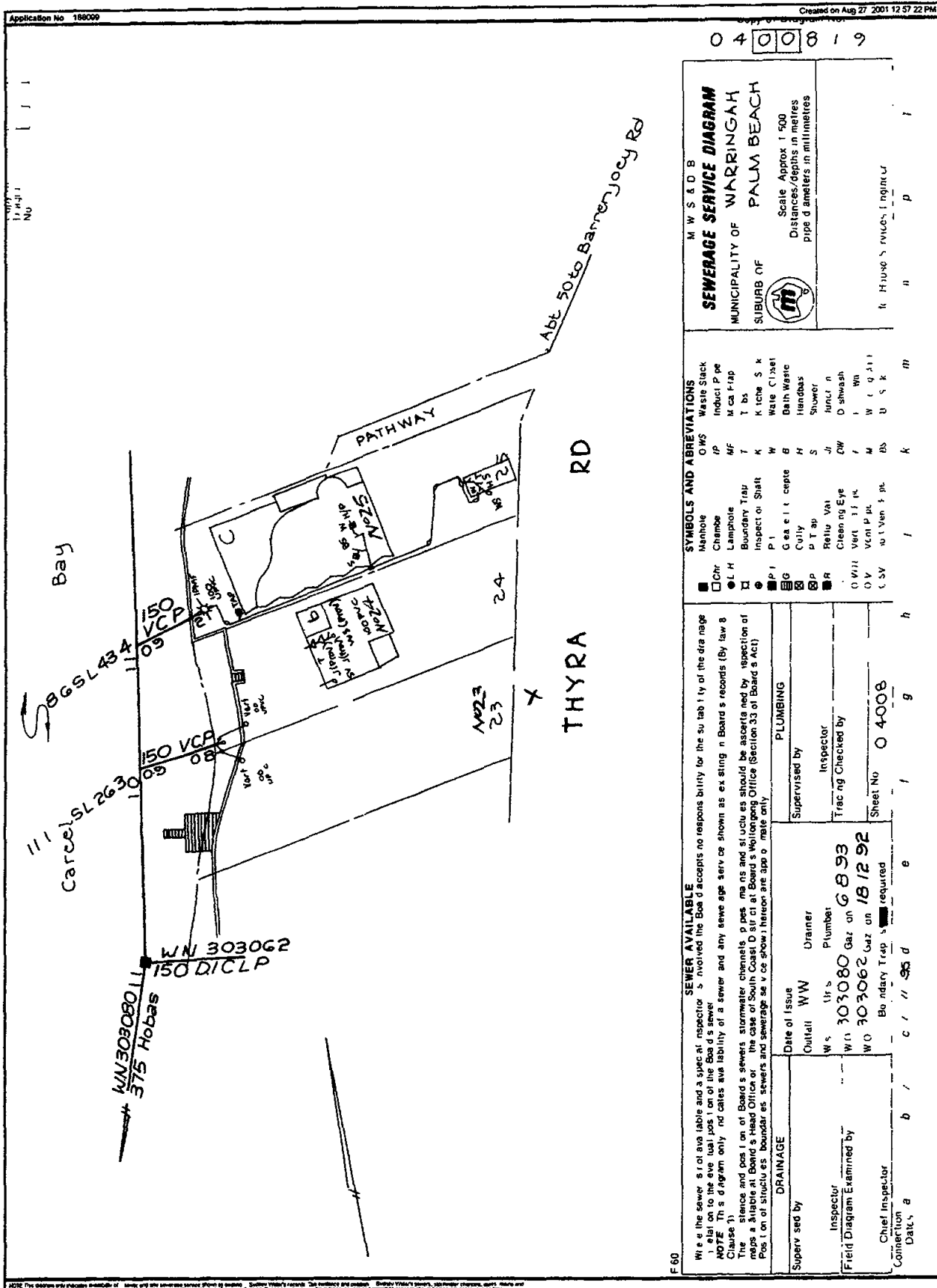
[Signature]

1/14/08

Swimming Pool Stamp

Permits are required to fill all new swimming pools with a capacity greater than 10,000L. Contact Sydney Water on 13 20 92 during business hours

Fines of \$220 will apply for filling pools without a permit



GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 – To be submitted with detailed design for construction certificate

Development Application for _____	Name of Applicant
Address of site <u>23 Thyra Road, Palm Beach</u>	

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I Bala Muhunthan on behalf of Neilly Davies & Partners
(insert name) (trading or company name)

on this the 1/05/08
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details

Report Title Risk Analysis and Management Report for the proposed pool at 23 Thyra Road Palm Beach VS 24515
Report Date 28 th May 2007
Author BEN WHITE

Structural Documents list

Drawing No JO 813 Sheets 1 to 4

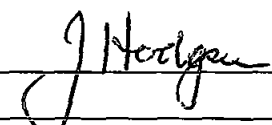
I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

BALA MUHUNTHAN
(name)


(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 30/05/2007 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriate taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature	<u></u>
Name	<u>J HODGSON</u>
Chartered Professional Status	<u>MEngSc FIEAust</u>
Membership No	<u>149 788</u>
Company	<u>Jack Hodgson Consultants Pty Ltd</u>





28 April 2008

The Principal Certifier
23 Thyra Road
Palm Beach NSW 2108

Dear Sir,

Re – Landscape Development at 23 Thyra Road, Palm Beach

This is to certify that I have reviewed the above landscape development plans specifically sheet 4 of 4 Dwg No 07/1176/DA4 issue B and consider that the sediment control measures that have been provided are adequate during the construction stage

Yours faithfully,

Bala Muhunthan
B Sc , (Hon) Civil Eng , M.Eng Sc, FICE, MIE Aust, CP Eng NPER

28/04/08

- LEGEND**
- SKIMMER BOX
 - LIGHT
 - TOP WATER LEVEL
 - RETURN TO POOL
 - HYDROSTATIC VALVE
 - DEPTH
 - APPROX LEVEL OF FINISHED COPING ABOVE/BELOW NATURAL SURFACE

