

STATEMENT OF ENVIRONMENTAL EFFECTS AND ADDITIONAL SUPPORTING INFORMATION

DEVELOPMENT APPLICATION

April 14 2023-V02

PROPOSED ALTERATIONS TO FRONT FENCE AND COURTYARD
TO UNIT 2, RECONSTRUCTION OF VERANDAH TO UNIT4 INCLUDING
CONSTRUCTION OF A PERGOLA OVER , ASSOCIATED MINOR WORKS TO
FACILITATE INSTALLATION OF SPRINKLER BOOSTER VALVES.
REPLACEMENT OF TILE ROOF WITH STEEL ROOFING AND REPLACEMENT OF
EASTERN AND WESTERN WINDOWS AND EXTERNAL DOORS AND BALUSTRADES

**At: 8 Ocean Road
MANLY**

SP 14402

FOR: THE OWNERS SP 14402



K u b a n y i a r c h i t e c t s

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EXECUTIVE SUMMARY.

The proposed works seek to improve the appearance of the building and site from the public domain, as well as providing greater amenity for site users and building occupants.

Works required to enable the works to be carried out under Fire Order EPA 202/0053-28/5/2020 are included in this application, including minor amendments to the currently approved works DA 202/0875. However, works required to comply with this order are excluded from this application. This includes but is not limited to alterations to existing windows and external doors on the N and S elevations and within 3 metres of boundaries.

It is demonstrated that the proposed work will not result in adverse impacts on the locality. Street scape and adjoining properties.

1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared in accordance with the requirements of the NSW Environmental Planning and Assessment Act and Regulations to detail the impacts of the proposed works at 8 Ocean Road MANLY.

It is proposed to demolish the existing brick front fence and construct a new front fence including associated alterations to the existing courtyard to unit 2 incorporating the sprinkler booster valves required for the fire upgrade work to be undertaken at the site. (Ref EPA 2020/0053- 28/5/2020).

The existing western balcony to unit 4 which is in poor condition will be replaced and a pergola added over it.

Works required for compliance with the Fire safety Order and further investigation the of condition of existing elements to be retained necessitate making some minor changes to the works currently approved in DA 2020/0875 (October 16 2020) . These changes are:

- Reconstruction of front entry path on new retaining walls. (Currently approved as “refurbish existing path”).
- The extent of the GRP mesh landing currently approved has been increased to the West to facilitate installation of a water tank required for the sprinkler installation required to comply with the Fire Order.
- Replacement of the existing Eastern concrete steps currently approved to be refurbished with new concrete steps as the existing steps were found to have varying riser heights and tread width in contravention of NCC BCA requirements.

It is also proposed to replace existing eastern balcony balustrades on first, second and third floor with a new balustrading system to comply with the requirements of the NCC BCA. At the same time the existing balconies will be repaired, re-waterproofed and tiled with a concrete hob being provided to take the new railing installation. The existing solid balustrade at ground floor level will be replaced with a new solid balustrade.

The existing tiled roof has been found to be in unserviceable condition requiring replacement. It will be replaced with a new corrugated colorbond roof with the work including replacement of gutters, downpipes, fascias and soffit linings that are in poor repair.

Timber framed windows and doors located on the W and E facades will be replaced with new aluminium framed units.

This application retains the building as a class 2 residential flat building containing 6 sole occupancy units.

The proposed work will improve the appearance of the building from Ocean Road, assist in facilitating the fire upgrade works . provide greater amenity for building occupants including the occupiers of units 2 and 4 and address BCA non compliances with respect to balcony balustrades and maintenance issues.

WORKS TO BE CARRIED OUT UNDER FIRE ORDER EPA 2020/0053- 28/5/2020.

Development consent is not required for these works, however where they impact on the works that are the subject of this application we have referenced them on our documents.

CURRENTLY APPROVED WORKS DA 2020/0875

We have referenced on our drawings works that are approved by this current DA and for which a construction certificate has not been obtained to date.

