

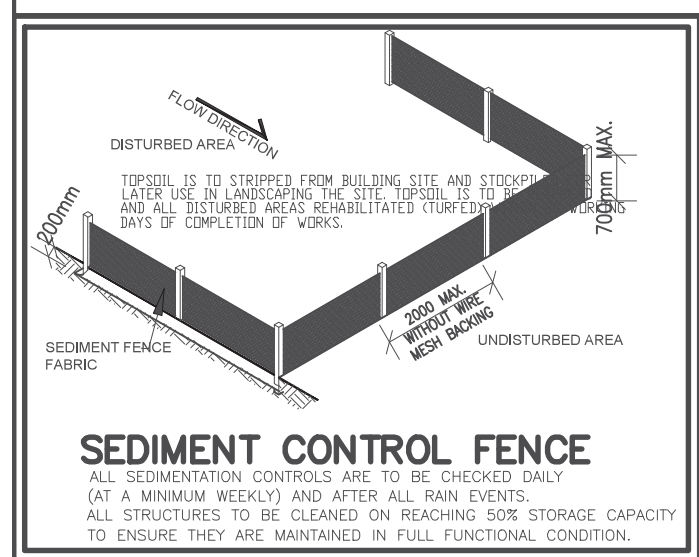
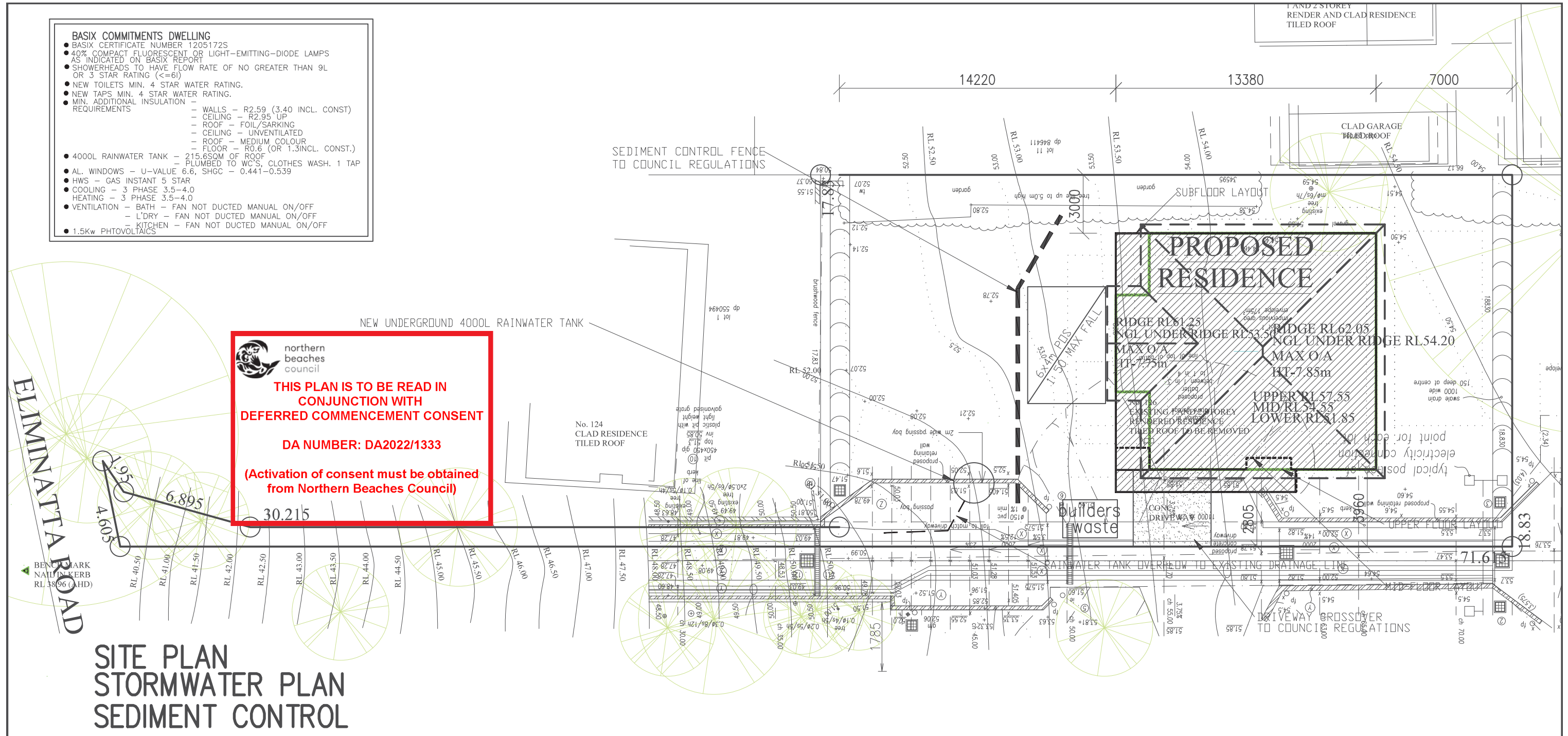
- BASIX COMMITMENTS DWELLING**
- BASIX CERTIFICATE NUMBER 12051725
 - 40% COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE LAMPS AS INDICATED ON BASIX REPORT
 - SHOWERHEADS TO HAVE FLOW RATE OF NO GREATER THAN 9L OR 3 STAR RATING (<=6)
 - NEW TOILETS MIN. 4 STAR WATER RATING.
 - NEW TAPS MIN. 4 STAR WATER RATING.
 - MIN. ADDITIONAL INSULATION REQUIREMENTS
 - WALLS — R2.59 (3.40 INCL. CONST)
 - CEILING — R2.95 UP
 - ROOF — FOIL/SARKING
 - CEILING — UNVENTILATED
 - ROOF — MEDIUM COLOUR
 - FLOOR — R0.6 (OR 1.3INCL. CONST.)
 - 4000L RAINWATER TANK — 215.6SQM OF ROOF — PLUMBED TO WC'S, CLOTHES WASH. 1 TAP
 - AL. WINDOWS — U-VALUE 6.6, SHGC — 0.441-0.539
 - HWS — GAS INSTANT 5 STAR
 - COOLING — 3 PHASE 3.5-4.0
 - HEATING — 3 PHASE 3.5-4.0
 - VENTILATION — BATH — FAN NOT DUCTED MANUAL ON/OFF
 - L'DRY — FAN NOT DUCTED MANUAL ON/OFF
 - KITCHEN — FAN NOT DUCTED MANUAL ON/OFF
 - 1.5Kw PHTOVOLTAICS


**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

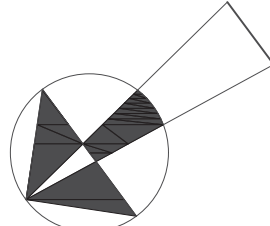
DA NUMBER: DA2022/1333

**(Activation of consent must be obtained
from Northern Beaches Council)**

30.215



NO STORMWATER RUNOFF WILL
AFFECT PROPOSED DEVELOPMENT



NORTH

NOTES

ALL TIMBER ROOF & WALL FRAMING TO BE DESIGNED TO AS1684
TIMBER STRUCTURE CODE FOR THE FOLLOWING
DESIGN CRITERIA:-
WIND SPEED N2
TERRAIN CATEGORY 2.5
REGION A
PARTIAL SHIELDING
SITE CLASSIFICATION TO BE DETERMINED

Note:
DRAWINGS FOR CONSTRUCTION PURPOSES WHEN:
• STRUCTURAL DETAILS SIGNED BY QUALIFIED STRUCTURAL ENGINEER
• AND ALL ELEMENTS CHECKED TO COMPLY WITH THE BCA AND RELEVANT AS BY BUILDER OR ACCREDITED CERTIFIER
ALL NEW WORKS TO ADHERE TO THE BCA AND CURRENT AUSTRALIAN STANDARDS

• NOTE- DIMENSIONS ARE TAKEN FROM EXISTING DWELLING, VERIFY DIMENSIONS ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION
• ENSURE STAIR DETAILS CONFIRMED PRIOR TO MANUFACTURE
• DO NOT SCALE DRAWINGS

SITE AREA- 651.4SQM
SITE AREA INCL. ACCESS- 696.5SQM
SITE COVERAGE- 31.28%

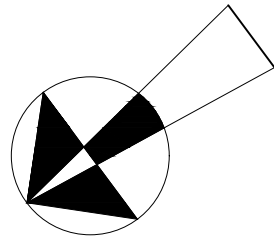
ALL NEW DOWNPIPES TO BE CONNECTED TO EXISTING

NEW SUB-FLOOR - 62.86sqm
NEW MID FLOOR - 159.0sqm
NEW UPPER FLOOR - 149.8sqm


**DIAL 1100
BEFORE YOU DIG**

NO STORMWATER RUNOFF WILL
AFFECT PROPOSED DEVELOPMENT

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing SITE DETAILS	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 13.04.21 28.11.22 ADJUSTMENT amend amend amend heights added to ridge	scale 1:200, 1:100	date MAR'21	drawn by jdc
						drawing no. 1 OF 10	project no. 2021365



NORTH



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DEFERRED COMMENCEMENT CONSENT