NOTES

REFER TO APPROVED DA PLANS FOR POOL LOCATION & SITE DETAILS

SWIMMING POOL VOLUME

FOR BASIX = 20.5 KL Approx

COMPLYING DEVELOPMENT

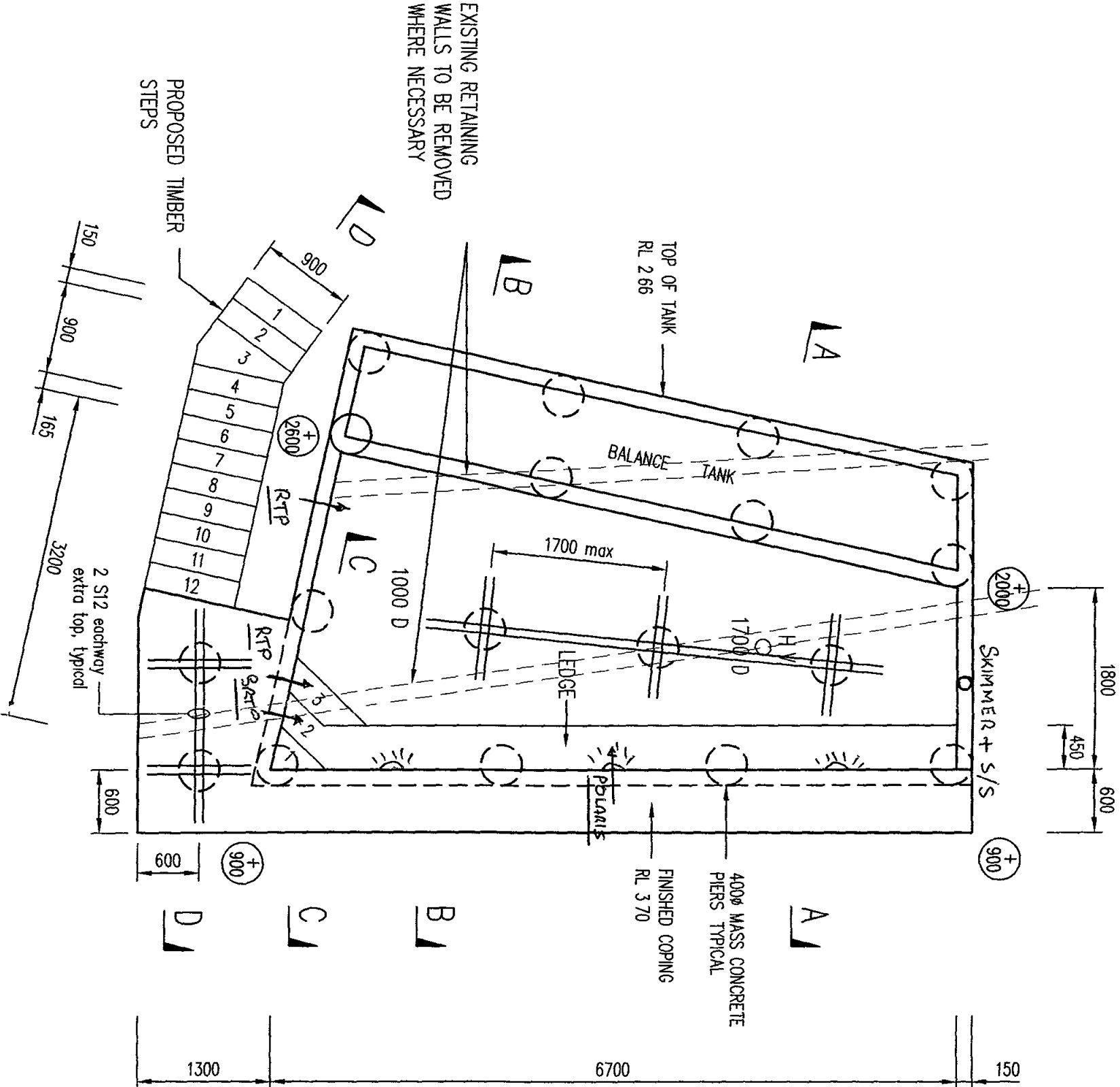
CERTIFICATE No. 08/71

These plans form part of the above **Complying Development** Certificate as issued by

Greg Hough of
Get Certified Building Services Pty Ltd
Accreditation No **PA006-67B0186**

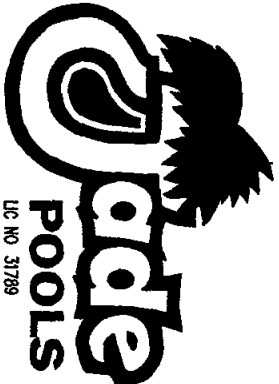
POOL PLAN

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Neilly Davies & Partners Pty Ltd
Consulting Civil & Structural Engineers
44 Hampden Road, Suite 405, Artarmon, NSW 2064
Tel (02) 98848637 Fax (02) 94198241

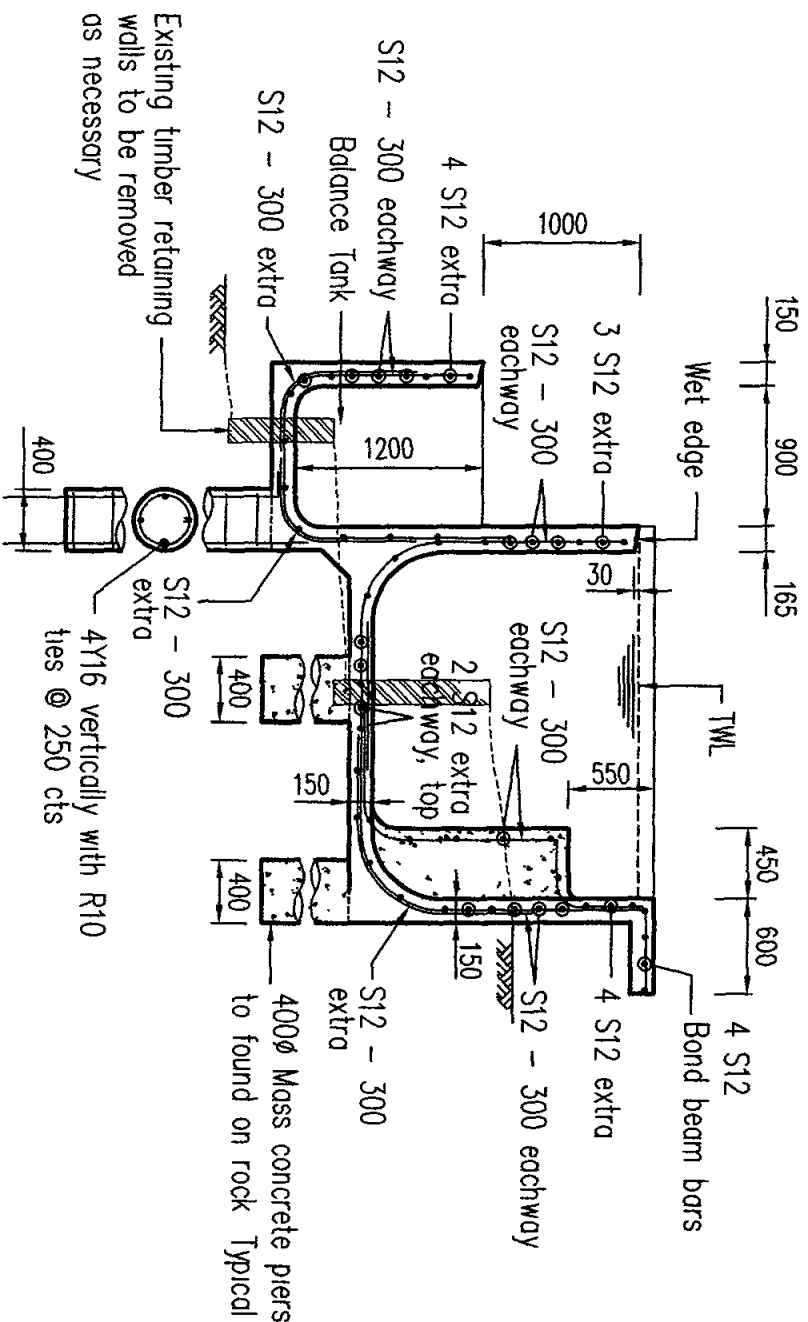
CHECKED *[Signature]* DATE 11/04/08
MIE Rust 09/04/08 11/04/08



ACN 001 835 552
488 WINDSOR ROAD,
BAULKHAM HILLS 2153
PO BOX 654,
BAULKHAM HILLS 1755
Tel (02) 9686 6000
Fax (02) 9686 6665

