

R179601



Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2005/927

Council	Pittwater
Determination date of determination	Approved 1 November 2005
Subject land Address Lot No, DP No.	128 Waterview Street, Mona Vale Lot 1 DP 545510
Applicant Name Address Contact No. (phone)	Mr R Deane 128 Waterview Street, Mona Vale NSW 2103 9997 1173
Owner Name Address Contact No. (phone)	Mr Ron Deane 128 Waterview Street, Mona Vale NSW 2103 9997 1173
Description of Development Type of Work	Swimming Pool
Builder or Owner/Builder Name Contractor Licence No/Permit	Premier Pools Pty Ltd 34971
Value of Work Building	\$78,500.00
Attachments	1. Pittwater Council receipt no. 174400 for payment of Long Service Levy

**COUNCIL
COPY**

**Plans & Specification
approved**

List plans no(s) & specifications
Reference

1. Site Plan & Structural Details, reference no. 4615, Drawing nos. 1 & 2, prepared and endorsed by Neilly Davies & Partners Pty Ltd, dated September 2005
2. Copy of Sydney Approval, dated 8 September 2005

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed



**Date of endorsement
Certificate No.**

- 1 NOV 2005
2005/927

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority

Contact No.
Address

Tom Bowden
93
Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

NO502/05
19 October 2005

BCA Classification

10b

Pittwater Council

ARN: 81540837871

TAX INVOICE

OFFICIAL RECEIPT

26/08/2015 Receipt No: 174409

TO: VAUGHAN MEEHIGAN DEVELOPMENTS
CONSULTANT

PO BOX 45
NEWPORT

Qty/ Appl No	Reference	Amount
	TINW DA Fees	\$455.75
GL Receipt 1	E 80502/07	
	DAW V/Plan AL	\$51.00
GL Receipt 1	E 80502/06	
	GST	\$5.00
GL Receipt 1		
	WFO-Broads Inc	\$25.00
GL Receipt 1	E 80502/05	
	GST	\$2.50
GL Receipt 1		
	WFO-Buildings	\$151.00
GL Receipt 1	E 80502/05	
	INTER. EL. Service	\$180.00
GL Receipt 1	E 80502/05	
	GST	\$18.00
GL Receipt 1		
	WFO-Build Util	\$72.70
GL Receipt 1	E 80502/05	
	GST	\$7.27
GL Receipt 1		
	WFO-Plant & Eq	\$8.00
GL Receipt 1		
	GST	\$0.80
GL Receipt 1		
	to GL Receipt 1	