The works that are the subject of this application include some modifications to the currently approved works. These are:

- Western concrete path at entry from Ocean Road. Currently approved to “be refurbished”. This application: To be reconstructed to accommodate altered front fence. (Extent reduced Extent of GRP mesh landing increased to accommodate water tank required for Fire Safety upgrade works.)
- Eastern concrete steps. Currently approved to “be refurbished”. To be reconstructed as the existing steps do not comply with BCA requirements with respect to consistency of tread widths and riser heights.
- Excavation and construction of concrete slab for storage area under eastern stair flight and landing , and associated retaining walls deleted due to requirements to excavate in rock.
- Screening along south boundary required by DA consent condition 5

5. **Amendments to the approved plans**

The following amendments are to be made to the approved plans:

- A non-transparent screen at a height of 1.65 metres above the finished floor level is to be affixed to the southernmost elevation of the approved staircase and lower landing at RL27.63. The screen is to be a fixed panel or vertical louver style construction with a maximum spacing of 40 millimetres.

Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

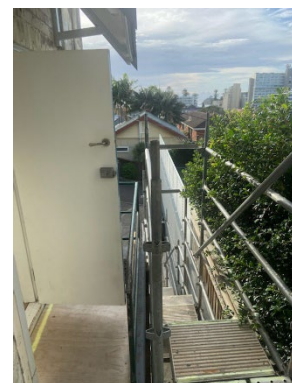
Reason: To ensure development minimises unreasonable impacts upon surrounding land.

It is requested that this condition be altered to remove the requirement to fix screening to the lower level landing at RL27.63 for the following reasons.

- The landing is narrow (<900 mm in width) and as a consequence is only used to provide access to the southern door to unit 1. It is not used for recreational purposes or for uses such as a drying area.
- Installing a 1.65 high screen at the southern end of this landing would make this landing feel extremely boxed in.
- Private open space on no 6 is screened from overlooking from the landing at RL 27.63 by existing vegetation on no 6. Refer to images below showing outlook from the subject landing towards no 6.



Looking South from landing outside South door to unit 2. Privacy for no 6 is maintained by planting



Looking towards SE from landing outside S door to unit 2 showing privacy provided on no 6 by planting.

BASIX DEVELOPMENT.

The proposed works do not require a Basix Certificate in accordance with the requirements of The Environmental Planning and Assessment Regulation 2021 for the following reasons.

ROOF REPLACEMENT. (Common property)

No new ceilings are proposed. There are no Basix Commitments applicable in this case.

Notwithstanding this, roof and ceiling insulation will be upgraded when the re-roofing is carried out.

WINDOW AND EXTERNAL DOOR REPLACEMENTS to the following units.

Unit 1, Unit2, Unit3, Unit4, Unit 5, Unit 6.

East and West Elevations excluding works required for fire safety upgrades.

Separate Basix Certificates would be required for each unit.

The cost of the work to each of these units is less than \$50,000.

Notwithstanding this, the new windows and external doors will be aluminium framed with energy efficient double glazing.

2.0 LOCATION

No 8 is located on the south-eastern side of Ocean Road less than 0.5 km from Steyne Beach and the Manly Town Centre.

Buildings located on Ocean Road exhibit considerable diversity of style and type ranging from single storey brick and weatherboard dwellings to 2 storey face brick and rendered and painted low rise inter war blocks of flats (such as no 8)

Fencing is similarly varied in terms of height, style and materials whilst building setbacks also display considerable variation.

No 10 located to the North of the site contains a 2 to 4 storey rendered brick residential flat building, whilst to the South is located a single storey cottage sited close to the western boundary with a garage fronting Augusta Lane and garden and pool deck over.

Ocean Road and Augusta Lane carry little through traffic with on street parking on Ocean Road subject to restrictions for non-residents due to the proximity of the site to the beach and the Manly town Centre.

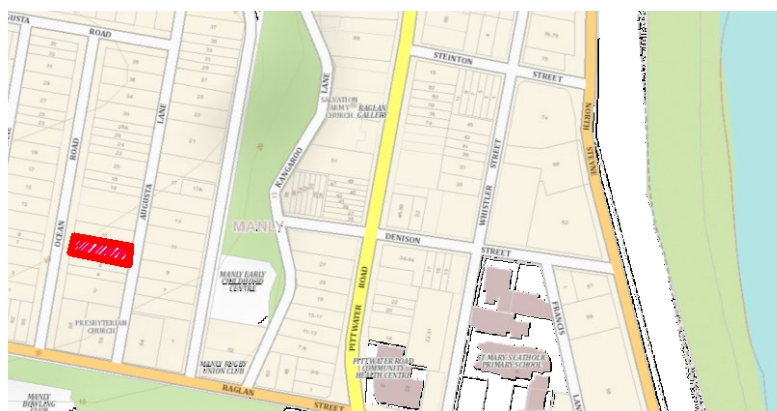


Fig 1 *LOCATION (six Maps)*

3.0 THE SITE – SP 14402

SITE AREA is 519.5 m sq - refer to Survey Plan 17046A detail issue 3 CMS Surveyors Pty Ltd.