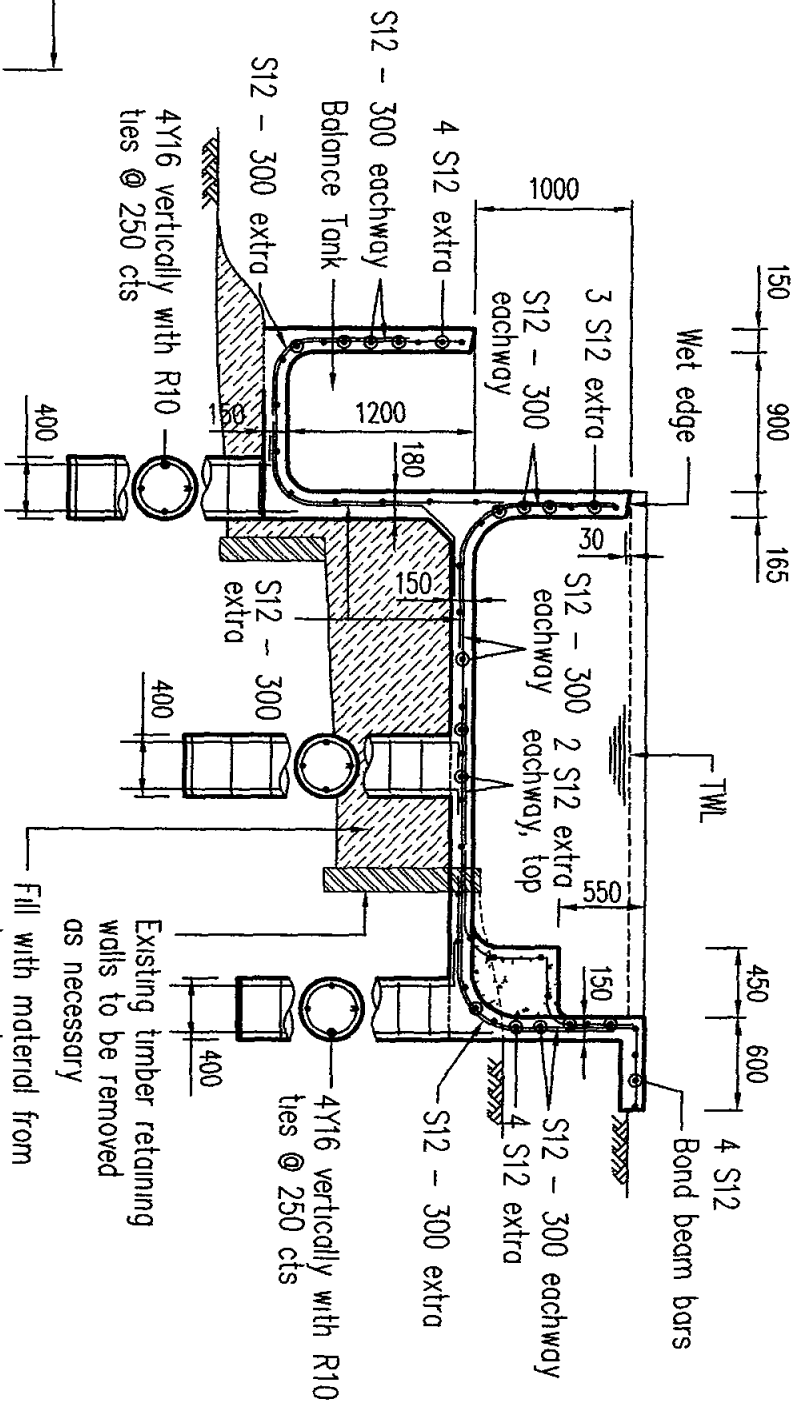
SWIMMING POOL FOR
RON & JENNY HICKEY
23 THYRA ROAD, PALM BEACH

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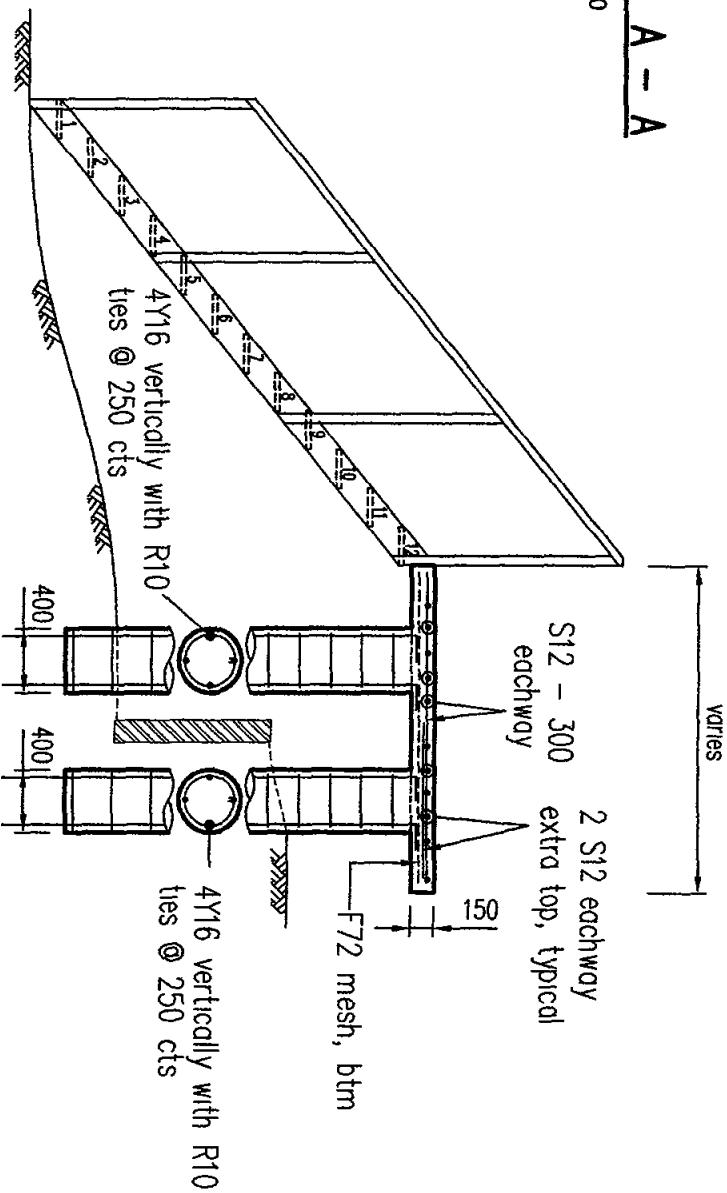
SECTION A - A

1 50



SECTION B - B

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SECTION D - D

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NOTE
All reinforcement to be S12 - 300 eachway unless noted otherwise
Pool shell to be 150mm thick unless noted otherwise

COMPLYING DEVELOPMENT
CERTIFICATE No. 08/71
These plans form part of the above Complying Development Certificate as issued by
Greg Hough of
Get Certified Building Services Pty Ltd
Accreditation No ~~10000~~ **6060186**

CONSTRUCTION

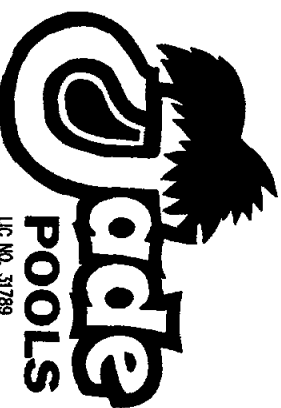
Neilly Davies & Partners Pty Ltd

Consulting Civil & Structural Engineers
44 Hampden Road, Suite 405, Artarmon, NSW 2064
Tel (02) 98848637 Fax (02) 94198241

CHECKED

DATE

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488 WINDSOR ROAD,
BAULKHAM HILLS 2153
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BAULKHAM HILLS 1755
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SWIMMING POOL FOR
RON & JENNY HICKEY
23 THYRA ROAD, PALM BEACH

DRAWN BY

DATE

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JOB NO

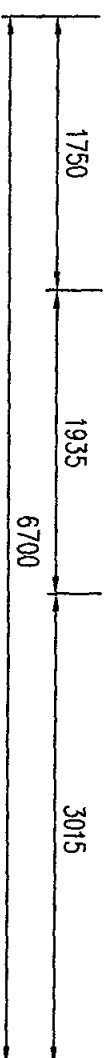
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All reinforcement to be S12 – 300
eachway unless noted otherwise
Pool shell to be 150mm thick
unless noted otherwise

Consulting Civil & Structural Engineers
44 Hampden Road, Suite 405, Artamon, NSW 2064
Tel (02) 98848637 Fax (02) 94198241

DATE _____

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488 WINDSOR ROAD,
BAULKHAM HILLS 2153

PO BOX 654,
BAULKHAM HILLS 1755

Tel (02) 9686 6000
Fax (02) 9686 6665

Fax (02) 9686 6665

Accreditation No ~~70000~~ **BP80186**



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RON & JENNY HICKEY
23 THYRA ROAD, PALM BEACH

JOB NO

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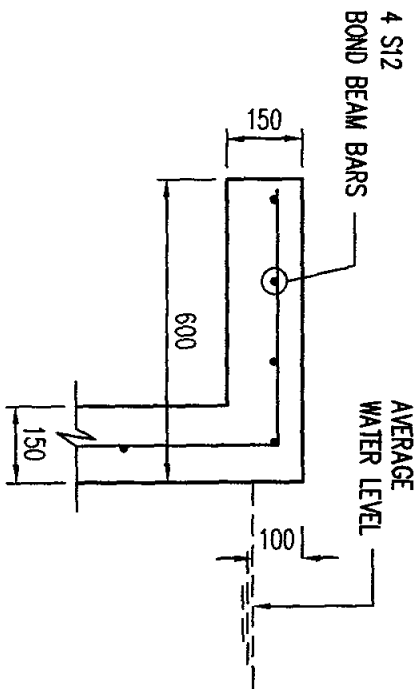
CONSTRUCTION