Total Amount: \$942.57

Includes GST of \$23.98

Amounts Tendered

By / On Card	\$942.57
Total	\$942.57
Change	\$0.00
Balance	\$942.57

Printed on 26/08/2015 12:03:18 PM

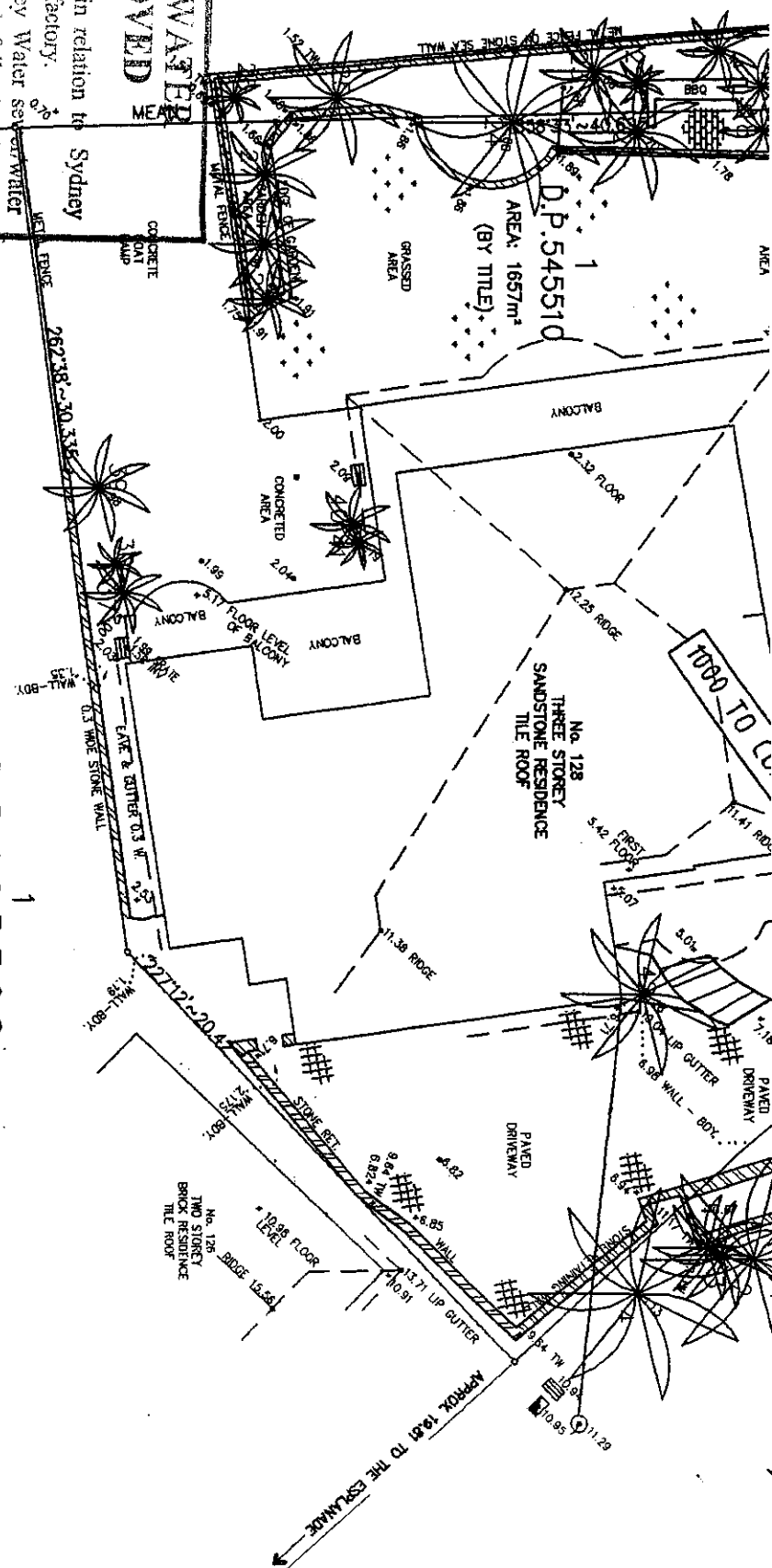
Printed on 26/08/2015

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
3. Any trenching and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
4. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3462675

Reece, St Leonards,
Quick Check Agent on behalf of
SYDNEY WATER

Per: Reece 08/09/05



SITE PLAN

1250

D. P. 1 9 7 7 0 8

Amend "B": Aug 2005 Pool water aligned with gate post
Amend "a" Aug 2005 Pool position + Seat length

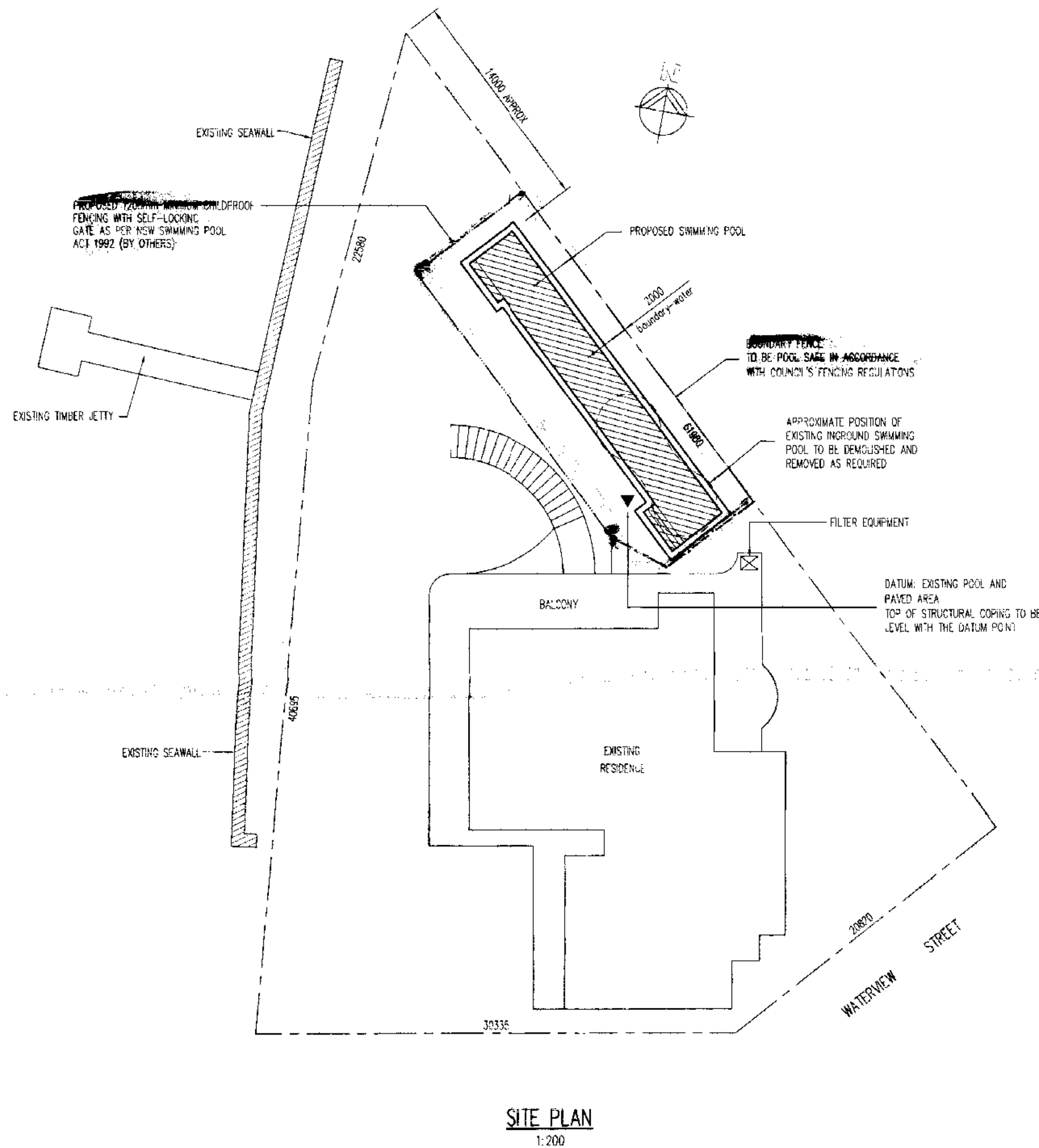
Swimming Pool Stamp
Permits are required to fill all new swimming pools with a capacity greater than 10,000L. Contact Sydney Water on 13 20 92 during business hours. Files of \$220 will apply for filling pools without a permit.