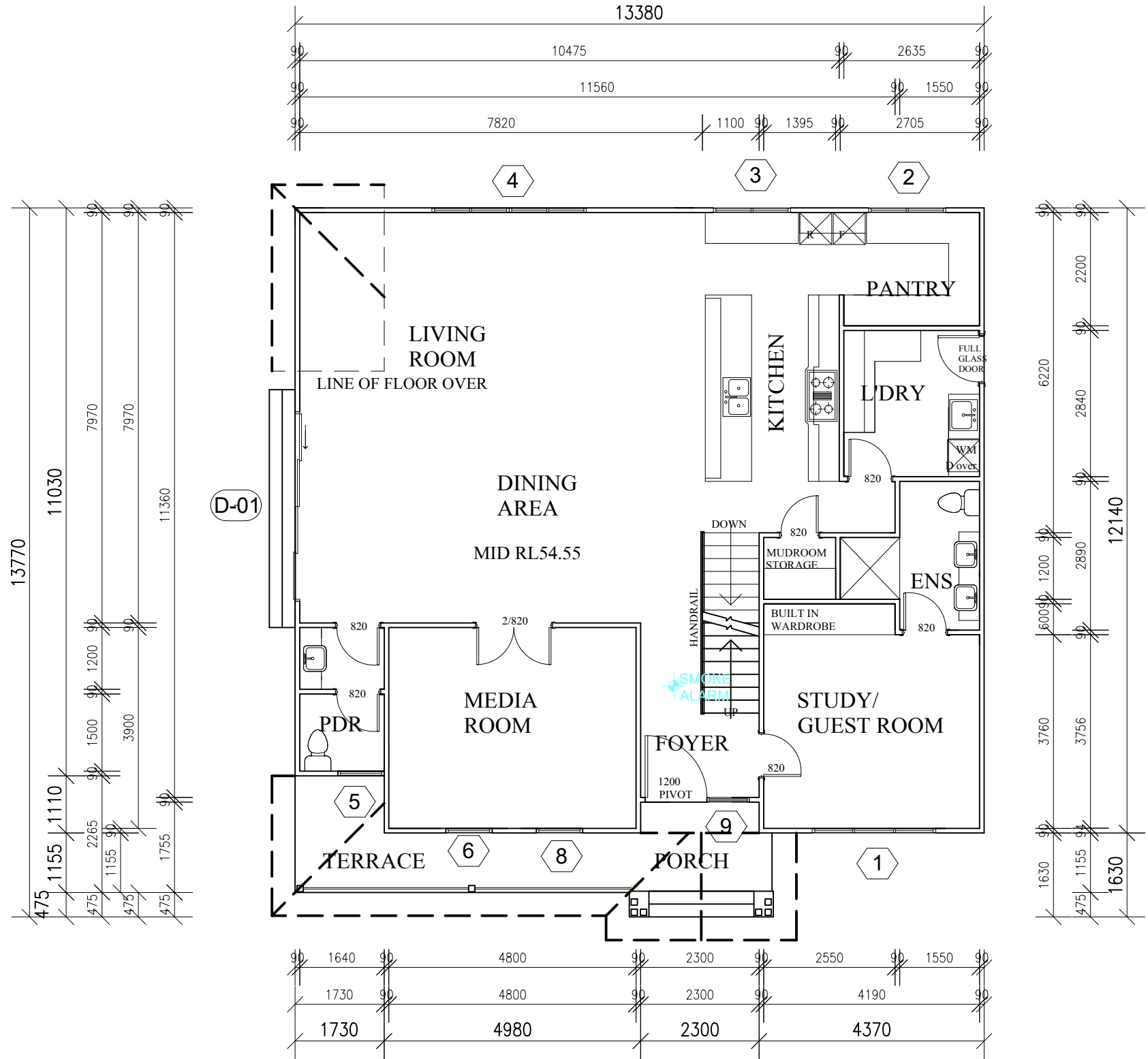
DA NUMBER: DA2022/1333

(Activation of consent must be obtained
from Northern Beaches Council)

The diagram is a lower floor plan for a building. It features a large garage area labeled 'GARAGE LOWER RL51.85' with a 'CONCRETE FLOOR' and a 'GARAGE DOOR'. Adjacent to the garage is a 'FOYER' containing a 'STORAGE CUPBOARD' and a 'SMOKE ALARM'. A staircase labeled 'UP' is located near the foyer. There is also a 'STORAGE ALCOVE' and a 'STAIR' area. The plan is surrounded by dimensions: overall width 13380, overall depth 13770, and various internal dimensions for rooms and setbacks.

LOWER FLOOR PLAN

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing LOWER FLOOR PLAN	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc
							drawing no. 3OF10	project no. 2021365

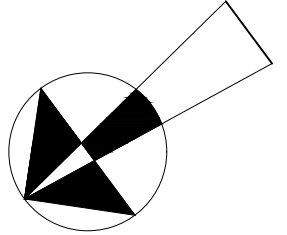


WINDOW SCHEDULE

NO.	ORI.	SIZE	AREA	TYPE
W-1	NW	1524 DHFDH	3.60sqm	C
W-2	SE	1015 SF	1.50sqm	O
W-3	SE	1015 SF	1.50sqm	C
W-4	SE	0630 SFS	1.80sqm	C
W-5	NW	1509 DH	1.35sqm	C
W-6	NW	1509 DH	1.35sqm	C
W-7		NOT USED		C
W-8	NW	1509 DH	1.35sqm	C
W-9	NW	2109 F	1.89sqm	C
D-01	NE	2136 ASD	7.56sqm	C

NOTES

- SMOKE ALARM
 - LIFT OFF HINGE
 - BWCJ BRICK CONTROL JOINT
 - MECHANICAL EXHAUST
- KITCHEN LAYOUT TO SEPARATE MANUFACTURE'S DETAILED DRAWINGS.





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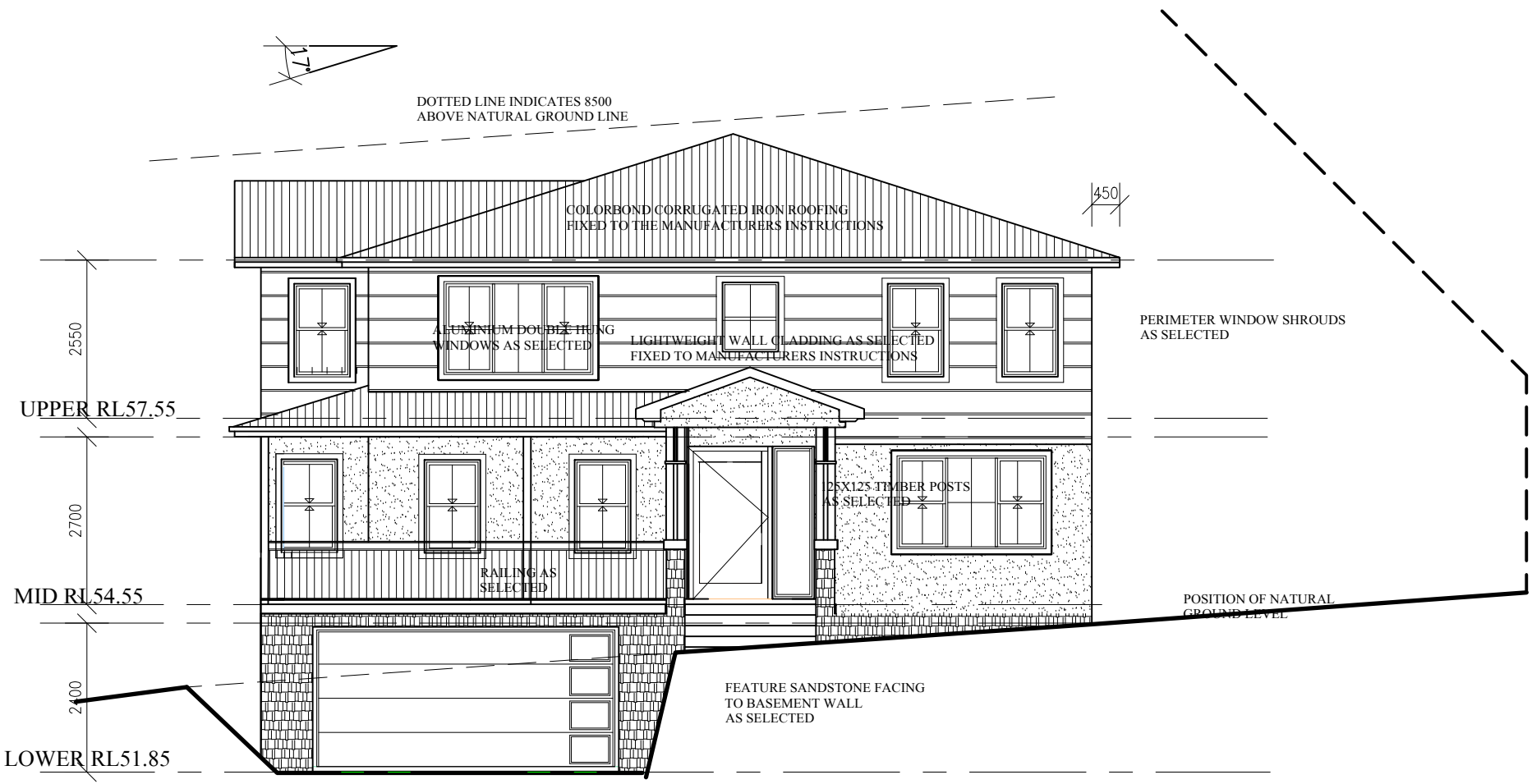
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2022/1333

**(Activation of consent must be obtained
from Northern Beaches Council)**

MID FLOOR PLAN

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing MID FLOOR PLAN	 JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc
							drawing no. 4OF10	project no. 2021365



NORTH WESTERN ELEVATION



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CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained
from Northern Beaches Council)

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing ELEVATION 1	AMENDMENT DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc
						drawing no. 6OF10	project no. 2021365