CERTIFICATE No. 08/71

These plans form part of the above Geomorphology Development Certificate as issued by Greg Hough of Get Certified Building Services Pty Ltd

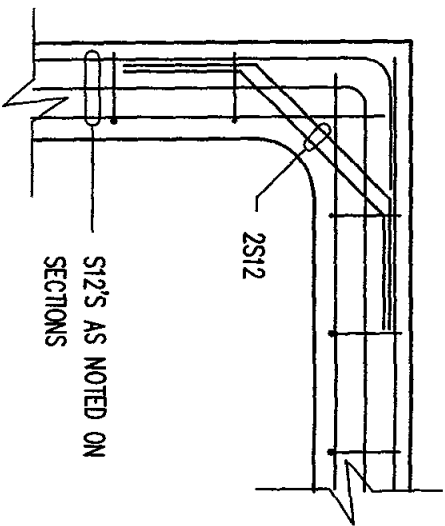
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Construction



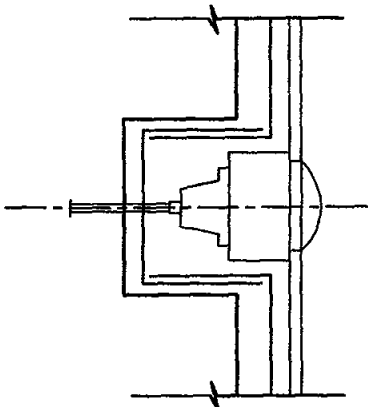
CANTILEVERED WALKWAY DETAIL

1 15

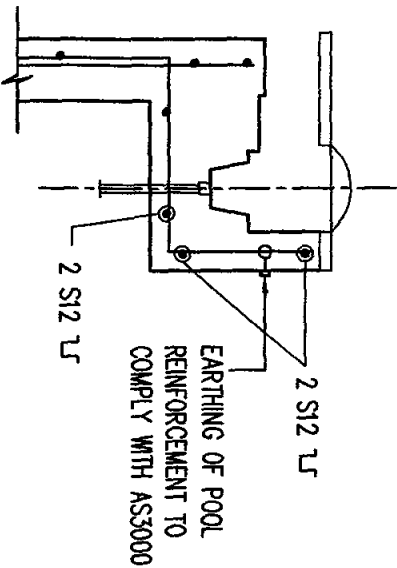


CORNER DETAIL, BOND BEAM

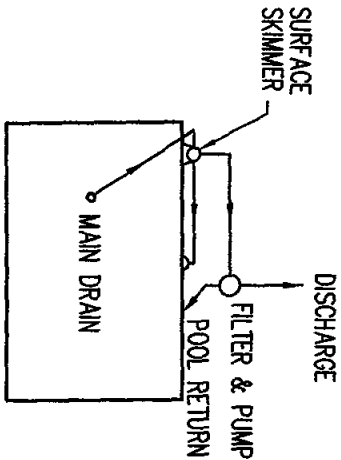
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ELEVATION

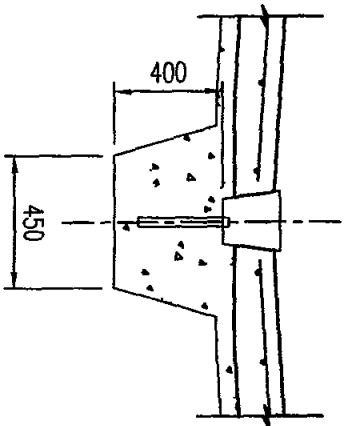


SECTION



SKIMMER DETAIL

1 20



HYDRO VALVE DETAIL

1 25

PLUMBING LAYOUT – DIAGRAMMATIC ONLY

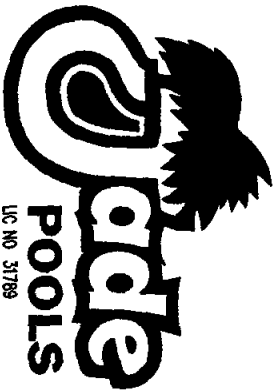
Neilly Davies & Partners Pty Ltd
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Tel (02) 98848637 Fax (02) 94198241

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DATE

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488 WINDSOR ROAD,
BAULKHAM HILLS 2153
PO BOX 654,
BAULKHAM HILLS 1755
Tel (02) 9686 6000
Fax (02) 9686 6665

NOTES FOR OWNERS

- POOL SET OUT**
Pool set-out size location and height level is deemed to be acceptable to the owner at the time of construction. Such advice must be prior to placement of reinforcement.
- CURING CONCRETE**
After concreting the pool shell is to be thoroughly wetted down twice daily for at least (7) days (ten (10) days in summer).
- SAFETY FENCES**
Safety fencing is to be Council approved prior to the pool being filled.
- FILLING POOL**
Hose to be prevented from swishing around during filling. DO NOT use rubber hoses.
- UNDERWATER LIGHTS**
Lights must be fully submerged during use.
- WALKWAYS AND COPINGS**
Walkways and copings are designed for a 2 kPa live load and are not designed to support masonry walls unless noted otherwise.

SPECIFICATIONS

- All workmanship and materials to be in accordance with Australian Standard AS 2783.
- Site Plan dimensions are to water face UNO.
- Dimensions shall not be obtained by scaling the details.
- All levels and dimensions are relative to concrete coping level. Fixed Datum represents the fixed coping height/level. Approximate coping levels are represented as follows:
 - NGL +200 represents 200 mm above existing Natural Ground Level
 - NGL -400 represents 400 mm below existing Natural Ground Level
- Provide filter with matched pump and plumbing to manufacturer's recommendations.
- Supporting soil to be stable natural material with a min safe bearing capacity of 100 kPa.
- Advise Engineer if excavation in fill or ground water is encountered. Provide temporary penetrations to floor slab if ground water level exceeds 500 mm above deep floor level.
- The excavation base is to be provided with an undershell drainage layer as follows:
 - 75 mm blue metal drainage layer, or 50 mm thick layer with plastic over
 - Corrugated iron sheeting & membrane if over rock
 - Plastic layer only if base is entirely in sand
 - Main Drain pit is to be blue metal filled irrespective of drainage layer type
- All reinforcement to be of Australian Manufacture in accordance with S.A.A. Standards:
 - S - Grade 230 structural grade deformed
 - R - Grade 230 plain grade round
 - Y - Grade 410 tempcore grade bars
 - F - Grade 450 hard drawn wire fabric
- Reinforcing bars, unless noted otherwise are to be lapped 40 bar diameters min, fabric to be lapped 400mm min. All laps should preferably be staggered.
- All reinforcing to be securely supported by bar chairs at 1000 max cs.
- Minimum concrete cover to reinforcement from closest concrete surface to be as follows:
 - Water face Salt Chlorination 65mm
 - Water face standard chlorination 50mm
 - Coping/Walkway surface, 30mm
 - Rear face formed 40mm
 - Rough ground 65mm
- Concrete to be pneumatically placed have a min design strength of F_c 25 MPa at 28 days except:
 - Where structure located < 1km from large expanses of water - concrete design strength min F_c 32 MPa at 28 days
 - Where structure is located in tidal or splash zone of salt water - 40 MPa at 28 days
- Upon completion of concreting the hydrostatic valve is to be cleaned & checked to ensure correct operation.