Premier Pools
THE POOL PROFESSIONALS

COPY

SITE ANALYSIS PLAN FOR PROPOSED SWIMMING POOL FOR
RON DEANE
128 WATERVIEW STREET MONA VALE

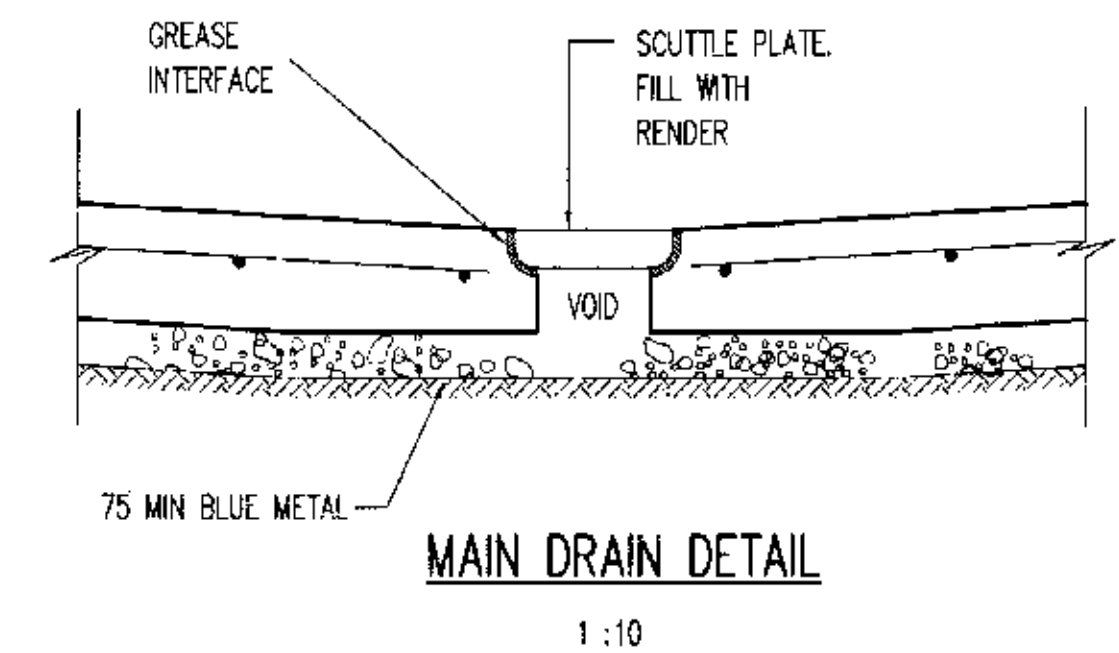
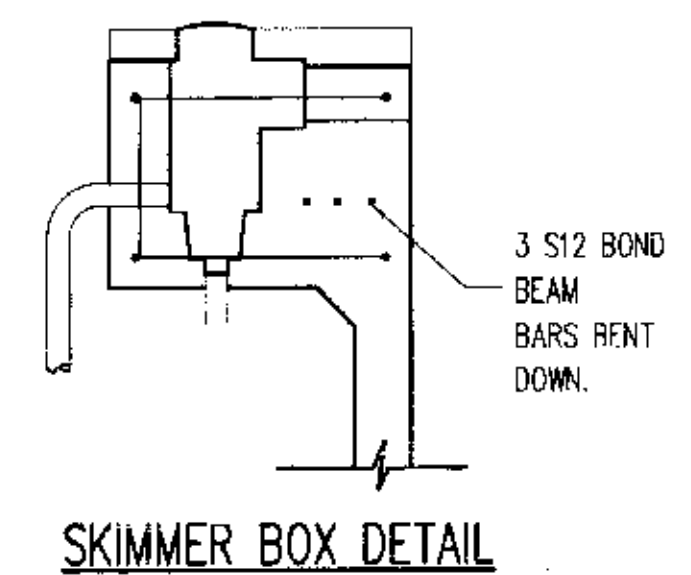