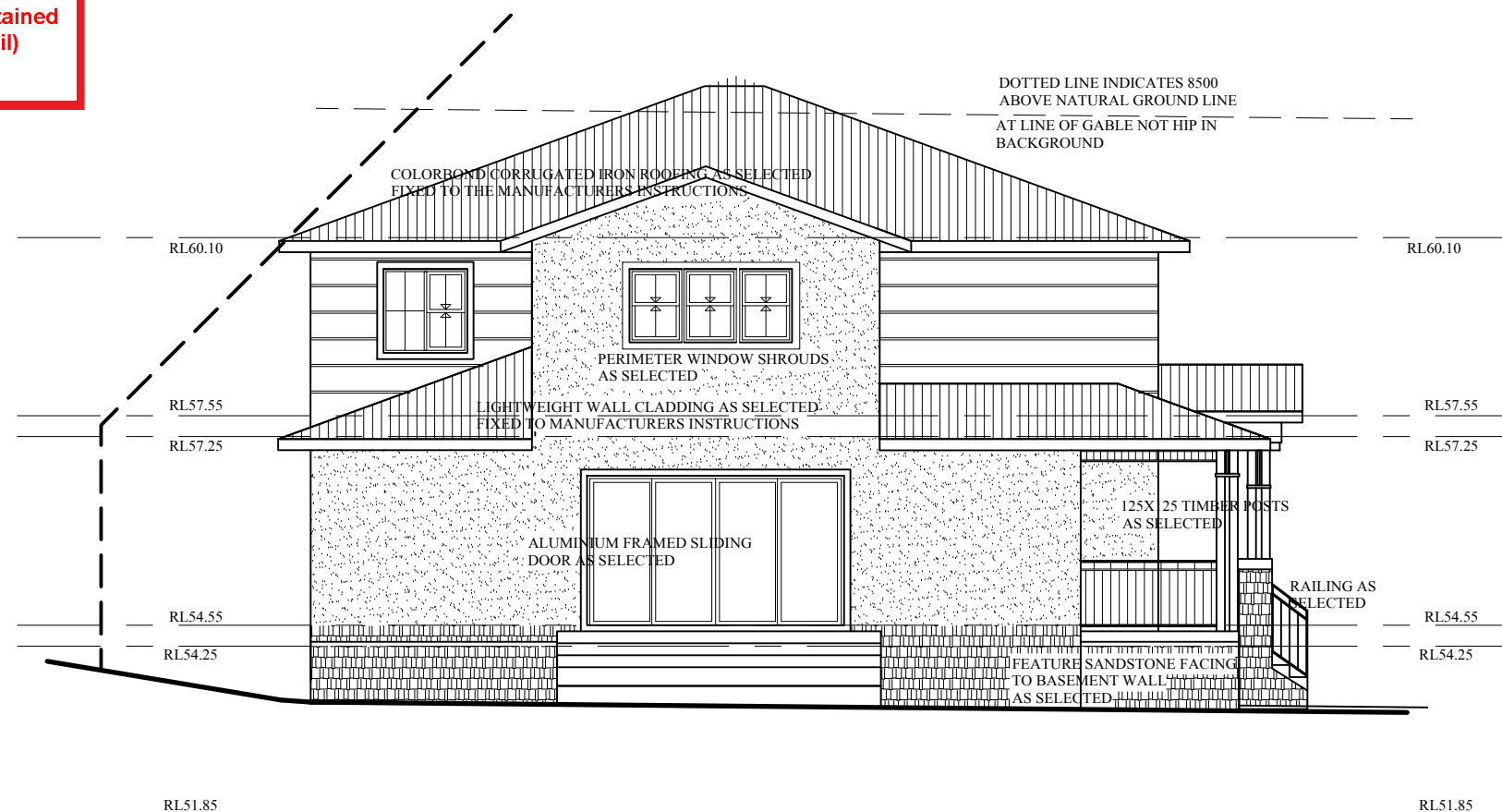
ECODIMENSIONS

JUSTIN CROFT
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all dimensions to be clarified on site



DA NUMBER: DA2022/1333

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NORTH EASTERN ELEVATION

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing ELEVATION 2	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be verified on site	AMENDMENT		scale 1:200, 1:100	date MAR'21	drawn by jdc
				DATE 08.04.21 13.04.21	ADJUSTMENT amend amend		drawing no. 7 OF 10	project no. 2021365

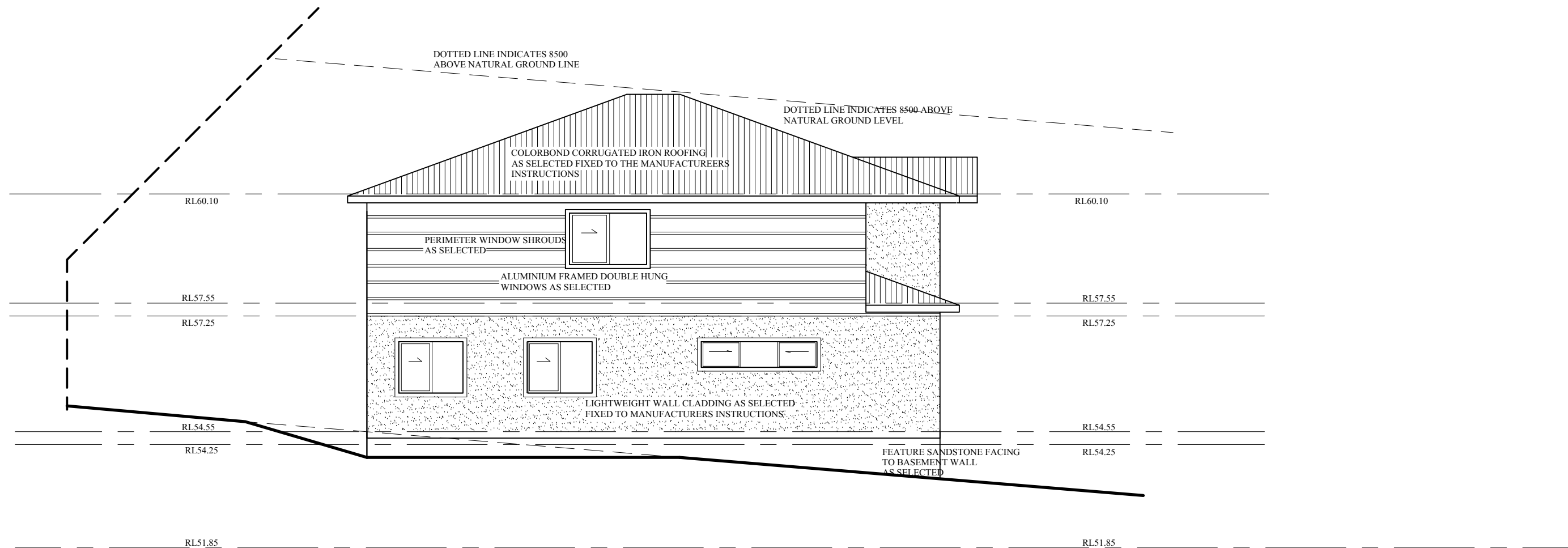


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CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

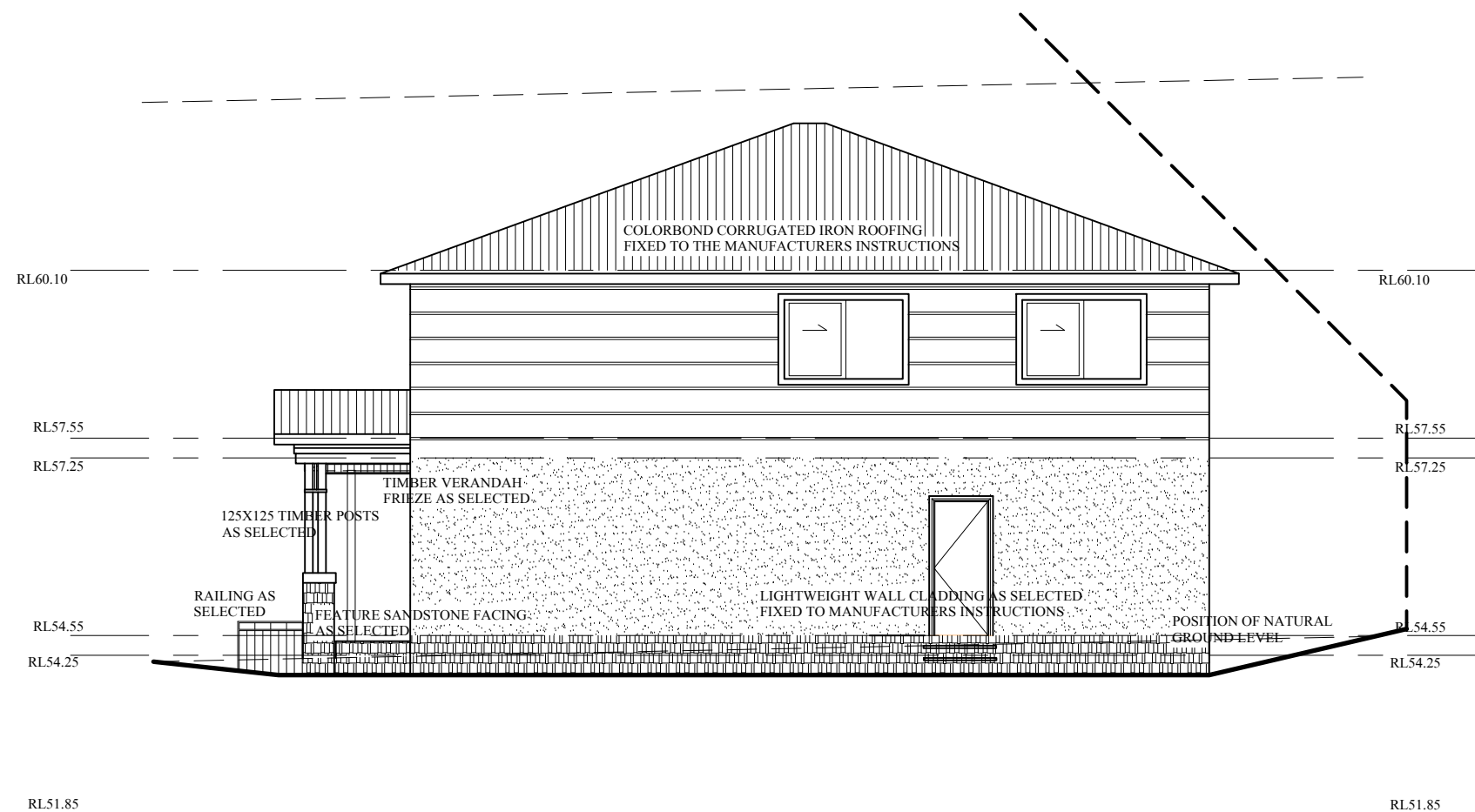
DA NUMBER: DA2022/1333

(Activation of consent must be obtained
from Northern Beaches Council)