SWIMMING POOL FOR
RON & JENNY HICKEY
23 THYRA ROAD, PALM BEACH

DRAWN BY

DATE

SCALE

DWG NO

JOB NO

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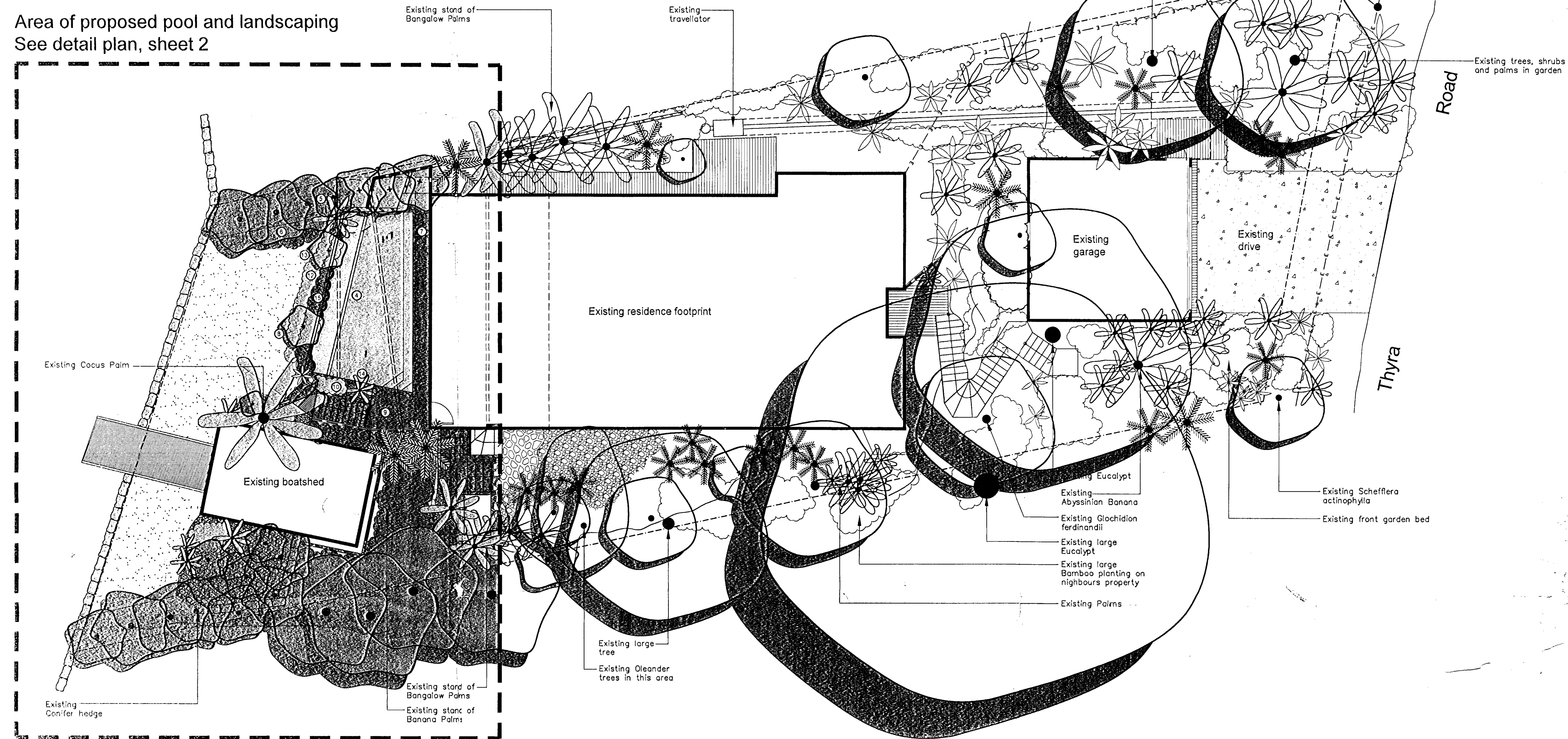
APRIL '08

AS SHOWN

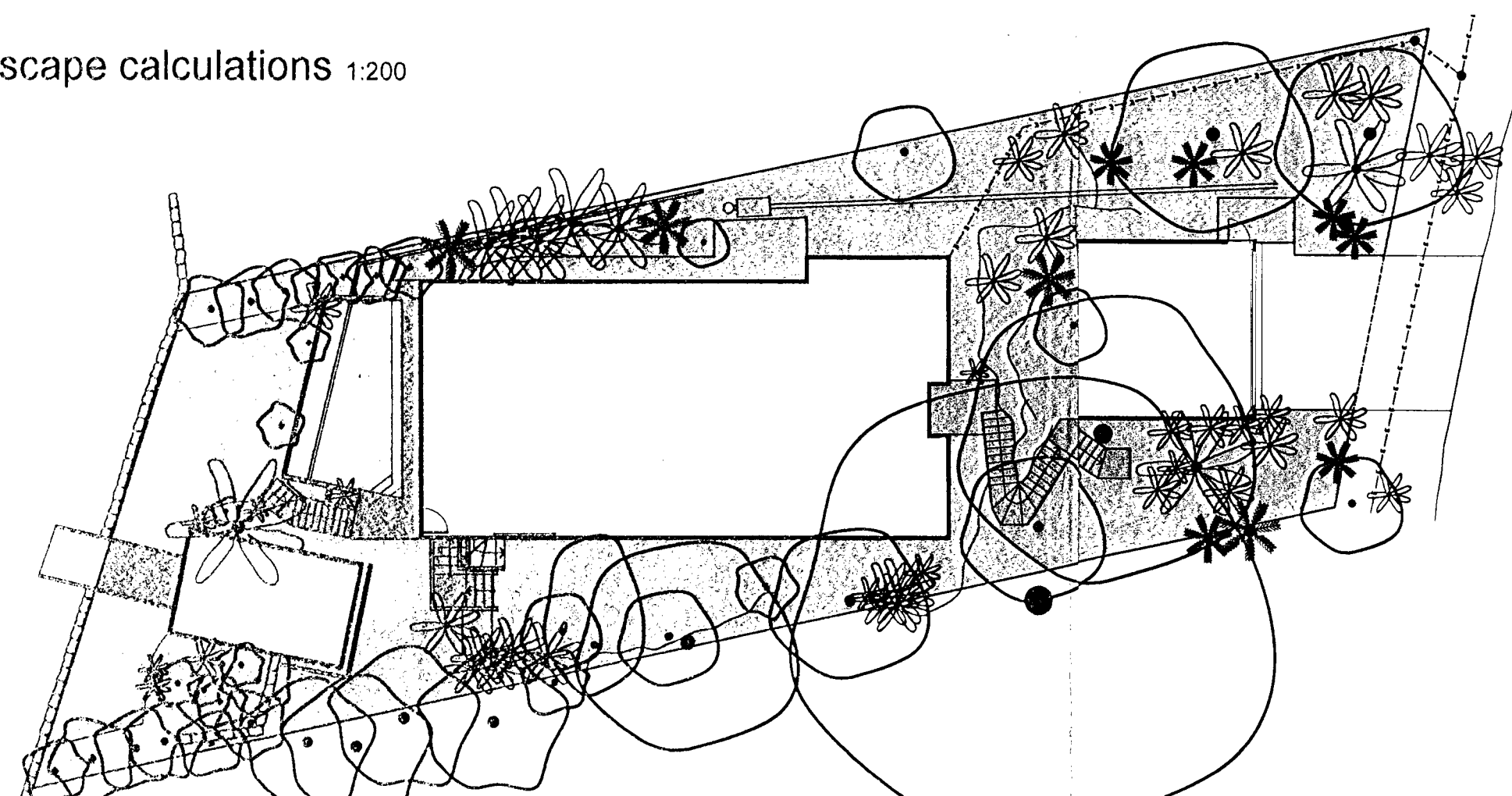
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J0813

Area of proposed pool and landscaping
See detail plan, sheet 2



Landscape calculations 1:200



Legend

370.74m ²	Soft landscaping
20.91m ²	Pool area
49.44m ²	Open timber walkways

Site area calculations

Site area	676.00 m2	100.00%
Soft landscaping	370.74 m2	54.80%
Timber walkways (49.44 m2) (only 6% functional allowance included)	40.56 m2	6.00%
Pool area	20.91 m2	3.09%
Total assessable landscape area	432.21 m2	63.93%
Compliance	Yes	