ZONING under the Manly LEP 2013 (Northern Beaches Council)) is R1 General Residential.

The site falls steeply to the East (16-21%) with a slightly more gentle fall to the South (6% to -21%)

Due to the steep slope of the site the building is two stories in height on Ocean Road, increasing to 4 at the rear facing Augusta Lane.

Vehicle access to the site is provided via Augusta Lane with hardstand parking and some landscaping located on the Eastern side of the building.

4.0 THE EXISTING BUILDING.

No 8 Ocean Road contains a total of 6 residential units with 2 units on the western side of the building and 4 on the eastern side.

Unit 2 located at street level on the West side of the building has access to a courtyard located within the front setback that is currently accessed only from within the unit.

Unit 4 located on the top floor of the western side of the building has a small, uncovered balcony. This timber frame balcony is in poor conditions and requires reconstruction.

The 4 East facing units have large full width balconies opening off living, dining and kitchen areas providing panoramic district and water views. The balustrades to the three upper level balconies do not comply with the requirements of the NCC BCA with respect to climbability and are to be replaced.

These concrete balconies have been affected by water penetration and the proposed work includes new waterproofing and tiling.

The solid balustrading to the Ground floor balcony is in poor condition and will be replaced with new solid balustrading.

All units except unit 6 are accessed via the internal lobby and stairs on the south side of the building. Unit 6 is accessed from Ocean Road via the walkway on the southern side of the building leading to narrow stairs and landings that provide access to the parking area at the rear of the building. It is also directly accessed from Augusta Lane via a small flight of concrete stairs that are to be reconstructed.

A high rendered and painted brick front fence is located on Ocean Road with a return to the SW corner of the building enclosing the courtyard to unit 2. This contains 2 small decorative grille inserts and small planter boxes in which are located the gas regulator, water meter and letterboxes. Condition of this fence is poor and significantly detracts from the appearance of the building from the public domain.

Development consent has been obtained to replace and upgrade the southern walkway, landing and stairs.



Fig 2 *FRONT FENCE. Viewed from Ocean Road*

5.0 PROPOSED WORKS.

The proposed works comprise.

- Demolition of the existing dilapidated and unsightly brick front fence and planters and southern return.
- Construction of a new front fence and return providing screened recesses to accommodate the sprinkler booster valves required for the fire safety upgrade works, gas regulator and water meter and new letterboxes . The new front fence will predominantly consist of timber appearance aluminium slats on a low brick retaining wall and will incorporate a gate providing direct access from the street to the courtyard of unit 2 and access gates for fire brigade use to the sprinkler booster valves.
- The new fence height will not exceed the maximum height of the existing fence that is to be demolished.
- The work to the front fence as well as to accommodate infrastructure required for the installation of sprinklers (fire safety upgrade work) will require alteration to the existing front path (shown on the currently approved DA to be retained and upgraded.) and the

removal of some small trees that are in poor condition. (Blueberry Ash, and a small immature fig that was originally a pot plant).

- Planters will be provided along the entry walkway to compensate visually for the loss of the two trees that are required to be removed for construction of the new fence and to accommodate the water tank required for the sprinkler booster assembly. (Fire order upgrade work.) A new tree will be planted in the courtyard to unit 2.
- Demolition of the existing Unit 4 western balcony and construction of a replacement non-combustible balcony with a pergola over. There will be no change to the size of the existing balcony.
- Replacement of deteriorated timber framed windows and external doors on the W and East facades. (Excludes windows required to be replaced to comply with Fire Safety Upgrade Order.)
- On the third floor on the Eastern elevation the existing door opening to the balcony is to be enlarged by, and a new sliding door installed.
- Replacement of existing non-compliant upper level eastern balcony balustrades with compliant powdercoat aluminium ones and associated repair waterproofing and retiling works to these balconies.
- Replacement of deteriorated solid timber balustrade to Ground floor unit 6
- Replacement of the existing unserviceable tiled roof with a colorbond roof, including replacement of gutters downpipes and deteriorated fascias and eaves.