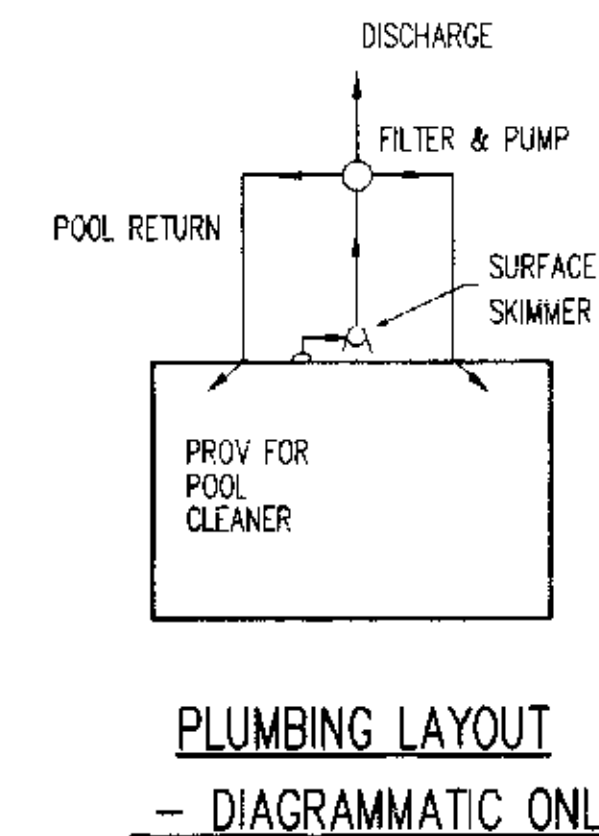
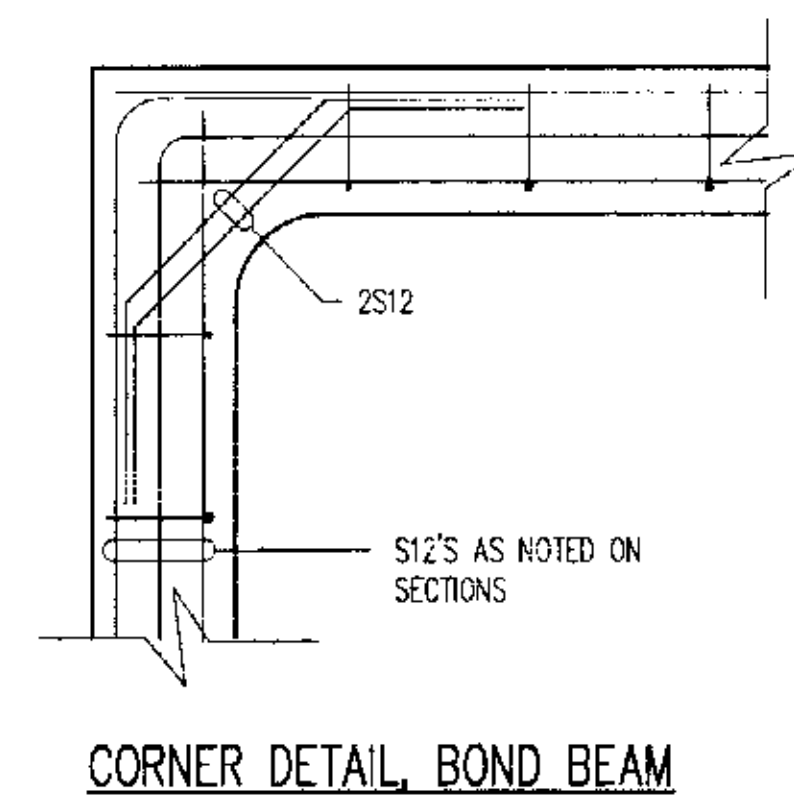
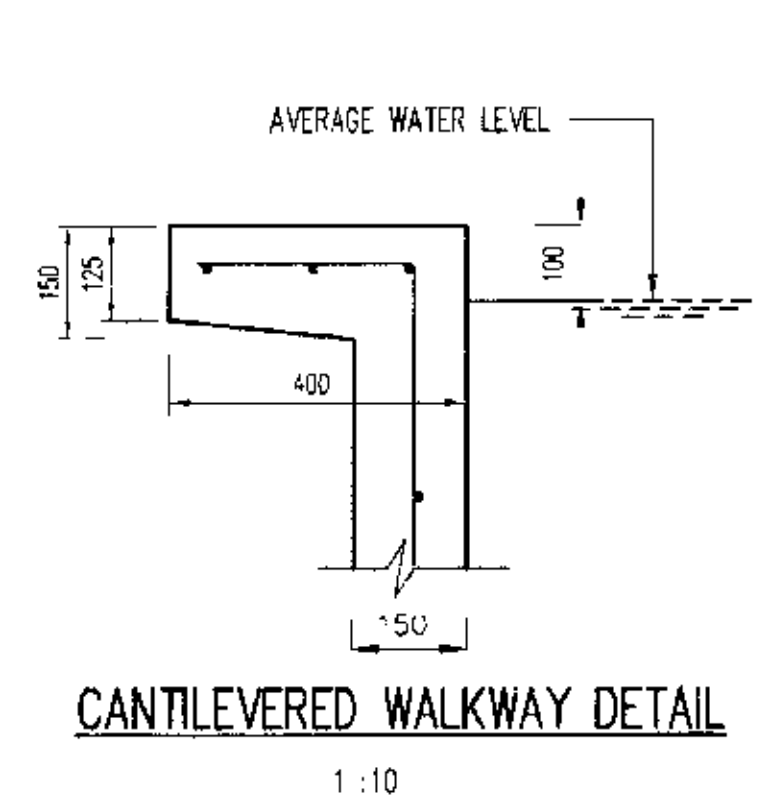
Prepared By: **Paula Brock**
9/2005
Drawing No: SA4615 -1 "B"