SOUTH EASTERN ELEVATION

proprietor	JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project	proposed DWELLING	drawing	ELEVATION 3	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT		scale	date	drawn by
							DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	1:200, 1:100	MAR'21	jdc
										drawing no. 8OF10	project no. 2021365



SOUTH WESTERN ELEVATION



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DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2022/1333

**(Activation of consent must be obtained
from Northern Beaches Council)**

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing ELEVATION 4	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc
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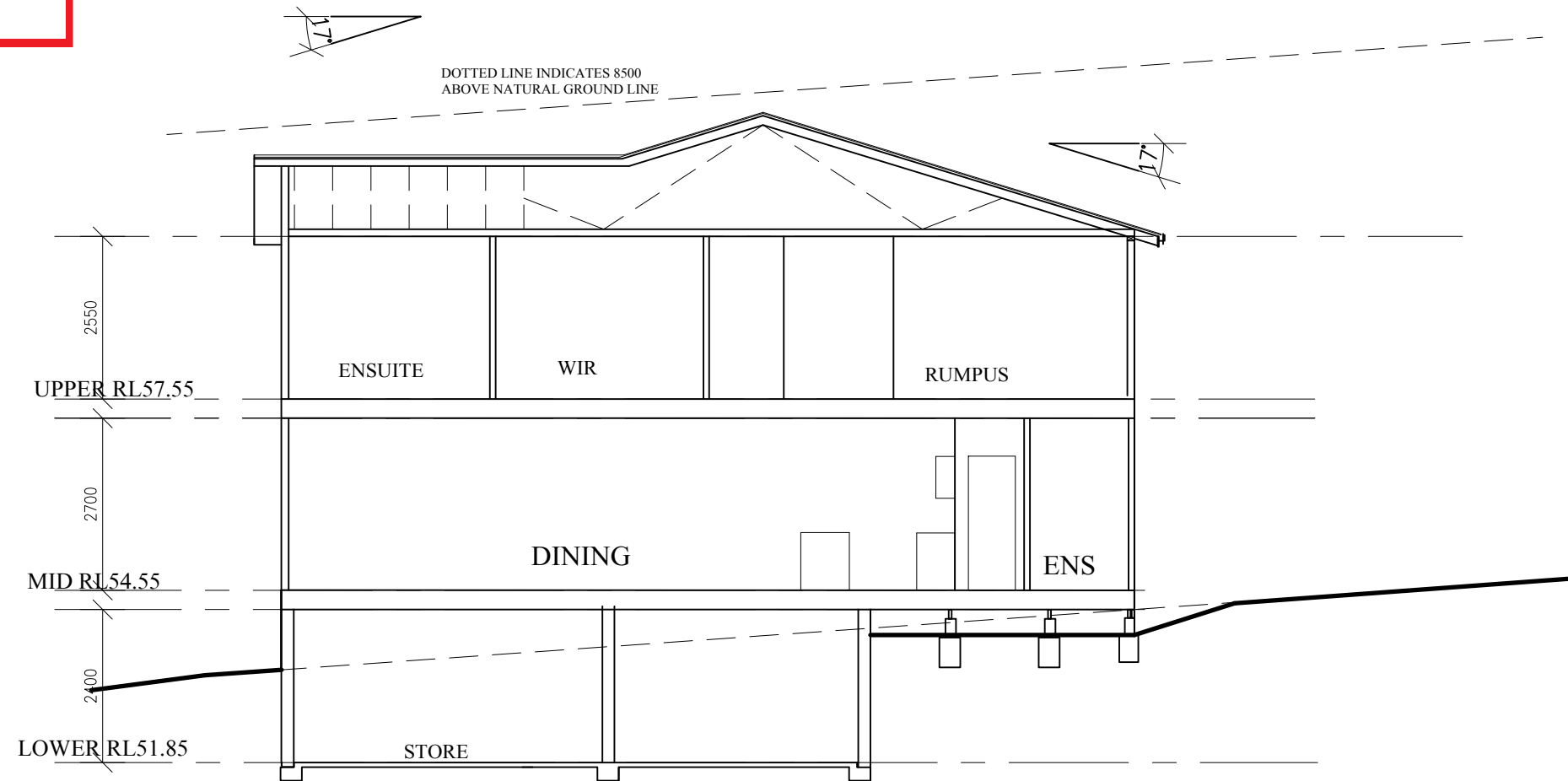


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DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

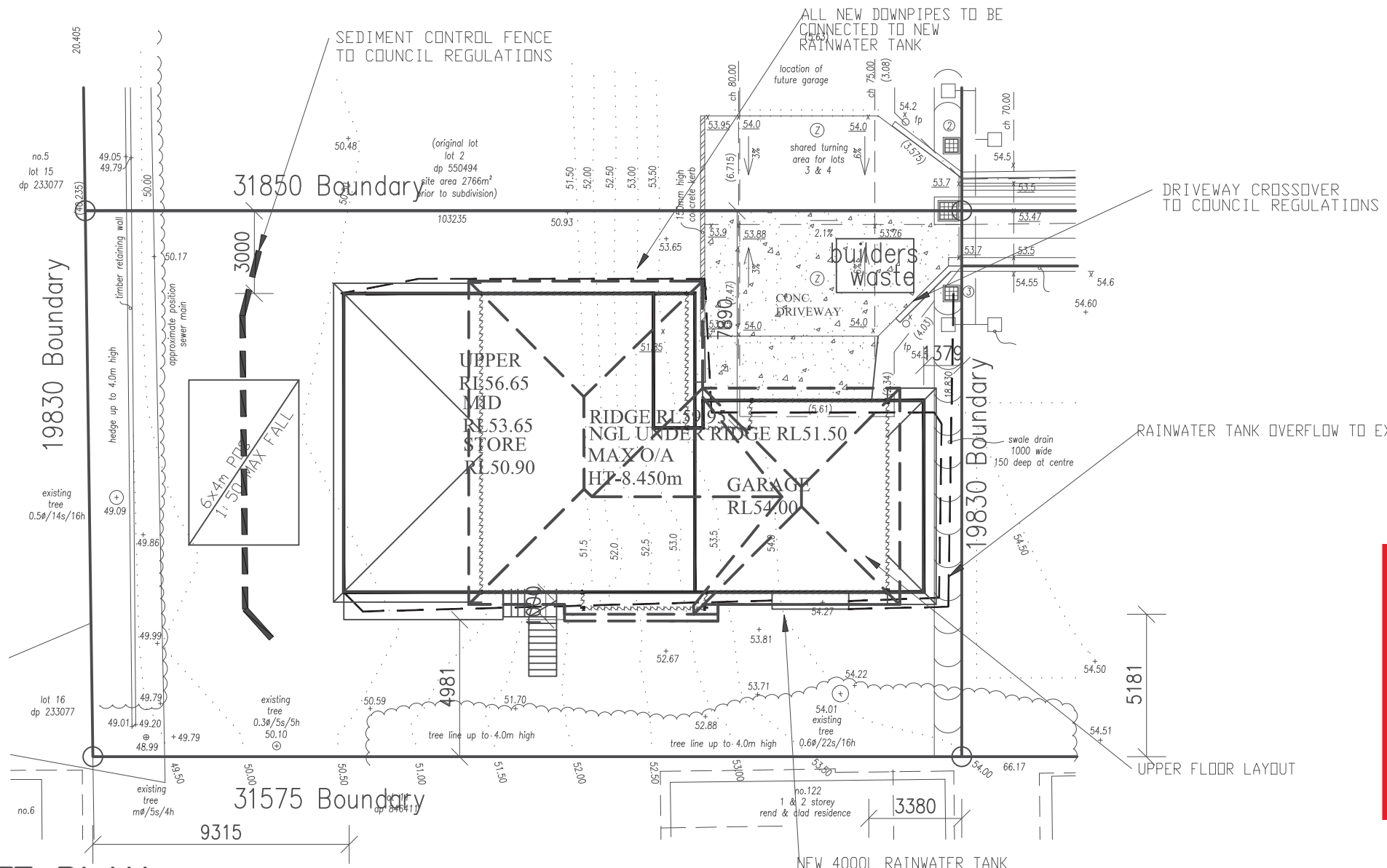
(Activation of consent must be obtained
from Northern Beaches Council)



SECTION A-A

proprietor JOHN LOT 1, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing SECTION	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 13.04.21	ADJUSTMENT amend amend	scale 1:100	date MAR'21	drawn by jdc
							drawing no. EXTRA	project no. 2021365