The work will achieve the following outcomes:

- Appearance of the building and fencing from Ocean Road will be considerably improved.
- Amenity and safety for building users will be enhanced.
- The occupants of unit 2 will be provided with an additional entry point from the street and an upgraded courtyard.
- The occupants of unit 4 will have a safe and functional balcony with improved solar control.
- The occupants of unit 5 will have improved access to their balcony and views.
- Infrastructure required for the Fire safety upgrade works will be incorporated in the project.
- Maintenance issues will be addressed.

No changes are proposed to the building footprint, floor area, envelope, height, bulk and scale. The only alteration to existing external openings will be the work to be done to widen the door from Unit 5 to the eastern balcony.

It is demonstrated that these improvements will be achieved with negligible impacts on the amenity of adjoining dwellings, the streetscape and the locality.

6.0 COMPLIANCE OF THE PROPOSED DEVELOPMENT WITH PLANNING CONTROLS

6.1 COMPLIANCE WITH MANLY LEP 2013

ITEM		COMPLIANCE
PART 2		
Zoning	R1 General Residential	COMPLIES Residential flat buildings are permissible within the zoning. No change proposed.
PART 4 PRINCIPAL APPLICABLE DEVELOPMENT STANDARDS		
4.1 Minimum subdivision Lot Size	LSZ map area C 250m sq	COMPLIES. Lot size is 519.5 m sq. No change is proposed
4.3 Height of Building	HOB Map area I 8.5 M	The existing building height exceeds 8.5 metres due to the site topography. No change is proposed to existing height.
4.4 Floor space ratio	FSR Map area F 0.6:1	The existing building FSR exceeds 0.6:1. No change to existing FSR is proposed.
PART 5 MISCELLANEOUS PROVISIONS.		
5.10 Heritage Conservation	The site and building are not heritage items. The site is not located within a Heritage Conservation Area	NA
PART 6 ADDITIONAL LOCAL PROVISIONS		
6.1 Acid Sulfate soils	ASS Map class 5 Located within 121 metres approx. of class 4 Acid sulfate soils.	The work involves minimal excavation and will not impact on class 1-4 land that is below AHD 5, nor will it result in any lowering of the water table. This application reduces the extent of excavation currently approved.
6.2 Earthworks	Matters to be considered by the consent authority:	Earthworks comprise excavation for new footings and to accommodate service relocation and the water tank required for the sprinkler system to be installed in response to the fire Safety upgrade order. Currently approved excavation at the eastern end of the new stairs has been deleted.

ITEM		COMPLIANCE
		An updated Geotechnical Statement is attached to this application.
6.4 stormwater management	Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development— is designed to maximise the use of water permeable surfaces on the land having regard to the soil characteristics affecting on-site infiltration of water, and includes, if practicable, on-site stormwater retention for use as an alternative supply to mains water, groundwater or river water, and avoids any significant adverse impacts of stormwater runoff on adjoining properties, native bushland and receiving waters, or if that impact cannot be reasonably avoided, minimises and mitigates the impact.	Based on the currently approved plans existing planted and permeable area. (Supporting some landscaping under) is 61.4 m sq. The proposed work will result in a slight reduction of planted area and an increase in permeable area (supporting some planting under) resulting in total permeable area of 65.7 m sq.
6.8 Landslide risk	The site is not mapped as “landslide risk” On the Manly LEP Map . It is however mapped as landslip risk class “G2” on Manly DCP 2013 Map C “potential geotechnical landslip hazard areas “	A geotechnical report accompanies this Development Application.
6.9 Foreshore Scenic Protection Area.	The site is not located within a Foreshore Scenic Protection Area	NA

6.2 COMPLIANCE WITH APPLICABLE SECTIONS OF THE MANLY DEVELOPMENT CONTROL PLAN

ITEM	REQUIREMENT	COMPLIANCE
3.1.1 STREETSCAPE RESIDENTIAL AREAS	Development should recognise predominant streetscape qualities, such as building form, scale, patterns, materials and colours and vegetation which contributes to the character of the local area.	The existing streetscape is very varied in terms of building form, scale, patterns, materials and colours and vegetation. The proposed work is in keeping with this. REFER TO APPENDIX 1 FOR STREETSCAPE AND FENCE IMAGES
3.1.1.2 FRONT FENCES AND GATES	(a) The siting, height and form of boundary fences and walls should reflect the fencing characteristic of the locality, particularly those of adjacent properties. All fencing and wall materials must be compatible with the overall landscape character and the general appearance of the building and the streetscape. b) boundary fences or walls must not be erected where they would conflict with the local character, c) Front fences and gates must be constructed in materials that complement the architectural style and period of the dwelling and improve the street scape, of the dwelling. d) gates must not encroach on public land when opening or closing.	Existing fences vary considerably in terms of height and design. The proposed new fence will not exceed height of the existing fence that is to be demolished. The proposed fence is compatible with the local character. REFER TO APPENDIX 1 FOR STREETSCAPE AND FENCE IMAGES The proposed front fence is compatible with the existing building and will considerably improve the contribution of the site to the streetscape. The gate to the proposed entry to the courtyard of unit 2 opens into the courtyard and will not encroach on public land. The gates to the sprinkler valves are required to open outwards for fire brigade access. They will be installed with hold open hinges and will only