Notes

- ### **1. Site preparation**
- Any existing trees and vegetation to be retained shall be preserved and protected from damage or destruction during the duration of landscape work. In particular, root systems of trees to be retained shall be carefully exposed if possible. Any nearby site works must be carried carefully using hand tools.
- To ensure the survival and growth of existing trees during landscaping works, protection by fencing and/or arborcopping where necessary. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Removal of trees shall be done by means of mechanical means, disposal of limbs, machinary mastic and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) meters of any existing tree. Portable toilet, mobile office building or other debris located near the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) meters of any tree.
- ### **2. Soil preparation**
- All soil around planting areas to be deep ripped to 200mm and clay soils to be treated with day breaker. Harvested existing top soil from site and store on site. Mix with good quality topsoil and mulch of 75mm depth of material. Apply at least 100mm soil depth to planting area. Additional soil to be 75mm depth of good quality plant mix to be imported and combined with 25mm depth of mulch. Mulch to be compacted and improved ventilation. To be worked in with rotary hoe. Care taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.
- ### **3. New plantings**
- New plantings and large shrubs shall be selected to states with hessian tape to prevent knocking by wind. Planting holes with plant material set in. Mix with good quality topsoil to take root ball with additional space to take back filling of good quality plant mix.
- Mature heights of planting as shown on planting schedule show the greatest height possible in ideal conditions. These heights are subject to particular climatic conditions and may vary. Pruning shall be carried out according to pruning for functional requirements such as available planting space. Intended access under branches and solar access.
- ### **4. Mulching**
- All plants are to be mulched with a minimum 100mm thick coat of leaf litter mulch and then all plant areas to be thorough soaked with water. All mulch shall be free of vegetative reproductive parts of all weed species.
- ### **5. Fertiliser**
- All planting areas to be fertilised with 3 months NPK slow release fertiliser. **Maintained areas:** allow one litre fertiliser to applied per meter 5x2.5m strip. All fertilisers to be applied in accordance with the manufacturer's instructions.
- Turfed areas:** Supply and install Agriform soil release fertilizer or approved equivalent lawn start fertiliser applied after the turf.
- ### **6. Staking**
- To those plants indicated on the planting schedules provide hardwood stakes as nominated and driven down to ground to a depth able to achieve rigid support with a minimum of 800-1000mm above finished level.
- ### **7. Timber edging**
- All planter beds adjacent to lawn areas to have flush timber edging.
- ### **8. Turfing**
- Make good all turfed areas along stone face of site to match existing when all planting and mulching works have been completed.
- ### **9. Structural**
- All structural details whatsoever to Engineer's details.

Drawing schedule

- Sheet 1: Site plan
Sheet 2: Detail pool plan
Sheet 3: Landscape planting plan
Sheet 4: Sediment control plan /
site management plan



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PHONE: 02 9907 8011

PROJECT: LANDSCAPE DEVELOPMENT AT
23 THYRA RD, PALMBEACH

DWG. MASTERPLAN

DATE: 10/08/05.2007

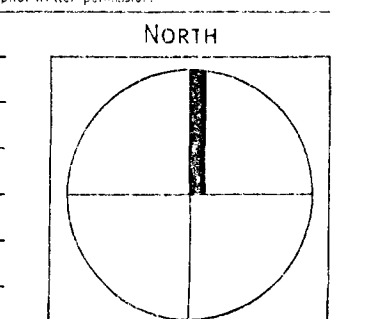
JOE REF: 07/1176/DA

ISSUE: B

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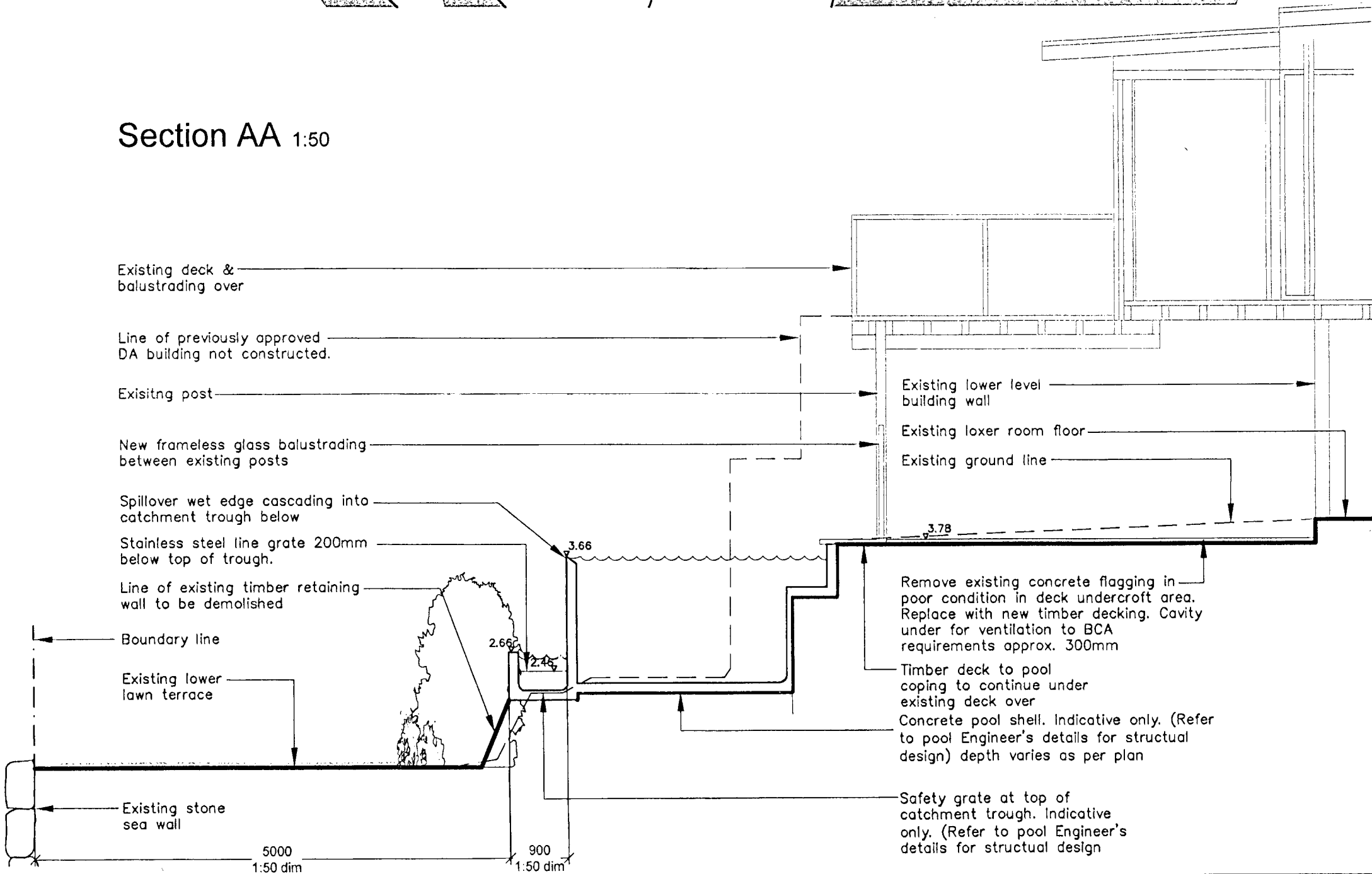
New work shown coloured



