



ACN 129941322
PO Box 80, Thornleigh NSW 2120
ph 9980 2155 fax 9980 2166 E mail admin@fbcc.com.au

CONSTRUCTION CERTIFICATE No

2011/029

Signature

Approval Date

10/06/11

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received

08/04/11

COUNCIL

Pittwater

DEVELOPMENT CONSENT NO

N0090/11

APPROVAL DATE

03/05/11

Name of Certifying Authority

Fitzgerald Building Certifiers Pty Ltd

Accredited Certifier Mathew Bodley

BPB 0037

Accreditation Body

BUILDING PROFESIONALS BOARD

Applicant

Jason & Kerrie Alderton C/- Tullipan Homes Pty Ltd

Address

PO Box 5148 Chittaway Bay NSW 2261

Contact Number

4353 8644

**Council
Copy**

Owner

Jason & Kerrie Alderton

Address

23 Orchard St, Warriewood

Subject Land Lot

302

DP

1065723

No

23

Orchard St Warriewood

Description of Development –

Construction of a new dwelling

Building Code of Australia Classification

1a

Value of Work \$

373 894 00

Builder Details

Name

Tullipan Homes Pty Ltd

Licence Number

131446C

Address

PO Box 5148, Chittaway Bay NSW 2261

Contact Number

4353 8644

RECEIVED

20 JUN 2011

PITTWATER COUNCIL

Approved Plans And Documents

Plans Prepared By		Drawing Nos	Dated
Tullipan Homes Pty Ltd		BT31-11, Sheets 1 - 7	11/03/11
Canvas		CC-L101	12/05/11
Engineer Details		Drawing Nos	Dated
Rafeletos Zanuttini		Sheets 1 - 5	08/04/11
Tullipan Homes Pty Ltd		BT31-11 Stormwater plan	11/03/11
Basix Certificate		Certificate No	Dated
		266377S	17/03/11

SCANNED

20 JUN 2011

PITTWATER COUNCIL

RW 303 496

Esti

FRINA NSW

Date _____

7/6/11

T FORM

NG CAPITALS

Pay LONG SEVEN EIGHT FIVE DOLLARS

~~for bearer~~ \$ 1225.00

St George Bank

A Division of Westpac Banking Corporation

Kogarah 4 16 Montgomery Street NSW

st.george

date 10/06/11

Pay LONG SERVICE LEAVE BOARD

the sum of EIGHTY FOUR DOLLARS \$ 84 00

IQ INOV8 PTY LTD
ACN 142 505 342

11000289 11 1 2 8 7 9 4 5 6 4 5 4 7 6 4

PART C – DETAILS OF WORK – To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area

1 DAY/CC/CDC No

Estimated value
of work (see note on back)

Pittwater
Coqo/11

\$ Levy payable \$

¹ If you have provided a CC above please provide DA number here

Name of Officer/Private Certifier Mathew Rodley

Business hours phone 99802155

PART D - DETAILS - To be completed by Dept/Authority where applicable - see reverse

Department/Authority

Contract/DA No (circle which)

Levy payable

Contact person (Print)

Phone number

Contact person (Signature)

Date _____

PART E – DECLARATION – To be signed by person liable to pay levy or authorised officer if company/organisation

Any false or misleading information provided on this form may result in prosecution under Section 58A

I hereby declare that the information provided on this form is true and correct to the best of my knowledge.

Name Lawler

Signature *K C Glosa*

Date D

PART F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No

Building and Construction Industry Long Service Payments Corporation Locked Bag 3000 Central Coast MC NSW 2252
Tel 13 14 41 Fax (02) 9287 5685 Email levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808

May 09/180



1-3 Thornleigh St,
Thornleigh NSW 2120
P 9980 2155
F 9980 2166
E admin@fbcc.com.au

SECTION 1 APPLICATION FORM
APPLICATION FOR CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE
Principle Certifying Authority Agreement
Issued under the Environmental Planning & Assessment Act 1979

Privacy policy – The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact FBC Certifiers if the information you have provided in your application is incorrect or requires modification.

- ☒ **Construction Certificate**
☐ **Complying Development Certificate**
☐ **Application for Occupation Certificate**
☐ **Engagement As PCA**

Dev Application No 90/11

Approval Date 3 5 11

APPLICANT (This Must Be The Owner/Authorised Agent)

Name/s

Postal Address

Ph

Email

Tullipan Homes P/L
PO Box 5148
CHITTAWAY BAY NSW 2261
Ph 02 4353 8644

LAND TO BE DEVELOPED

Address 23 ORCHARD ST WARRIEWOOD

Lot 302

DP 1065723

DETAILS OF DEVELOPMENT

Description of work RESIDENTIAL DWELLING

Estimated Cost of Works \$349,000.