ITEM	REQUIREMENT	COMPLIANCE
		be deployed when required by the brigade or for maintenance purposes.
3.3 LANDSCAPING' The site currently contains limited landscaped areas, with the existing building, paved areas and external circulation areas occupying a significant proportion of the site. The currently approved works. (Ref DA did not seek to alter this other than the proposal to include some planting under part of the replacement walkway and steps on the south side of the building. The works that are the subject of this DA will result in a slight decrease in landscaped area and a small increase in permeable walkway and stairs with opportunities for low scale planting under. This is mainly due to the need to accommodate work required for compliance with the Fire safety upgrade Order. The proposed reconstructed deck to unit 4 does not involve the loss of any soft landscaping.		
3.3.2 Preservation of trees	The work requires the removal of 2 trees that are greater than 5 metres in height. These are blueberry ashes, (not exempt species.) They are shown on the survey to have a height of 6 and 7 metres. One tree must be removed to facilitate the installation of a water tank to service the sprinkler system required for compliance with the fire safety order. The other is to be removed to widen the entry path to the building. Neither tree is in good condition, both being located in considerably undersized planting cutouts in the existing path that is to be replaced. The condition of these trees mean that they make little contribution to the streetscape. It is proposed to install large planters that are capable of supporting large shrubs as a compensatory measure.	
3.4 GENERAL AMENITY ISSUES.	There are no impacts with respect to; • Solar access for adjoining properties. ○ The proposed new fence is located away from the Southern boundary and the height does not exceed that of the existing fence. • Privacy and security. ○ Security for the occupants of unit 2 is virtually unchanged despite the introduction of a gate providing direct access to Ocean Road. ○ The existing dilapidated balcony to unit 4 located above the courtyard of unit 2 does not currently incorporate any screening devices and this has been considered acceptable by the occupants of unit 2 below. It is therefore not proposed to incorporate any additional screening devices on the rebuilt verandah, particularly given its modest size,	
3.5 SUSTAINABILITY.	Windows and external doors that are to be replaced will be replaced with double glazed units, increasing energy efficiency of the building and user comfort.	

ITEM	REQUIREMENT	COMPLIANCE
Part 4 development controls and development types		
The proposed work does not involve any change to: • Residential density and dwelling size. • Lot size • Height of building • Floor area and floor space ratio. • Setbacks- front, side and rear		
4.1.5 Open space and landscaping	Area OS3 55% of site to be open space. 35% of open space to be landscaped area. Max 40% of total open space to be above ground.	The existing site does not comply with these requirements. Total open space based on currently approved works 94.6 m sq: 18.2% Landscaped area Based on currently approved works 8.317 m sq 8.79% of total open space Total open space proposed 94.2 m sq 18.1% Landscaped area proposed 8.82 m sq. 9.36% of total open space. The reduction in total open space is minimal (0.1%), whilst the proportion of open space is increased. REFER TO APPENDIX 3 for calculation of open space and landscaped area.
	- Minimum tree plantings. BASED ON LEP LOT SIZE MAP AREA C 250 M SQ	Min requirement 1 tree. 2 non-exempt trees in poor condition are to be removed for the works.

ITEM	REQUIREMENT	COMPLIANCE
		1 replacement tree will be planted in the courtyard of unit 2 replacing a multi stemmed small fig that is also to be removed.
4.1.5.3 Private open space	- Minimum requirement 12 m sq per dwelling	All dwellings other than unit 4 have in excess of 12 m sq private open space. Unit 4 currently has a balcony providing 2.5 m sq private open space. No change to this is proposed.
4.1.10 Fencing	- Freestanding walls and fences between the front street boundary and the building are to be no more than 1 metre in height at any Point.	The proposed new front fence will exceed this height. It replaces the existing dilapidated and unsightly front fence. The new fence will be generally slightly lower than the existing fence and will consist of vertical slats providing a minimal degree of transparency whilst retaining privacy for the private open space to unit 2 located behind it. Fence styles and heights on Ocean Road vary considerably and the proposed fence will not be out of character with these.