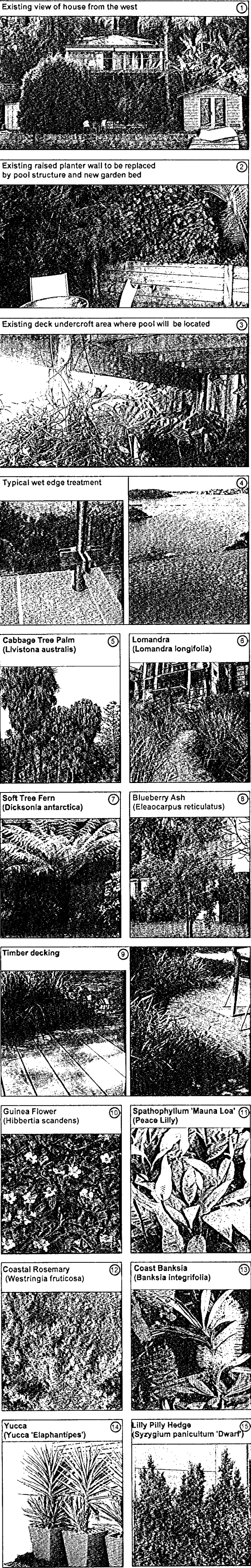
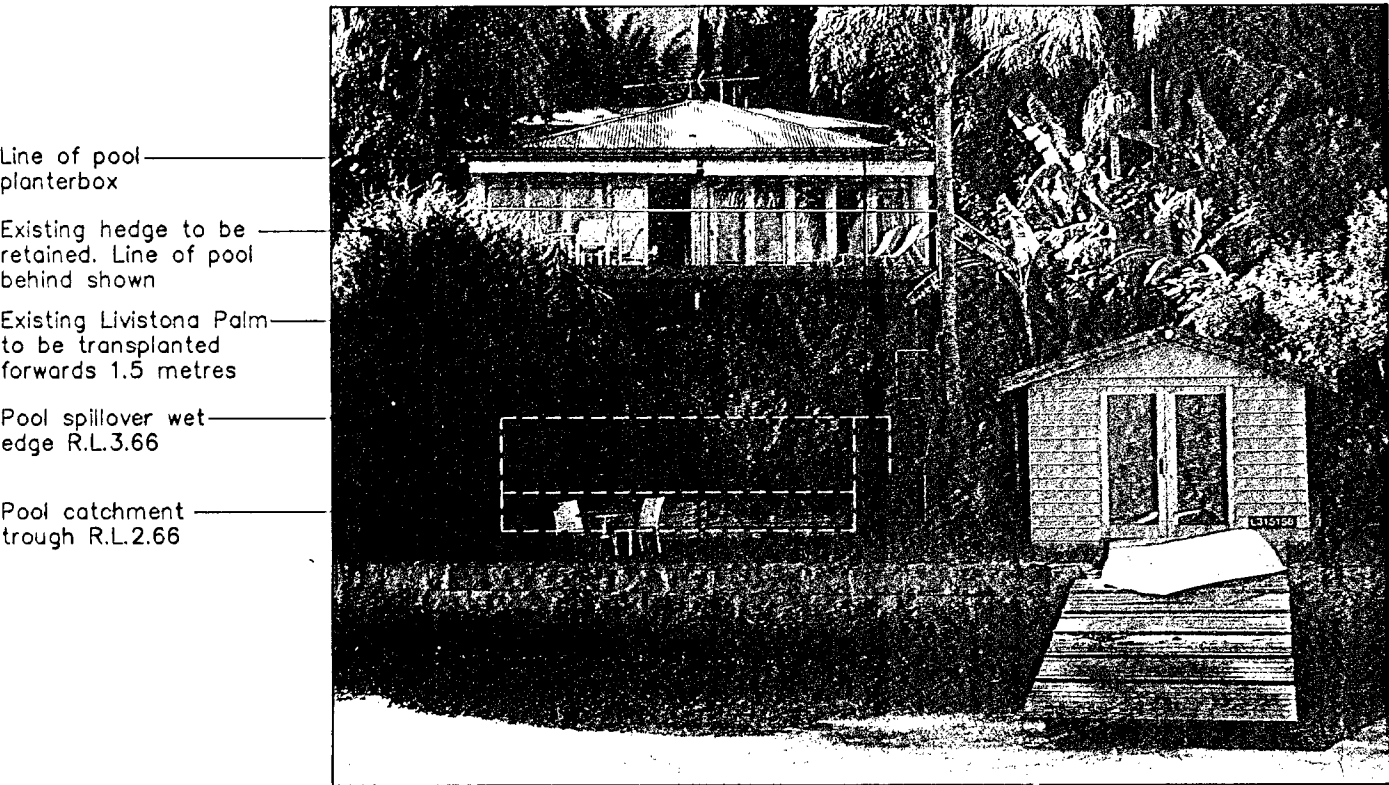
Detail pool plan 1:50



Section AA 1:50



Elevation BB photo montage



Legend

- Existing palms to be transplanted
- Existing trees
- Proposed trees
- Palms
- Tree Ferns
- Shrubs
- Timber steps up
- Groundcovers
- Lawn areas
- Timber decking
- Balustrading/fence
- Water
- Existing stone sea wall
- Retaining walls
- Proposed spot levels
- Photo/ photo indicator

CONSTRUCTION CERTIFICATE
No. 08/11
These plans form part of the above
Construction Certificate as issued by
Greg Hough of
Get Certified Building Services Pty Ltd
Accreditation No: BPD0185



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PROJECT: LANDSCAPE DEVELOPMENT AT
23 THYRA RD, PALMBEACH

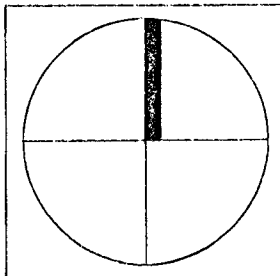
DWG: DETAIL POOL PLAN

DATE: 08.05.07 SCALE: 1:50@A1
JOB REF: 07/1176/DA2 SHEET NO: 2 OF 4
ISSUE: B

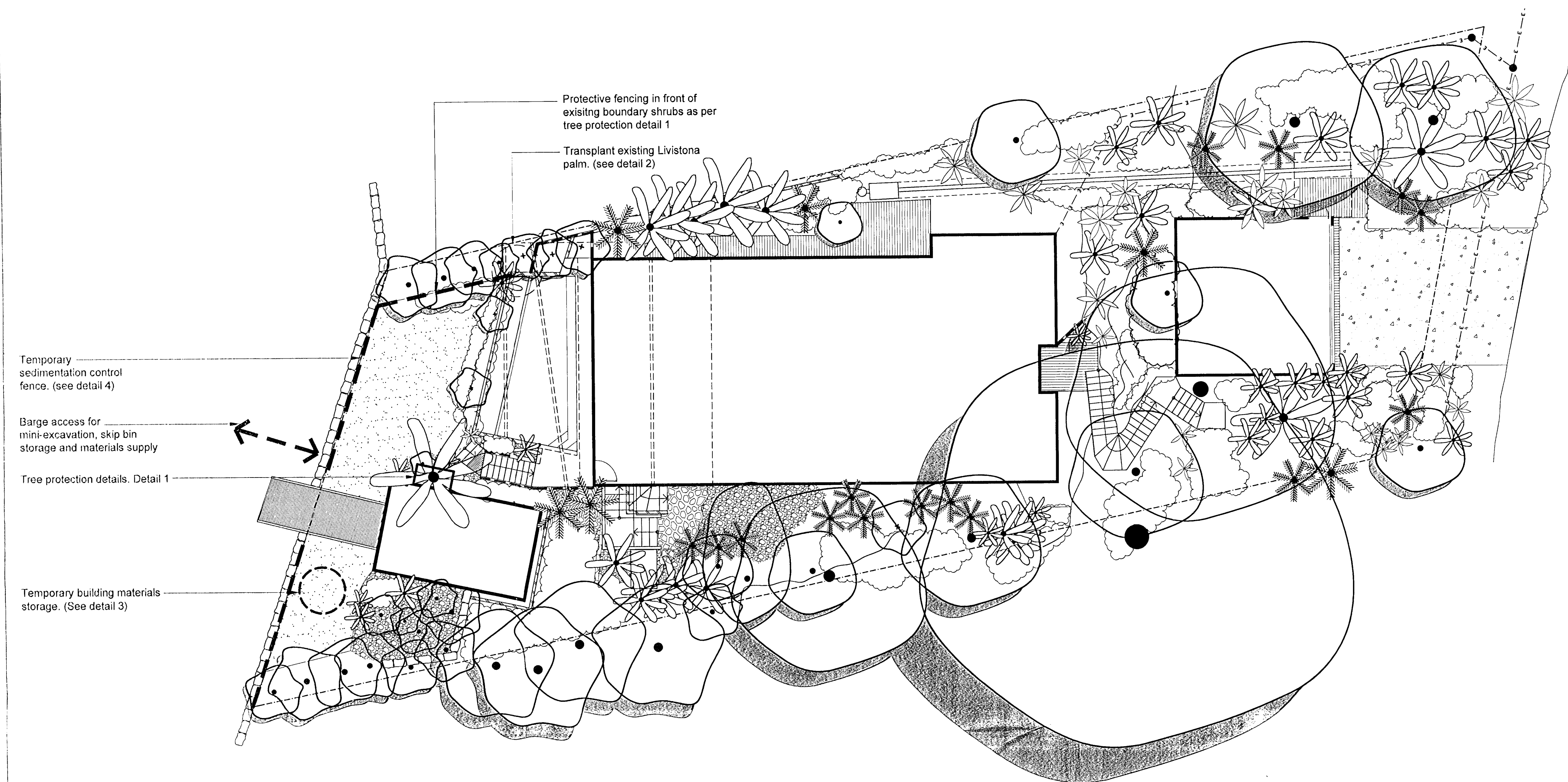
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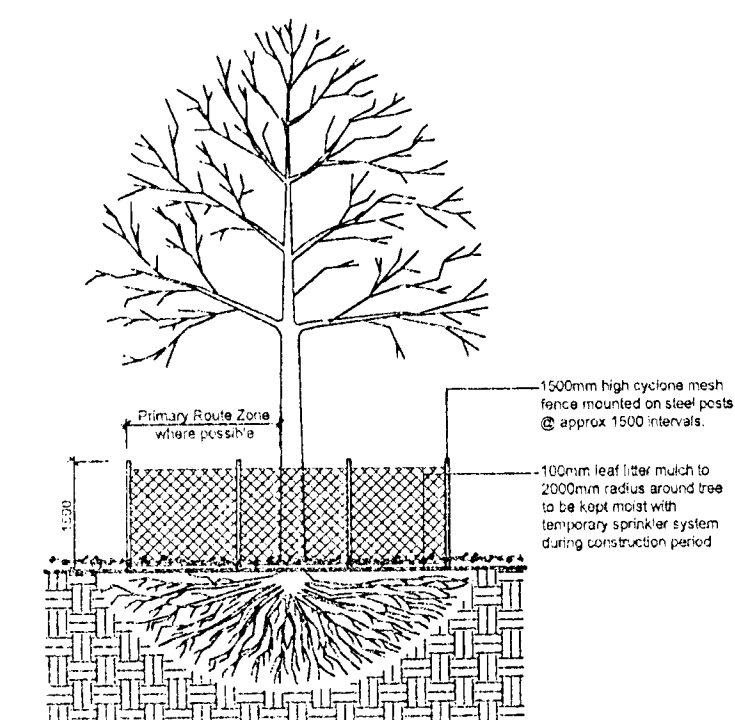
NORTH