SITE PLAN
STORMWATER PLAN
SEDIMENT CONTROL



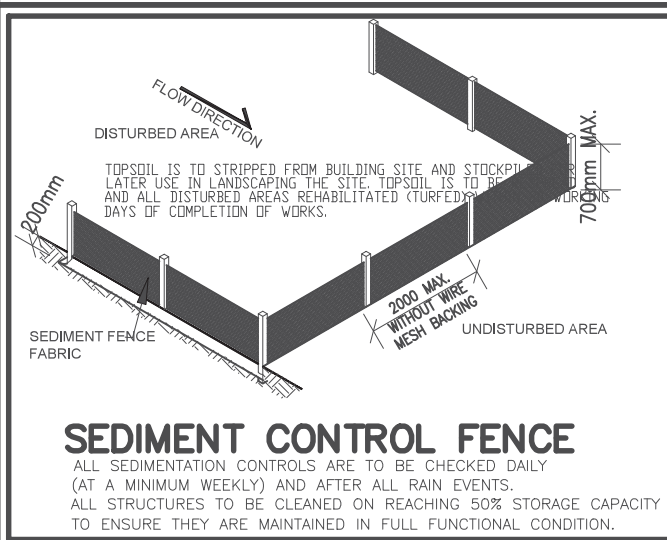
- BASIX COMMITMENTS DWELLING**
- BASIX CERTIFICATE NUMBER 1204481S
 - 40% COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE LAMPS AS INDICATED ON BASIX REPORT
 - SHOWERHEADS TO HAVE FLOW RATE OF NO GREATER THAN 7.5L OR 4 STAR RATING (<=6l)
 - NEW TOILETS MIN. 4 STAR WATER RATING.
 - NEW TAPS MIN. 4 STAR WATER RATING.
 - MIN. ADDITIONAL INSULATION REQUIREMENTS
 - WALLS — R3.00 (3.40 INCL. CONST)
 - CEILING — R2.2 UP
 - ROOF — FOIL/SARKING
 - CEILING — UNVENTILATED
 - ROOF — MEDIUM COLOUR
 - FLOOR — R0.8 (OR 1.8INCL. CONST.)
 - 4000L RAINWATER TANK — 150SQM OF ROOF PLUMBED TO WC'S, CLOTHES WASH. 1 TAP
 - AL. WINDOWS — SINGLE GLAZED CLEAR
 - HWS — GAS INSTANTANEOUS — 5 STAR
 - COOLING — 3 PHASE 3.0-3.5
 - HEATING — 3 PHASE 3.0-3.5
 - VENTILATION — BATH — FAN NOT DUCTED MANUAL ON/OFF
 - L'DRY — FAN NOT DUCTED MANUAL ON/OFF
 - KITCHEN — FAN NOT DUCTED MANUAL ON/OFF
 - 1.5kw PHOTOVOLTAIC SYSTEM

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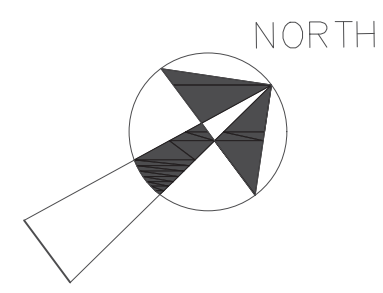
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained from Northern Beaches Council)



NO STORMWATER RUNOFF WILL AFFECT PROPOSED DEVELOPMENT



NOTES

ALL TIMBER ROOF & WALL FRAMING TO BE DESIGNED TO AS1684

TIMBER STRUCTURE CODE FOR THE FOLLOWING DESIGN CRITERIA:-

- WIND SPEED N2
- TERRAIN CATEGORY 2.5
- REGION A
- PARTIAL SHIELDING
- SITE CLASSIFICATION TO BE DETERMINED

Note:

DRAWINGS FOR CONSTRUCTION PURPOSES WHEN:

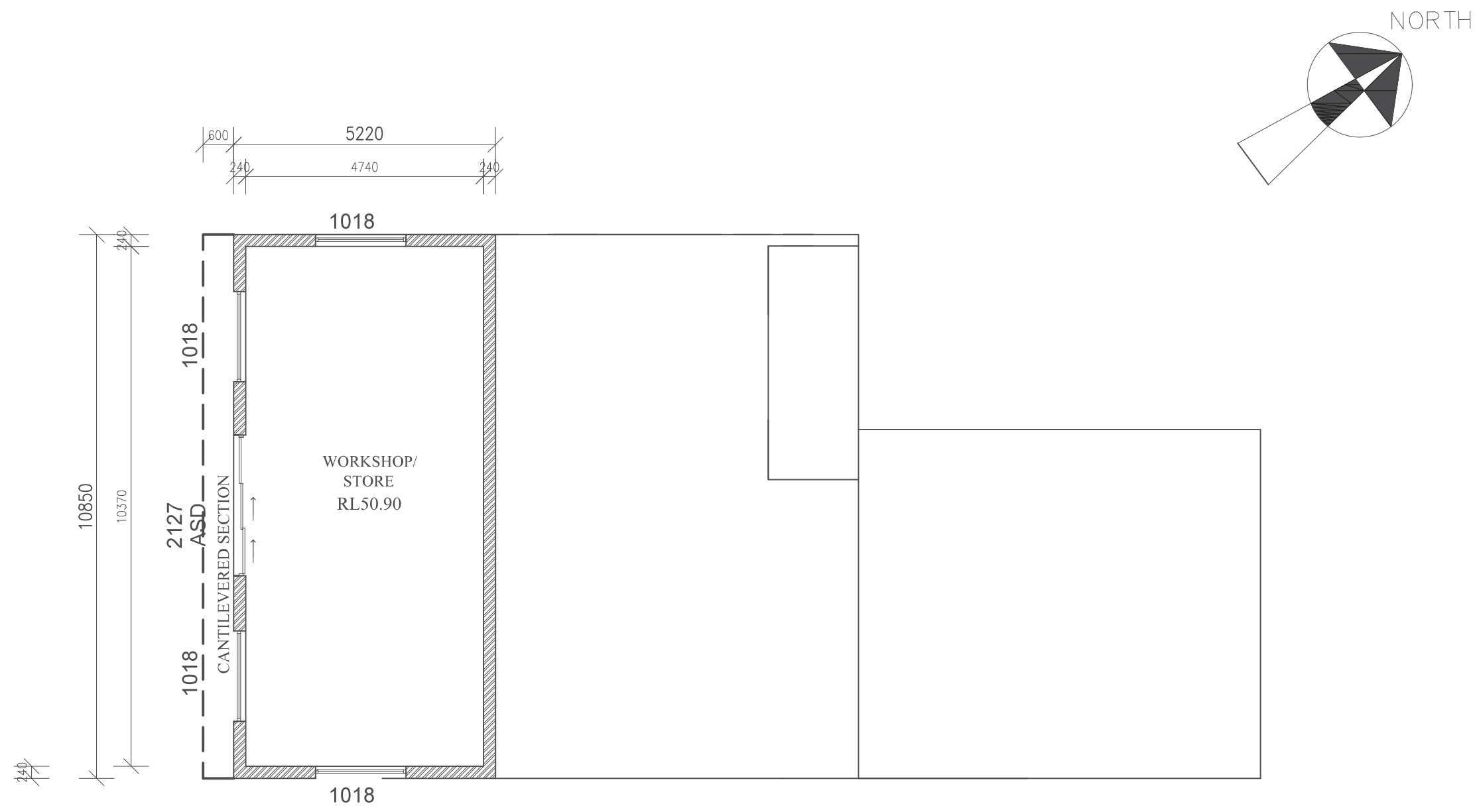
- STRUCTURAL DETAILS SIGNED BY QUALIFIED STRUCTURAL ENGINEER
- AND ALL ELEMENTS CHECKED TO COMPLY WITH THE BCA AND RELEVANT AS BY BUILDER OR ACCREDITED CERTIFIER
- ALL NEW WORKS TO ADHERE TO THE BCA AND CURRENT AUSTRALIAN STANDARDS
- NOTE- DIMENSIONS ARE TAKEN FROM EXISTING DWELLING, VERIFY DIMENSIONS ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION
- ENSURE STAIR DETAILS CONFIRMED PRIOR TO MANUFACTURE
- DO NOT SCALE DRAWINGS

SITE AREA- 628.8SQM
SITE COVERAGE- 39.15%
NEW SUB-FLOOR - 56.6sqm
NEW MID FLOOR - 136.4sqm
NEW UPPER FLOOR - 132.4sqm
NEW GARAGE - 55.5sqm



NO STORMWATER RUNOFF WILL AFFECT PROPOSED DEVELOPMENT

proprietor JOHN LOT 4, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing SITE PLAN	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 28.11.22 13.01.23 ADJUSTMENT amend amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc
						drawing no. 1OF8	project no. 2021395



LOWER FLOOR PLAN



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained
from Northern Beaches Council)

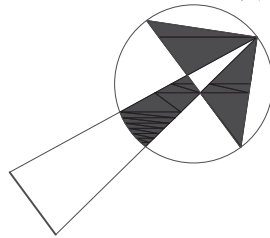
proprietor JOHN LOT 4, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing LOWER FLOOR PLAN	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 28.11.22 13.01.23 ADJUSTMENT amend amend amend
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WINDOW SCHEDULE

NO.	ORI.	SIZE	AREA	QTY
W-1	NW	0615 F	0.90sqm	C
W-2	NW	0615 F	0.90sqm	C
W-3	NE	1521 DHFDH	3.15sqm	C
W-4	NE	1509 L	1.35sqm	C
W-5	SE	1509 DH	1.35sqm	C
W-6	SE	1509 DH	1.35sqm	C
W-7	SE	1509 DH	1.35sqm	C
W-8	SW	1221 DHFDH	2.52sqm	C
W-9	SW	1509 DH	1.35sqm	C
D-01	SE	2136 ASD	7.56sqm	C