7.0 DCP NON COMPLIANCES- JUSTIFICATION AND ADDITIONAL INFORMATION.

Due to the existing site constraints and building footprint, the proposed works do not comply with the following DCP requirements.

1. TOTAL OPEN SPACE AND LANDSCAPED AREA.

Refer to APPENDIX 3 for calculation method.

The existing building footprint, setbacks and vehicle access provisions impose considerable limitations on the area available for open space and landscaped area. The existing building was constructed during the first half of the 20th century, well before implementation of the Manly DCP 2013.

The proposed work will result in a minimal loss of open space and a minor increase in landscaped area when calculated in accordance with the DCP and will considerably improve amenity for users of the site and the contribution of the building and site to streetscape.

Loss of open space is 0.4 m sq.

Increase in landscaped area is 0.5 m sq.

2. PRIVATE OPEN SPACE.

With the exception of unit 4, all dwellings within the building have private open space in excess of the minimum requirement of the DCP.

Unit 4 has only 2.5 m sq provided by a small existing balcony.

The existing balcony is to be reconstructed but not increased in size in order to retain amenity for the courtyard to unit 2 below.

The status quo will be retained including the absence of screening from the unit 4 balcony which is acceptable to the owner and occupants of unit 2 below.

3. FENCING.

The existing fence that is to be replaced exceeds the height limits set out in the DCP.

It is likely to have been constructed late 1970s and is shown on Strata Plan 14402 dated 1979 which shows it bounding the courtyard to unit 2.

The proposed new fence seeks to replace this fence with a new one, continuing to define the courtyard to unit 2 (which provides its private open space) as well as housing sprinkler valves required for compliance with the fire safety upgrade order.

The new fence will generally be slightly lower than the existing and will replace solid brick with vertical slats enhancing appearance from the public domain whilst preserving privacy for unit 2.

It is submitted that based on the above, these non-compliances are acceptable and satisfy the relevant objectives of the DCP as detailed below taking into consideration the existing constraints of the site.

OPEN SPACE AND LANDSCAPING.

Objective 1) To retain and augment important landscape features and vegetation including remnant populations of native flora and fauna.

The site does not contain important landscape features and vegetation. Nor does it contain remnant populations on native flora and fauna.

The two small trees that are to be removed for the works are in poor condition due to their location and lack of access to suitable soil condition.

The multi stemmed fig that is to be removed was originally a pot plant planted in the garden and is totally unsuitable for its location.

- Objective 2) To maximise soft landscaped areas and open space at ground level, encourage appropriate tree planting and the maintenance of existing vegetation and bushland.*

Landscaped areas and open space at ground level are maximised within the considerable constraints of the existing site and building footprint. Tree planting will be provided in accordance with the DCP based on the LEP site area map, and existing vegetation retained where possible. There is no bushland on or adjacent to the site.

- Objective 3) To retain and enhance the amenity (including sunlight, privacy and views) of the site, the streetscape and the surrounding area.)*

The proposed work retains and enhances the amenity of the site, the streetscape and the surrounding area by replacing a dilapidated and unsightly fence. It has no impact on sunlight, privacy and views.

- Objective 4) To maximise water infiltration on-site with porous landscaped areas and surfaces and minimise stormwater runoff.*

Water infiltration is maximised within the constraints of the existing building footprint and site.

In addition to landscaped areas calculated in accordance with the DCP, the currently approved works and the changes to be made to these increases permeable surfaces by replacing the concrete landing and stairs located on the south side of the site with GRPMesh landings and treads. (Refer to diagram APPENDIX 2)

- Objective 5) To minimise the spread of weeds and the degradation of private and public open space.*

No spread of weeds and degradation of private and public open space will be facilitated by the works.

- Objective 6) To maximise wildlife habitat and the potential for wildlife corridors.*

The limited planted areas existing on the site that are due to existing site and building constraints do not contain wildlife habitat or impact on wildlife corridors,

FENCING

Relevant Objectives set out in DCP clause 3.1.1.2 Front Fences and Gates

- a) Notwithstanding maximum height provisions for fencing at paragraph 4.1.10, height and form of boundary fences and walls should reflect the fencing characteristic of the locality, particularly those of adjacent properties. All fencing and materials must be compatible with the overall landscape character and the general appearance of the building and streetscape.*

Fencing in the vicinity of the site displays considerable variety in form, height, style and materials. The proposed new fence is compatible with this.