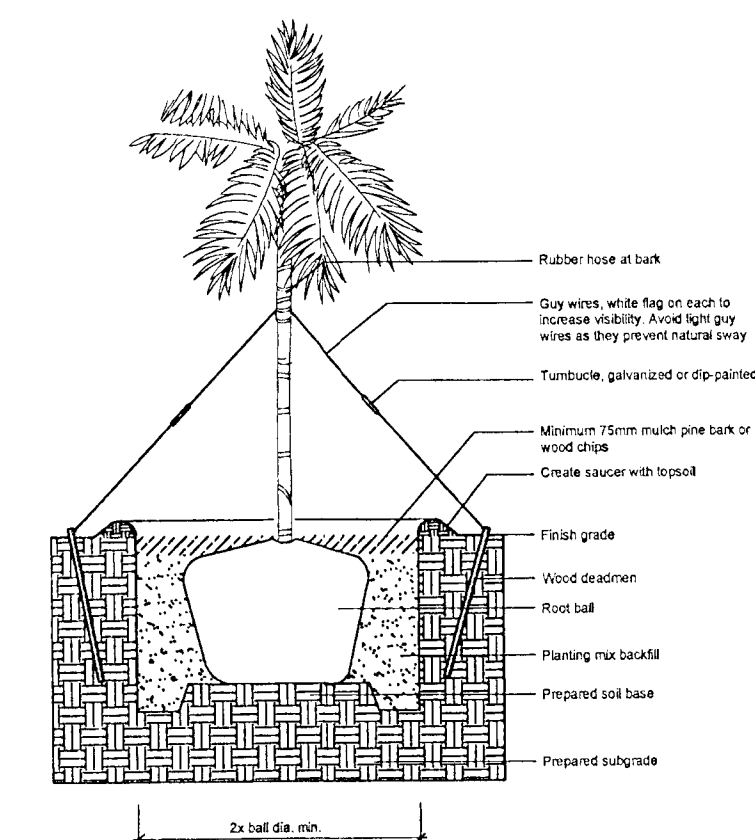
Sedimentation control plan 1:50



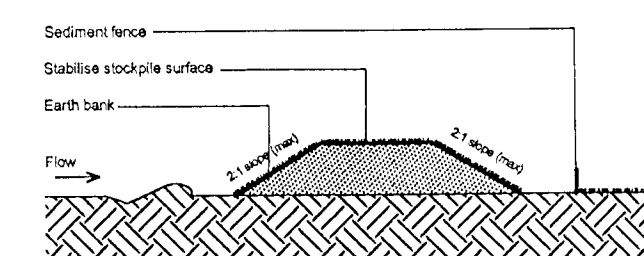
Detail 1
Tree protection measure
Type 2 n.t.s.



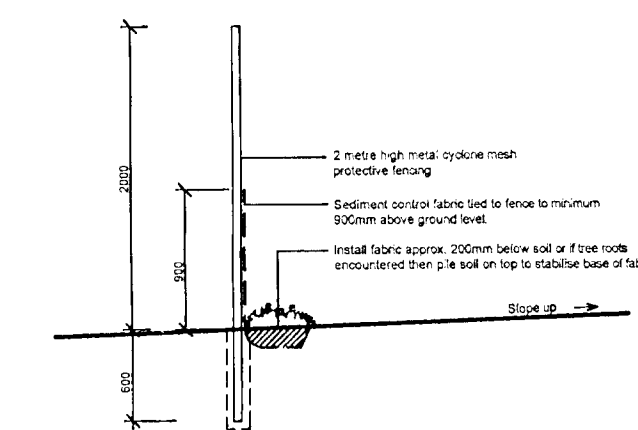
Detail 2
Palm transplanting detail n.t.s



Detail 3
Soil stockpile detail n.t.s.



Detail 4
Temporary sedimentation control fence



Notes

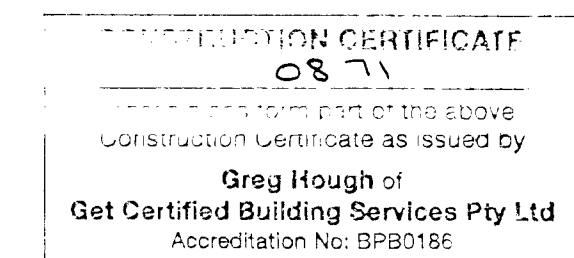
All work to be constructed to the requirements and satisfaction of the local Council

Soil stockpile areas to be installed as per detail

Before carrying out any internal stormwater pipe laying the drainage contractor is to locate all services on the route of the drainage outlet pipe to the kerb eg Gas, Electricity, Telstra, Water, Sewer and notify the engineer of any level conflicts

Silt fence to be constructed as per detail shown Or by using an approved equivalent measure. The silt fence is to be constructed prior to any other construction activities. It is to be kept in good working order at all times.

When approximately 30% full or as directed by Council's representative, the silt fences are to be cleared of silt and or other built up materials.



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PROJECT: LANDSCAPE DEVE

23 THYRA RD, PALMBEACH

DWG: SEDIMENTATION CONTROL /
SITE MANAGEMENT PLAN

DATE: 08.05.07 SCALE: 1:50@A1

JOB REF: 07/1176/DA4 SHEET No: 4 OF 4

ISSUE: B

BUILDER MUST VERIFY ALL DIMENSIONS OF THE SITE BEFORE WORK COMMENCES.

FIGURED DIMENSIONS SHOULD BE USED IN PREFERENCE TO THOSE SCALED OFF.

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