LEGEND

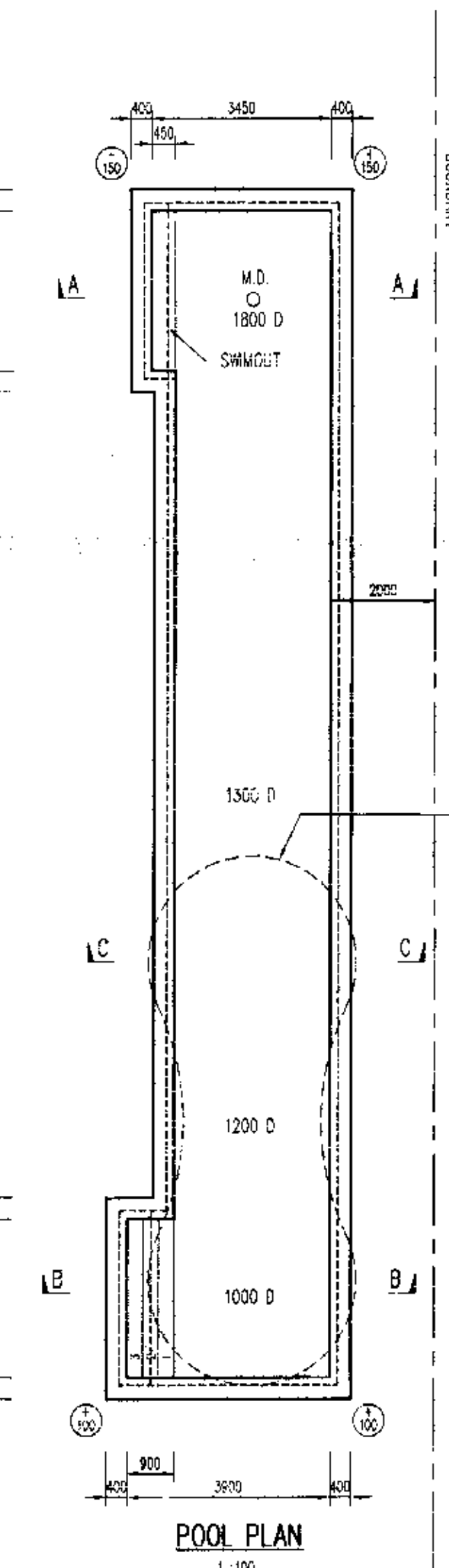
TWL TOP WATER LEVEL
M.D. MAIN DRAIN
D DEPTH
150 LEVEL OF STRUCTURAL COPING ABOVE/BELOW NATURAL SURFACE

LINEAL DISTANCE AROUND WATERLINE OF POOL = 28.6m
AREA OF 400mm COPING = 21.72m²



NOTES FOR OWNERS

- POOL SET OUT**
Pool set-out size, location and height level is deemed to be acceptable to the owner unless the builder is advised otherwise. Such advice must be prior to placement of reinforcement.
 - CURING CONCRETE**
After concreting, the pool shell is to be thoroughly wetted down twice daily for at least (7) days then (10) days in summer.
 - SAFETY FENCING**
Safety fencing is to be Council approved prior to the pool being filled.
 - FILLING POOL**
Filling is to be prevented from switching around during filling. DO NOT use rubber faces.
 - UNDERWATER LIGHTS**
Lights must be fully submerged during use.
 - WALKWAYS AND COPINGS**
Walkways and copings are designed for a 2 kPa live load and are not designed to support accessory effects unless noted otherwise.
- SPECIFICATIONS**
- All workmanship and materials to be in accordance with Australian Standard AS 2783.
 - Site Plan dimensions are to water face U.N.D.
 - Dimensions shall not be obtained by scaling the details.
 - All levels and dimensions are relative to concrete coping level. Fixed Datum represents the fixed coping height/level. Approximate coping levels are represented as follows:
a) NA - 200 represents 200 mm above existing Natural Ground Level
b) NA - 400 represents 400 mm below existing Natural Ground Level
 - Provide filter with matched pump and plumbing to manufacturers recommendations.
 - Supporting soil to be stable natural material with a min. safe bearing capacity of 100 kPa.
 - Advise Engineer if excavation in fill or ground water is encountered. Provide temporary penetrations to floor slab if ground water level exceeds 500 mm above deep floor level.
 - The excavation base is to be provided with an undrained drainage layer as follows:
a) 75 min. blue metal drainage layer or 50 min. thick layer with plastic over.
b) Compacted iron shoring & membrane 1 over rock.
c) Plastic layer only if base is entirely in sand.
d) Main Drain pit is to be blue metal fill irrespective of drainage layer type.
 - All reinforcement to be of Australian Manufacture in accordance with S.A.A. Standards:
S - Grade 230 structural grade deformed
Y - Grade 410 temporary grade bars
R - Grade 230 plain grade round
F - Grade 450 hard drawn wire fabric.
 - Reinforcing bars, unless noted otherwise, are to be lapped 40 bar diameters min, fabric to be lapped 400mm min. All laps should preferably be staggered.
 - All reinforcing to be securely supported by bar chairs at 1000 mm ca.
 - Minimum concrete cover to reinforcement from closest concrete surface to be as follows:
Water face Salt Chlorinator: 65mm
Water face standard chlorinator: 50mm
Coping/walkway surface: 50mm
Rear face, formed: 40mm
Rough ground: 65mm.
 - Concrete to be pneumatically placed, have a min design strength of F_c 25 MPa at 28 days except:
A) Where structure located < 1m from large expanses of water - concrete design strength min. F_c 30 MPa at 28 days.
B) Where structure is located in tidal or splash zone of salt water - 40 MPa at 28 days.
 - Upon completion of concreting the hydrostatic valve is to be cleaned & checked to ensure correct operation.