NOTES

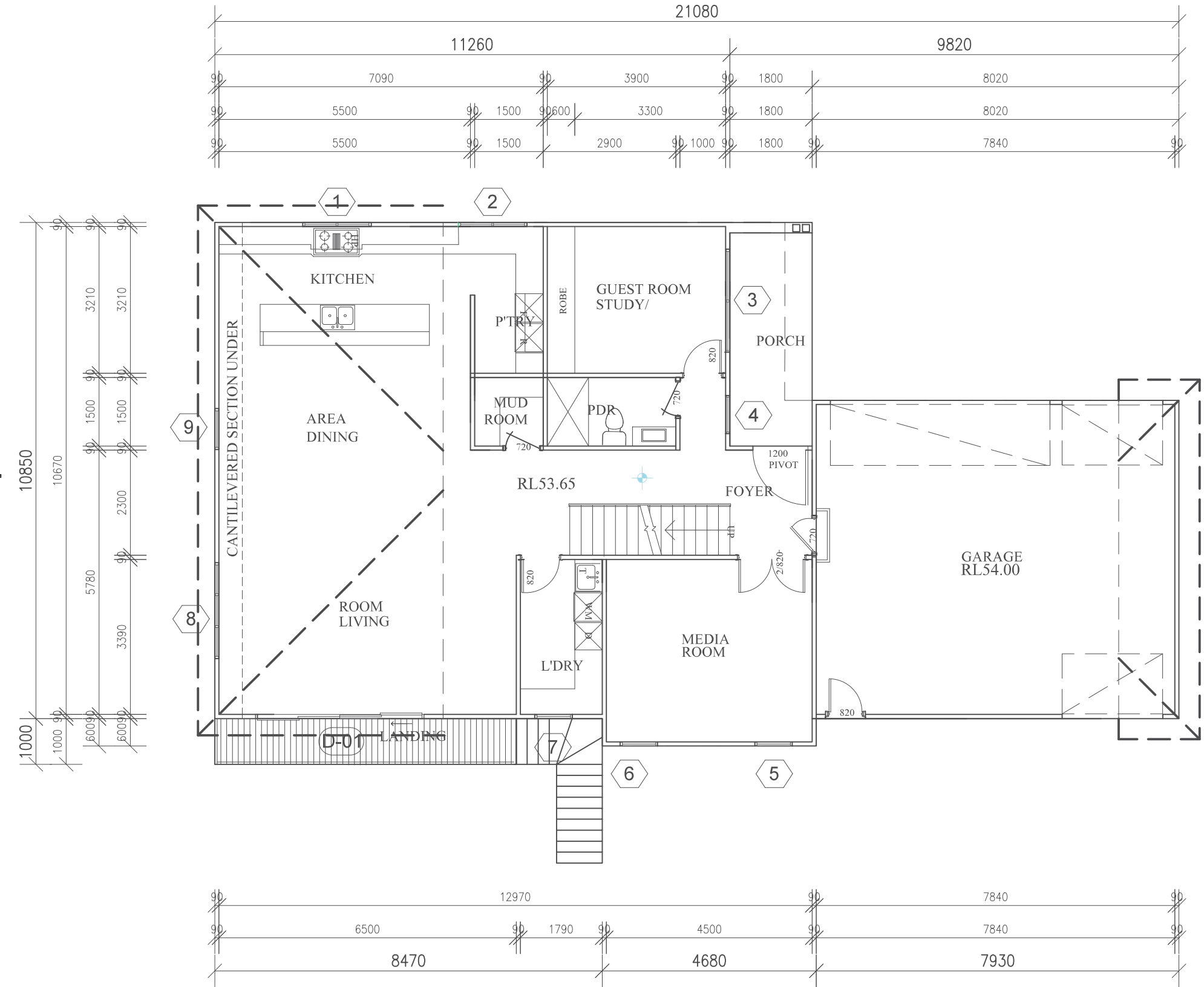
- SMOKE ALARM
 - LIFT OFF HINGE
 - BWCJ BRICK CONTROL JOINT
 - MECHANICAL EXHAUST
- KITCHEN LAYOUT TO SEPARATE MANUFACTURES DETAILED DRAWINGS.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained from Northern Beaches Council)



MID FLOOR PLAN

proprietor JOHN
LOT 4, DP550494
126 ELIMATTA ROAD
MONA VALE 2103

project
proposed
DWELLING

drawing
MID FLOOR PLAN

ECODIMENSIONS
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AMENDMENT
DATE 08.04.21
28.11.22
13.01.23
ADJUSTMENT
amend
amend

scale
1:200, 1:100

date
MAR'21

drawn by
jdc

drawing no.
4OF8

project no.
2021381

WINDOW SCHEDULE

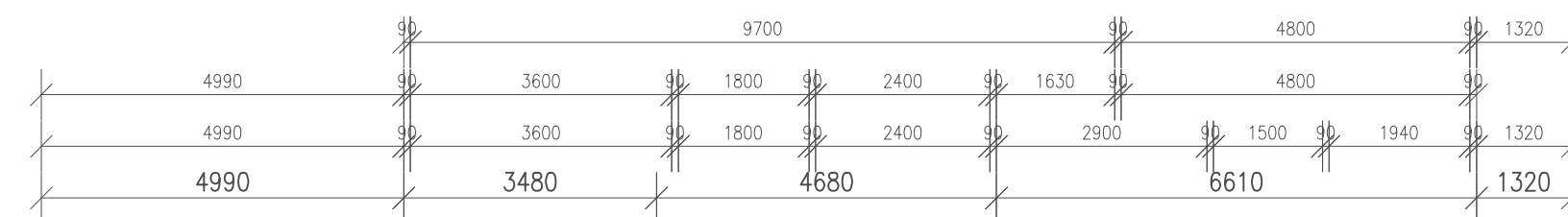
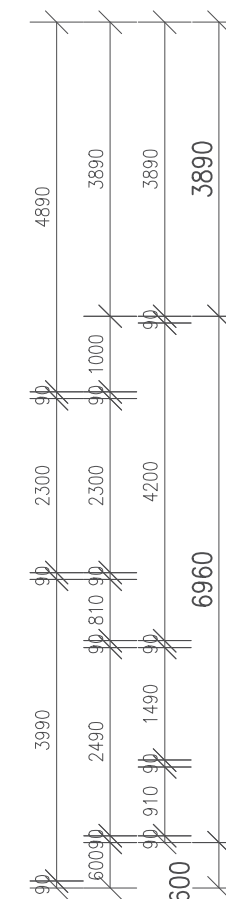
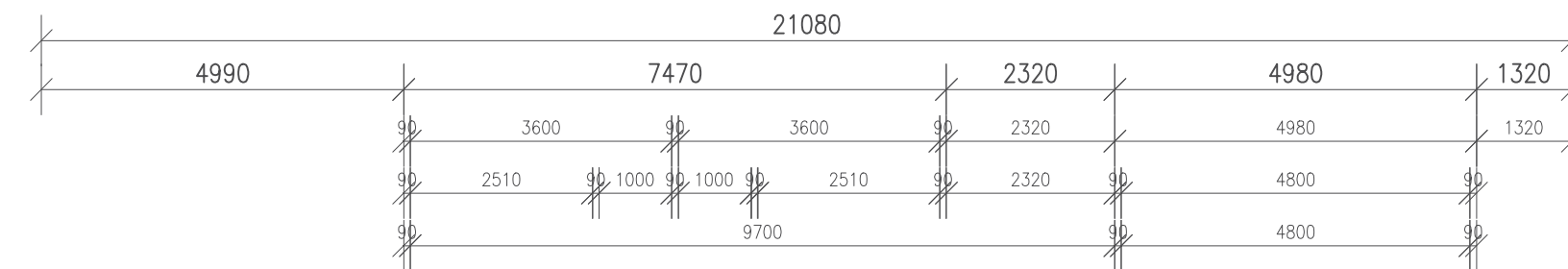
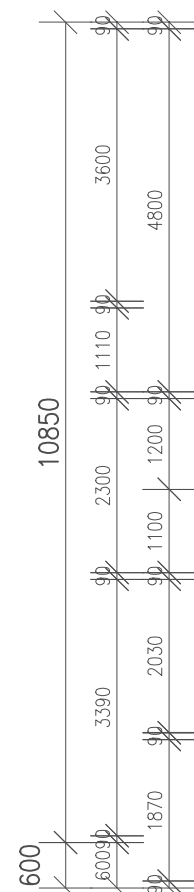
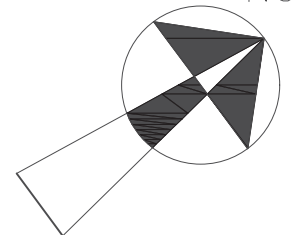
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W-10	SW	1521 DHFDH	3.15sqm	C
W-11	NE	1521 DHFDH	3.15sqm	C
W-11A	NW	0615 SF	0.90sqm	O
W-12	NW	1521 DHFDH	3.15sqm	C
W-13	SE	1009 DH	0.90sqm	O
W-14	SE	1015 DHHD	1.5sqm	O
W-15	SE	1015 DHHD	1.5sqm	C
W-16	SE	1009 DH	0.9sqm	C
W-17	SW	1521 DHFDH	3.15sqm	C
W-18	SW	0615 DHF	0.90sqm	C

NOTES

- SMOKE ALARM
- LIFT OFF HINGE
- BWCJ BRICK CONTROL JOINT
- MECHANICAL EXHAUST

KITCHEN LAYOUT TO SEPARATE
MANUFACTURES DETAILED
DRAWINGS.