- b) Boundary fences or walls must not be erected where they would conflict with the local character.*

The proposed boundary fence is in keeping with the local character.

- c) Front fences and gates must be constructed in materials that complement the architectural style and period of the dwelling and improve the streetscape. In particular, fencing adjacent*

to a public road or place must not be constructed in metal cladding, powder coated or otherwise.

The proposed fencing style is compatible with the style and period of the dwelling. Metal cladding is not used.

d) Gates must not encroach on public land when opening or closing.

The only gate encroaching on public land is the gate providing fire brigade access to the sprinkler valves located within the front fence (required for compliance with Fire Safety Upgrade order.) These will be installed on hold open hinges and will only be accessed during an emergency by the fire brigade or for maintenance purposes. They will not obstruct use of the footpath at any time.

8.0 IMPACTS OF THE PROPOSED DEVELOPMENT

The proposed development, will have no adverse impacts on:

- The Locality
Existing use of the site for sole occupancy units is maintained.
- The streetscape.
The street scape will be improved by replacement of a dilapidated unsightly fence.
- The amenity of adjoining properties.
 - Overshadowing- There are no impacts on solar access to adjoining properties.
 - Privacy. There are no new openings overlooking windows on adjoining sites or private open space on adjoining sites.
Deletion of the 1.65 metre high privacy screen at the southern edge of the landing outside the side door to unit 1 will not adversely impact on privacy for private open space or windows to the dwelling located on no 6 Ocean Road.
 - Noise. The proposed work will not result in additional noise impacting on adjoining areas.
 - Loss of views. The proposed work will not impact on views.
 - Loss of outlook. There are no adverse impacts on outlook from adjoining properties.

9.0 CONCLUSION

Taking into consideration the significant constraints imposed by the location of the existing building and external circulation spaces on the site , coupled with the poor condition of the fence that is to be replaced, the need to accommodate within the front fence and south boundary setback infrastructure required to comply with the requirements of the fire Safety upgrade Order and the limitations of existing planted areas , coupled with the fact that it does not give rise to adverse impacts on the locality, the streetscape and adjoining properties.it is considered that the proposed work merits approval and is in the public interest.

Judith Kubanyi
KUBANYI ARCHITECTS.

APPENDIX 1

EXISTING STREETScape AND FENCING VIEWS.

EAST SIDE OF OCEAN ROAD



NO 24 AND 22 OCEAN ROAD



NO 24, 22 AND 20 OCEAN ROAD.