APPROXIMATE POSITION OF EXISTING INGROUND SWIMMING POOL TO BE DEMOLISHED AND REMOVED AS REQUIRED

The stamping of this plan by Inland Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the stamped details and Certificate of Approval.

insight building certifiers pty ltd

CONSENT NO. 502/05 DATE 19/10/05

CONSTRUCTION CERT. NO. 2005/927

CONSTRUCTION CERTIFICATE PLANS

1 Nov 2005

100 Anderson Street, Sydney NSW 2000

Premier Pools
THE POOL PROFESSIONALS

Business Unit Manager: Mr. MPT
Premier Pools Pty Ltd ABN: 622 884665
2/300 Pacific Hwy Lindfield NSW 1591
Telephone: 9416 0000 Facsimile: 9416 0000

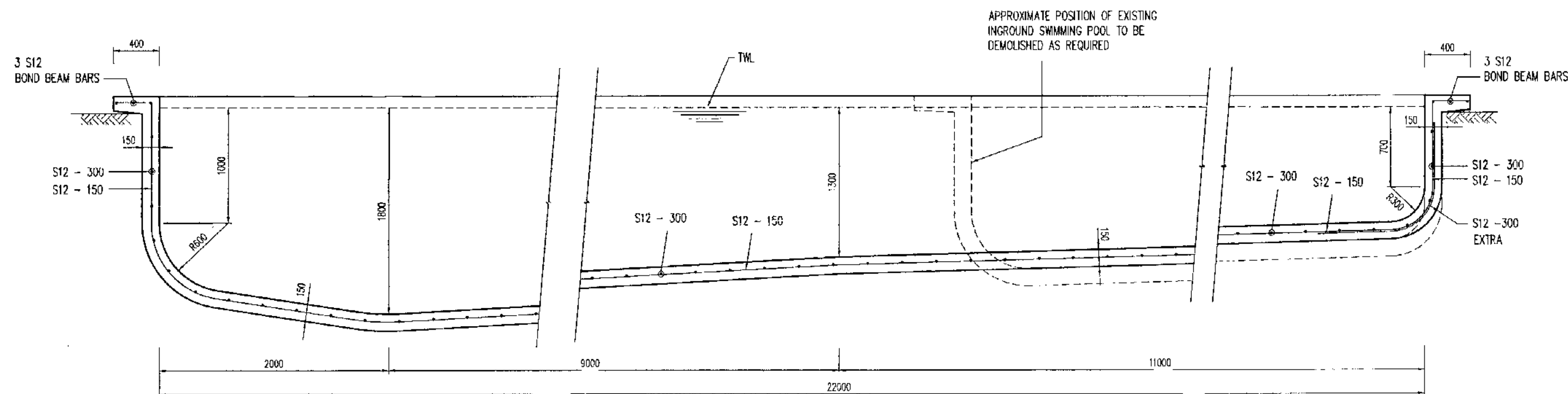
Neilly Davies & Partners Pty Ltd
Consulting Civil & Structural Engineers
44 Hampden Road, Suite 405, Artarmon, NSW 2060
Tel: (02) 98848637 Fax: (02) 94198241
EMAIL: neillydavis@aoptusnet.com.au