NORTH



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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2022/1333

(Activation of consent must be obtained from Northern Beaches Council)

UPPER FLOOR PLAN

proprietor JOHN
LOT 4, DP550494
126 ELIMATTA ROAD
MONA VALE 2103

project
proposed
DWELLING

drawing
UPPER FLOOR PLAN

ECODIMENSIONS

JUSTIN CROFT
0417436249
© copyright
all dimensions to be clarified on site

AMENDMENT

DATE
08.04.21
28.11.22
13.01.23

ADJUSTMENT
amend
amend
amend

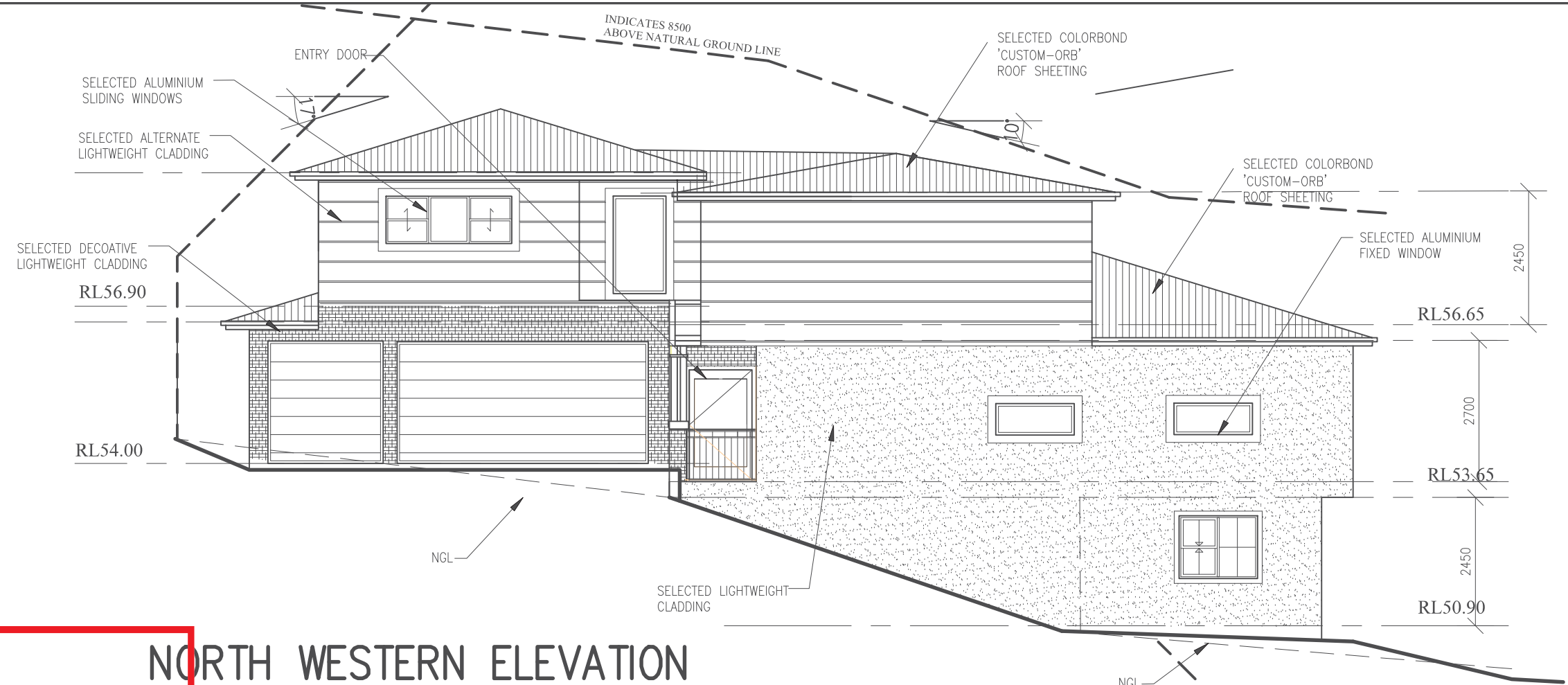
scale
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date
MAR'21

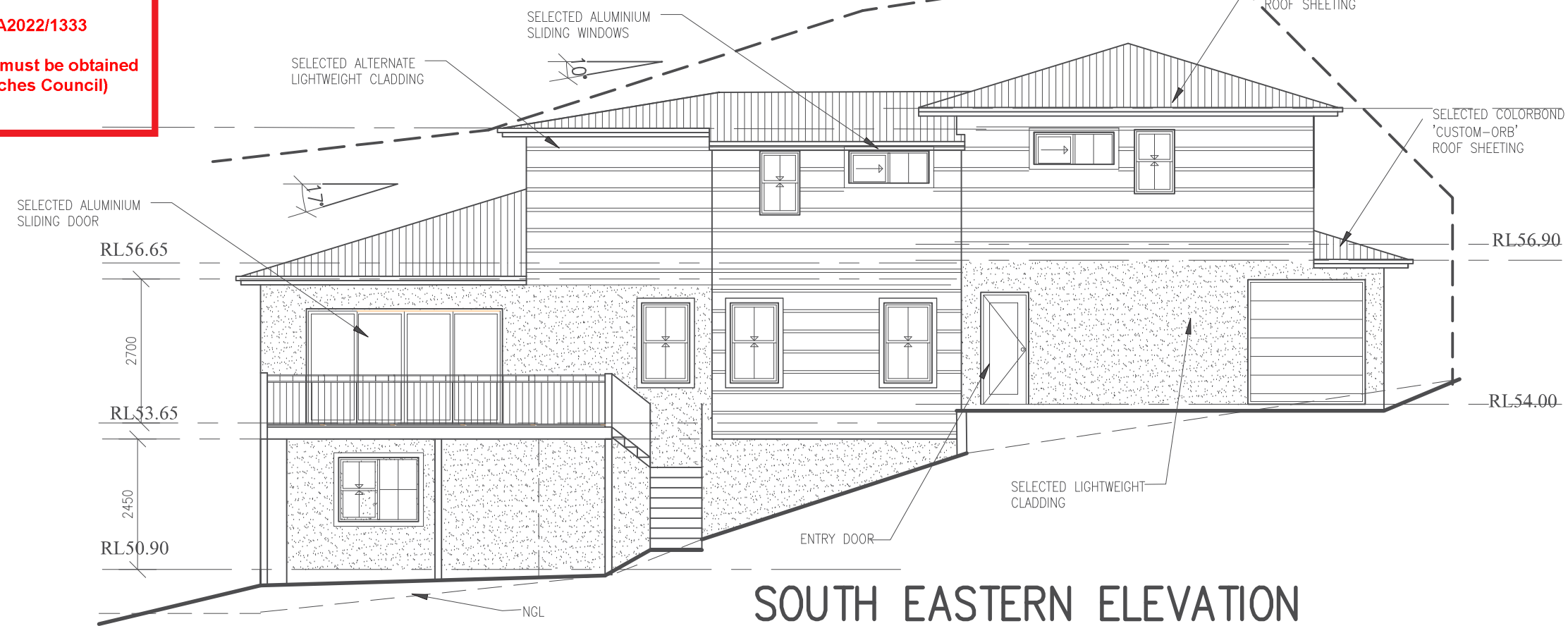
drawing no.
50F8

drawn by
jdc

project no.
2021381



NORTH WESTERN ELEVATION



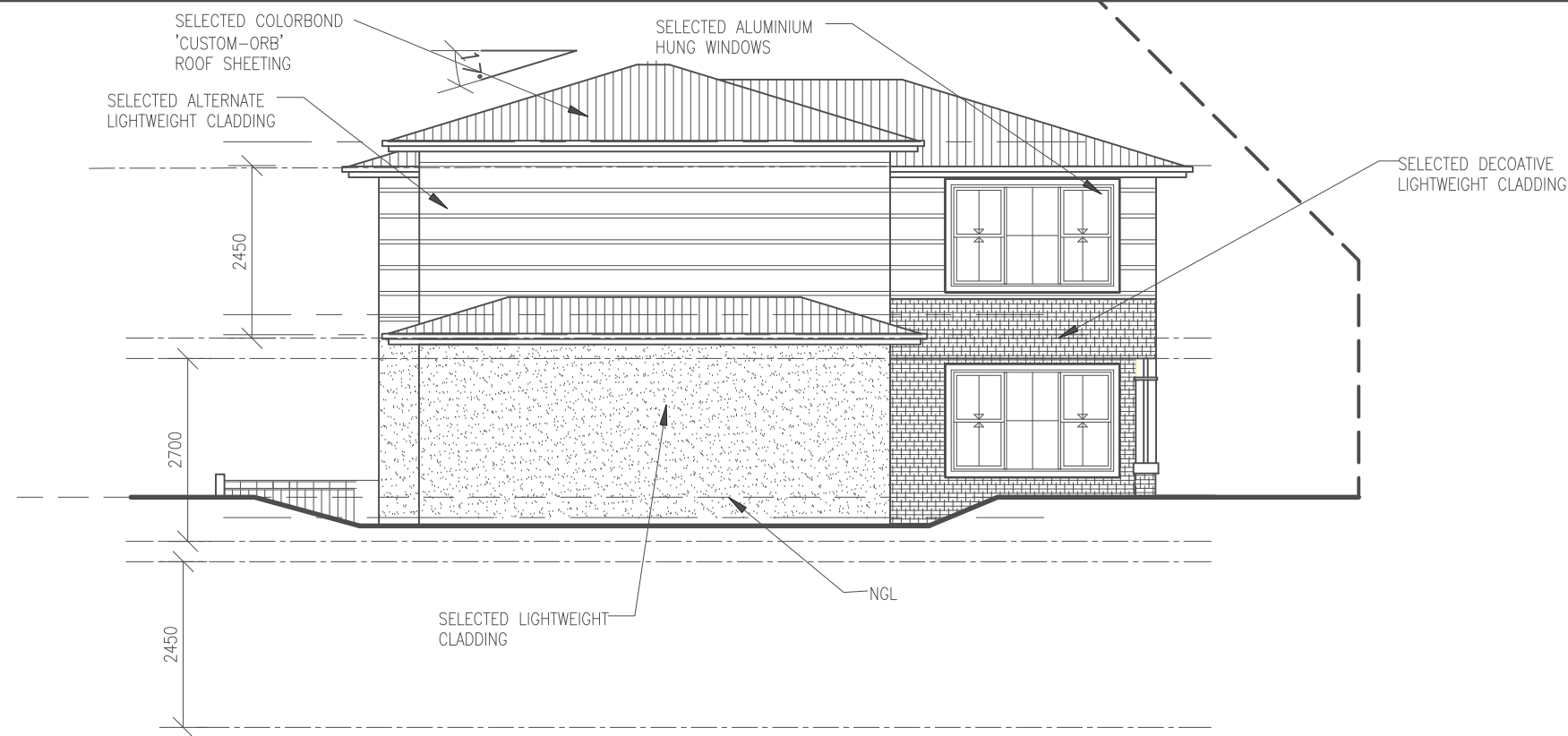
SOUTH EASTERN ELEVATION

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained from Northern Beaches Council)