NO 20, 18 AND 16 OCEAN ROAD



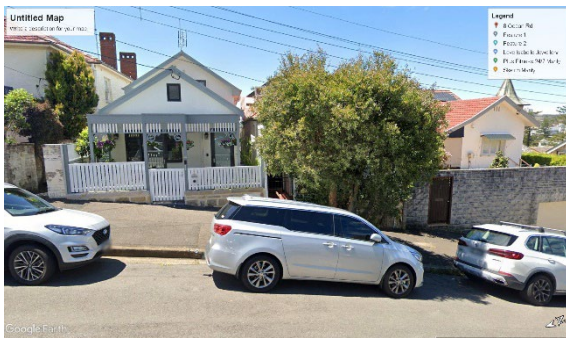
NO 14 AND 12 OCEAN ROAD



NO 10 AND NO 8 OCEAN ROAD



NO 8 OCEAN ROAD



NO 6 AND 4 OCEAN ROAD

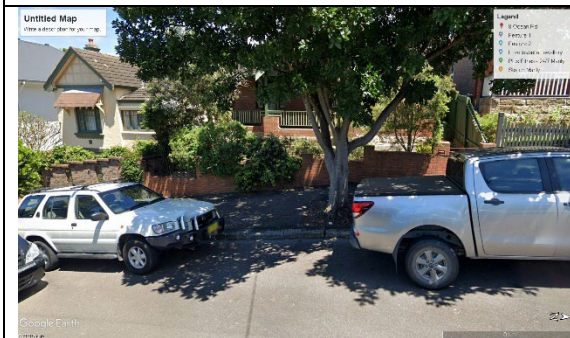
WEST SIDE OF OCEAN ROAD



NO 5,7 AND 9 OCEAN ROAD



NO 11 AND 13 OCEAN ROAD



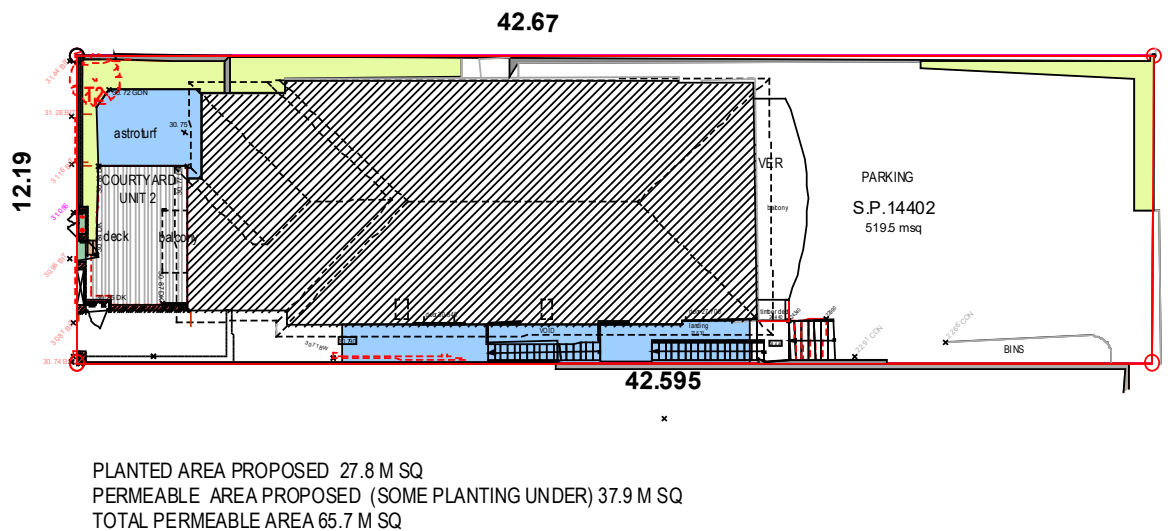
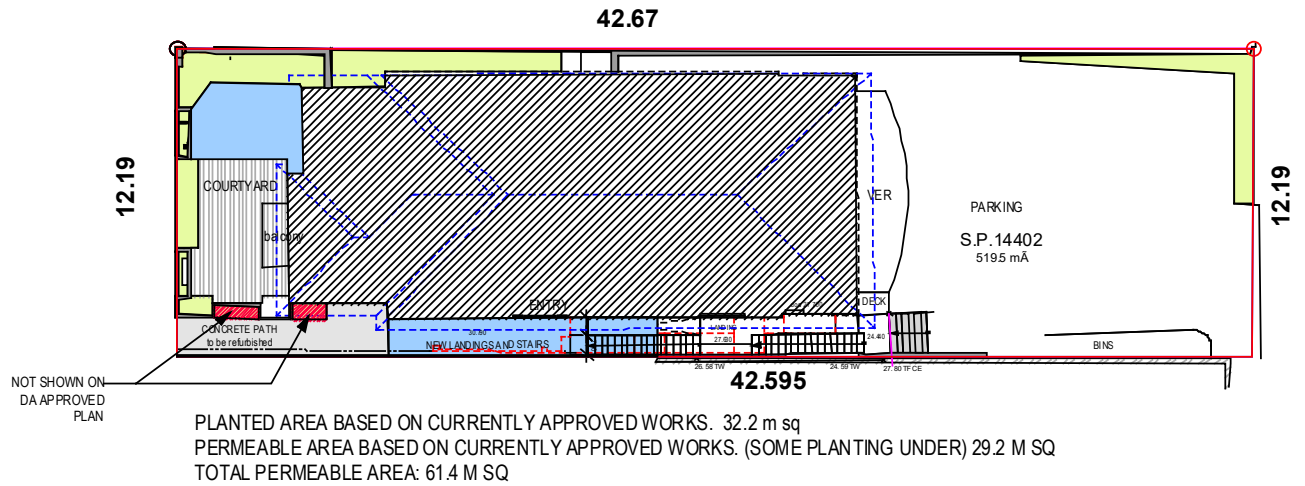
NO 13,15 AND 17 OCEAN ROAD



NO 25,27, AND 29 OCEAN ROAD.

APPENDIX 2

PERMEABLE AREA CALCULATIONS



APPENDIX 3

TOTAL OPEN SPACE AND LANDSCAPING CALCULATIONS.