RON DEANE
128 WATERVIEW STREET
MONA VALE

SWIMMING POOL DETAILS

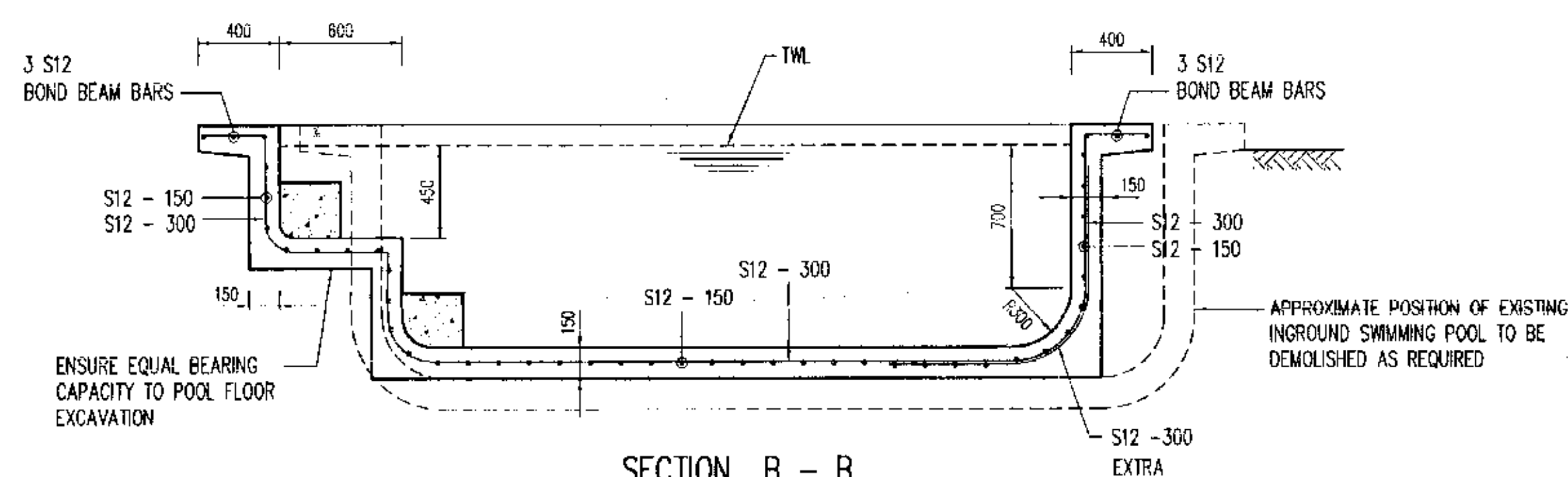
REVISION	DATE	DESCRIPTION	BY	CHECKED	DATE	DESIGN	DRAWN	DATE	NO.