proprietor JOHN LOT 4, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing ELEVATIONS	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 28.11.22 13.01.23 ADJUSTMENT amend amend	scale 1:200, 1:100	date MAR'21	drawn by jdc drawing no. 6OF8 project no. 2021381
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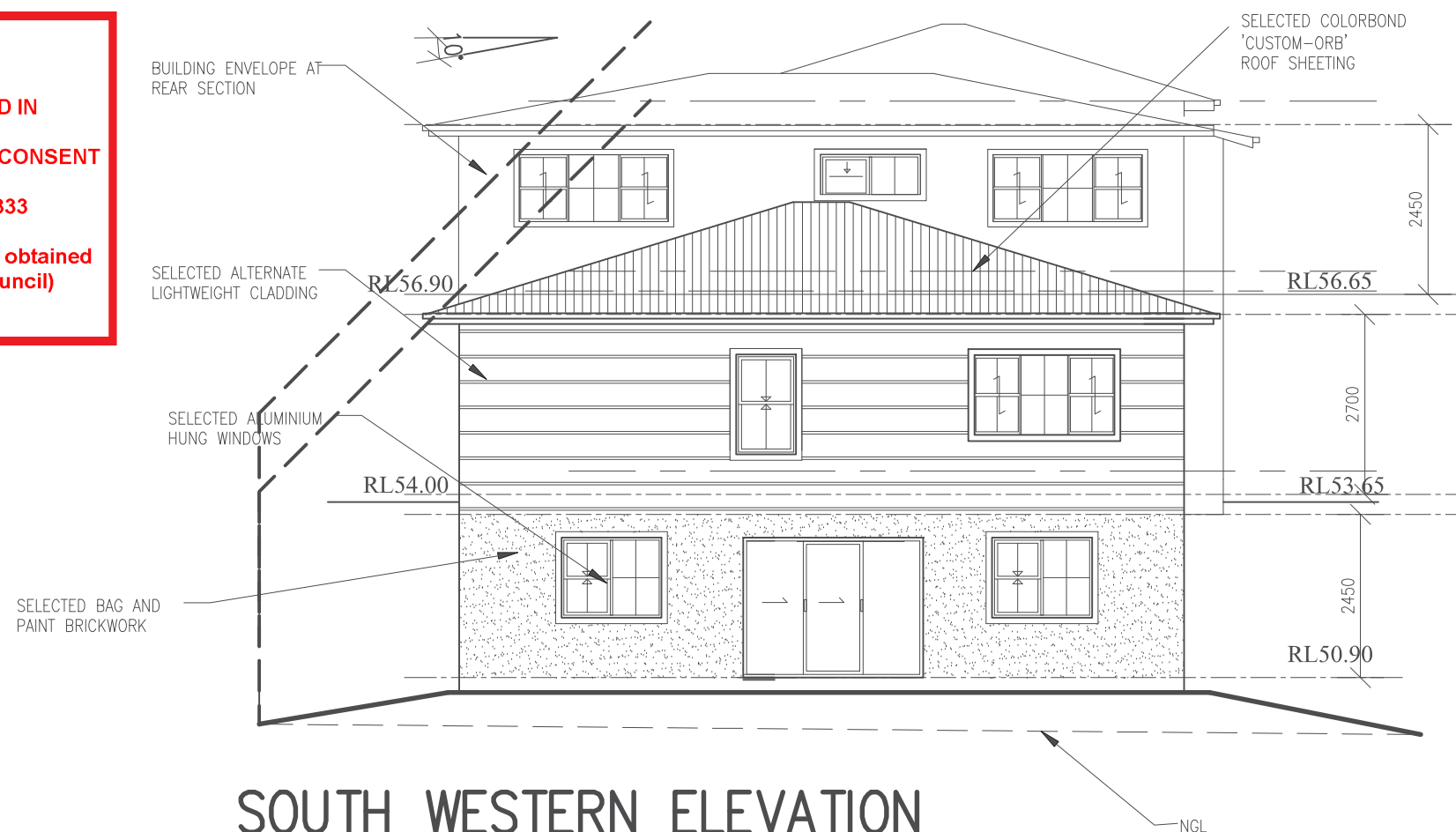
NORTH EASTERN ELEVATION

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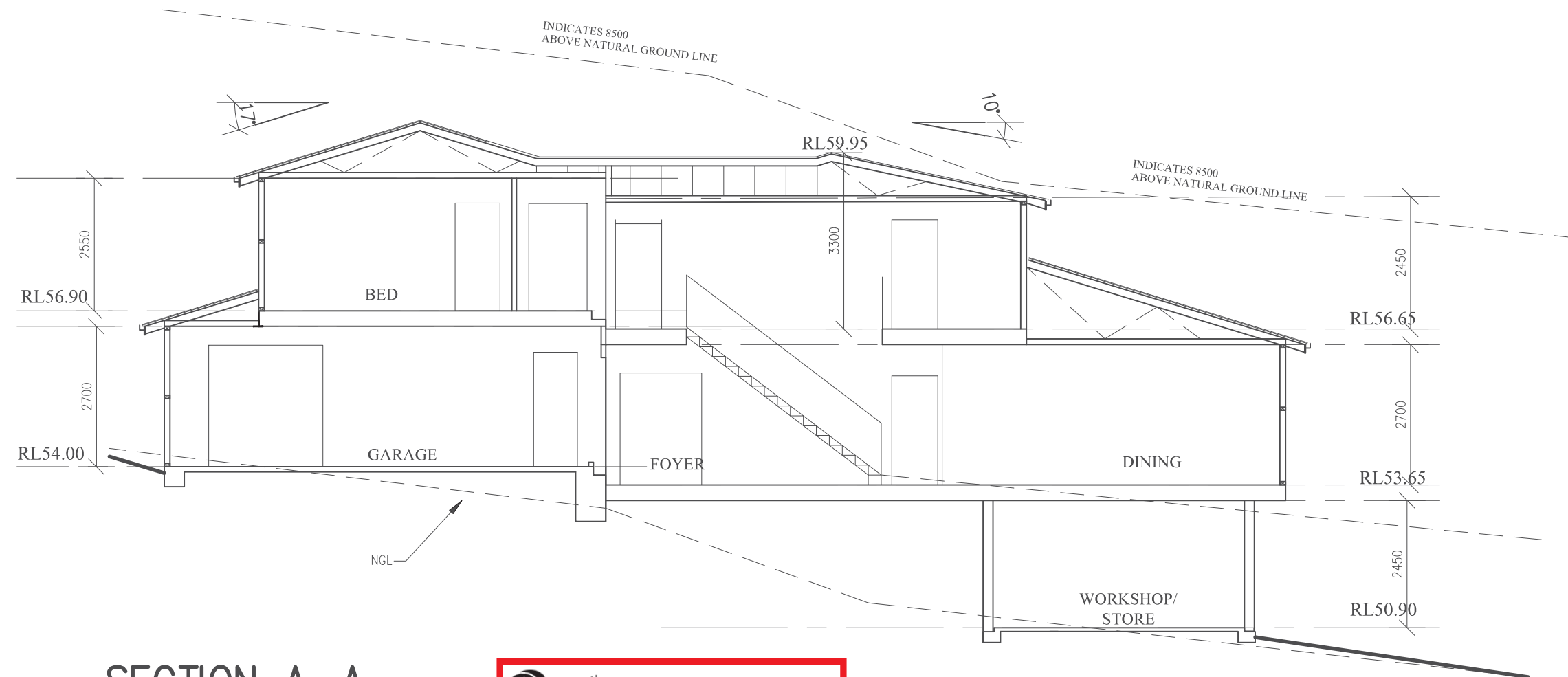
DA NUMBER: DA2022/1333

(Activation of consent must be obtained from Northern Beaches Council)



SOUTH WESTERN ELEVATION

proprietor JOHN LOT 4, DP550494 126 ELIMATTA ROAD MONA VALE 2103	project proposed DWELLING	drawing ELEVATIONS	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 08.04.21 28.11.22 13.01.23 ADJUSTMENT amend amend amend	scale 1:200, 1:100	date MAR'21 drawing no. 7OF8	drawn by jdc project no. 2021381
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SECTION A-A



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CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1333

(Activation of consent must be obtained
from Northern Beaches Council)

proprietor JOHN
LOT 4, DP550494
126 ELIMATTA ROAD
MONA VALE 2103

project
proposed
DWELLING

drawing
SECTION

ECODIMENSIONS

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AMENDMENT
DATE
08.04.21
28.11.22
13.01.23
ADJUSTMENT
amend
amend
amend

scale
1:500

date
MAR'21

drawn by
jdc

drawing no.
EXTRA

project no.
2021381