FROM 06 MARCH 2005
SEPT. '05 AS SHOWN KA 1/2 4615



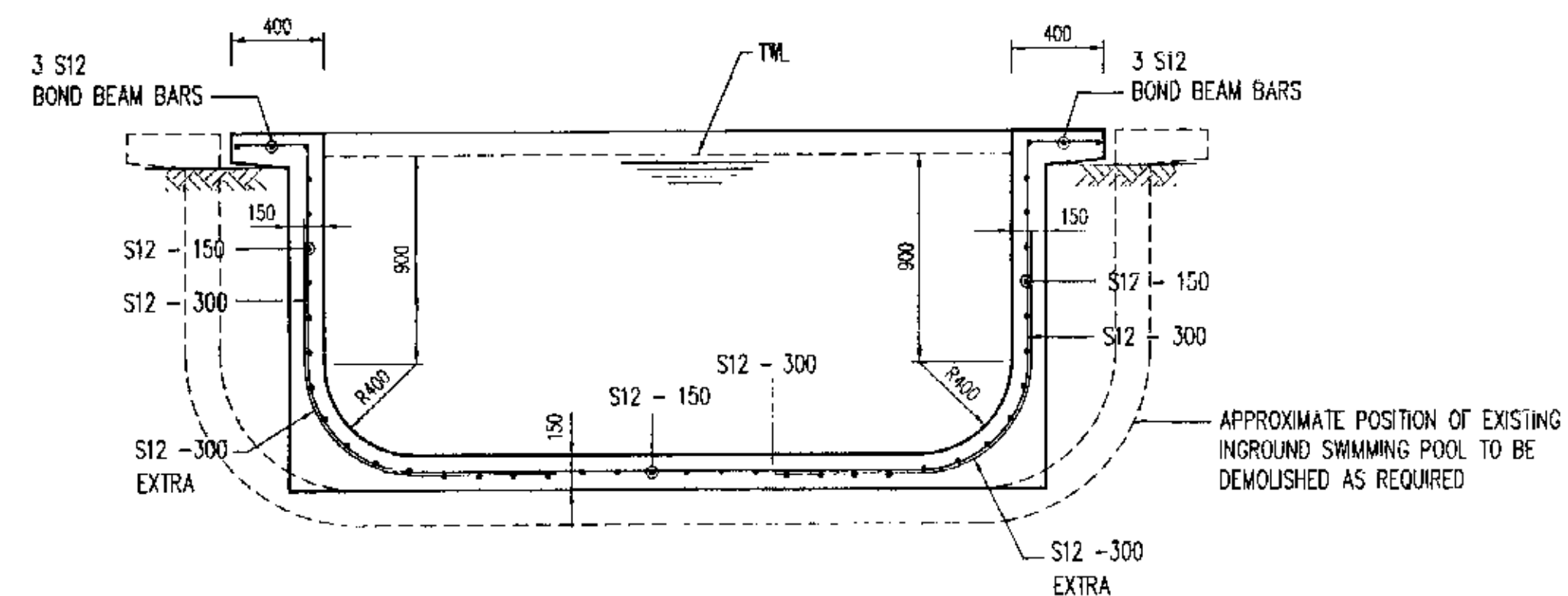
LONGITUDINAL SECTION

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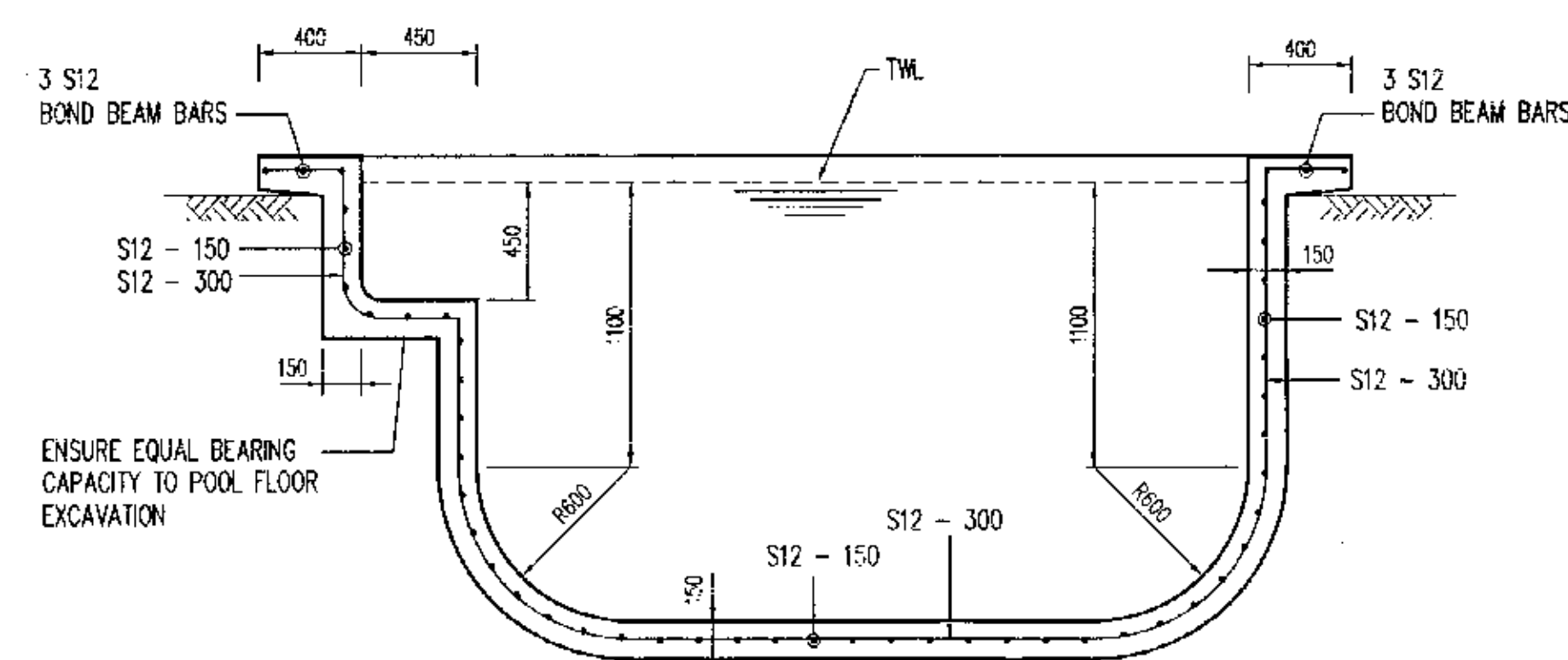
SECTION B - B

1:25



SECTION C - C

1:25



SECTION A - A

1:25

NOTE

ALL REINFORCEMENT TO BE S12 - 300 EACHWAY
UNLESS NOTED OTHERWISE

POOL SHELL TO BE 150mm THICK
UNLESS NOTED OTHERWISE

LEGEND

- TWL TOP WATER LEVEL
- M.D. MAIN DRAIN
- D DEPTH
- ⊕ LEVEL OF STRUCTURAL COPING
ABOVE/BELOW NATURAL SURFACE

Premier Pools
THE POOL PROFESSIONALS

POOLERS BUILD (LONDON) LTD. BUILT:
Premier Pools Pty Ltd, A.C.N. 005 864088
8/200 Pacific Hwy, Lindfield, NSW 1585
Telephone: 9415 0000 Fax: 9415 0000

Neilly Davies & Partners Pty Ltd

Consulting Civil & Structural Engineers ABN 27084944614
44 Hampden Road, Suite 405, Artarmon, NSW 2064
Tel: (02) 98848637 Fax: (02) 94198241
EMAIL: neillydavis@aoptusnet.com.au

RON DEANE
128 WATERVIEW STREET
MONA VALE

SWIMMING POOL DETAILS

CAD FILE

REVISION	DATE	DESCRIPTION	BY	CHECKED	DATE	SCALE	DRAWN	ENG NO.	SER NO.
				Yurano	SEPT. '05	AS SHOWN	KA	2/2	4615