DETAILS OF BUILDER

Name

License No 131446C

Address

Ph No

Tullipan Homes P/L
PO Box 5148
CHITTAWAY BAY NSW 2261
Ph 02 4353 8644

Section 4 Owners Declaration/Signatures

OWNERS DECLARATION

I, the aforementioned person or authorised representative of a legal entity as described as the Applicant In Section 1 of the Application Form hereby declare the following

- 1 I, to the best of my knowledge, have completed all details in the Application Form in a correct and accurate manner and hereby indemnify FBC Certifiers against any damages, losses or suffering as a result of incorrect information provided under that section
- 2 I have obtained consent from the owner/s of the property as indicated in the PARTICULARS section to apply and obtain a Construction Certificate Such written consent will be provided with this application
- 3 I have read, understood and hereby accept the terms and conditions outlined in Section 2 of this form
- 4 I understand that the Application for a/the Construction Certificate is not complete until all required documentation has been received by FBC Certifiers
- 5 I understand that the Application for and acquisition of a/the Construction Certificate does not authorise Commencement of Building Work (Refer to appointment of PCA on FBC Certifiers PCA Form)

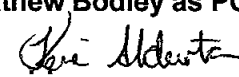
As owners of the above mentioned property we consent to this application

As owners of the above mentioned property I/we wish to appoint Mathew Bodley as PCA

Owners Signature/s



Owners Signature/s



Name/s

JASON ALDERTON

Name/s

Kerne Alderton

Date

5/4/11

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number 366377S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2009 published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue Thursday 17 March 2011



Project summary		
Project name	Tullipan - Alderton	
Street address	23 Orchard Street Warriewood 2102	
Local Government Area	Pittwater Council	
Plan type and plan number	deposited 1065723	
Lot no	302	
Section no	-	
Project type	separate dwelling house	
No of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 45	Target 40

This plan forms part of the approved
Certificate as issued by
FBC Certifications Pty Ltd

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	Efficient Living Pty Ltd
ABN (if applicable)	82 116 346 082

Description of project

Project address	
Project name	Tullipan - Alderton
Street address	23 Orchard Street Warriewood 2102
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 1065723
Lot no	302
Section no	0
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	468
Roof area (m²)	210
Conditioned floor area (m2)	193
Unconditioned floor area (m2)	26
Total area of garden and lawn (m2)	261

Assessor details and thermal loads	
Assessor number	20101
Certificate number	85849298
Climate zone	56
Area adjusted cooling load (MJ/m² year)	21
Area adjusted heating load (MJ/m² year)	24
Other	
none	n/a
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 45 Target 40

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but ≤ 9 L/min) in all showers in the development		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 209.64 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam)		✓	✓
The applicant must connect the rainwater tank to			
all toilets in the development		✓	✓
the cold water tap that supplies each clothes washer in the development		✓	✓
at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓	✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method				
The applicant must attach the certificate referred to under Assessor Details on the front page of this BASIX certificate (the Assessor Certificate") to the development application and construction certificate application for the proposed development (or if the applicant is applying for a complying development certificate for the proposed development to that application) The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development				
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol				
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate including the Cooling and Heating loads shown on the front page of this certificate				
The applicant must show on the plans accompanying the development application for the proposed development all matters which the Assessor Certificate requires to be shown on those plans Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate if applicable) all thermal performance specifications set out in the Assessor Certificate and all aspects of the proposed development which were used to calculate those specifications				
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications			✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below		✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development or a system with a higher energy rating gas instantaneous with a performance of 5 stars		✓	✓	✓
Cooling system				
The applicant must install the following cooling system or a system with a higher energy rating in at least 1 living area 3 phase airconditioning Energy rating EER 2.5 - 3.0			✓	✓
The applicant must install the following cooling system or a system with a higher energy rating in at least 1 bedroom 3-phase airconditioning, Energy rating EER 2.5 - 3.0			✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms			✓	✓
Heating system				
The applicant must install the following heating system or a system with a higher energy rating in at least 1 living area gas fixed fueled heater Energy rating 3 Star			✓	✓
The applicant must install the following heating system or a system with a higher energy rating in at least 1 bedroom 3-phase airconditioning Energy rating EER 3.0 - 3.5			✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development				
At least 1 Bathroom no mechanical ventilation (ie natural) Operation control n/a			✓	✓
Kitchen individual fan not ducted Operation control manual switch on/off			✓	✓
Laundry natural ventilation only or no laundry Operation control n/a			✓	✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting		✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting		✓	✓	✓
Other				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling			✓	

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a fixed outdoor clothes drying line as part of the development			✓	

Legend	
In these commitments	applicant means the person carrying out the development
Commitments identified with a ✓	in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)
Commitments identified with a ✓	in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development
Commitments identified with a ✓	in the Certifier check column must be certified by a certifying authority as having been fulfilled before a final occupation certificate(either interim or final) for the development may be issued

Home Warranty
Insurance
Certificate of Insurance

Policy Number
BN-0040168-BWI-6



**Home Warranty
Insurance Fund**

Level 3 85 Harrington St
SYDNEY NSW 2000
Phone 1300 790 723
Fax 02 8275 9330
ABN 78 003 191 035
AFS License No 239545



JASON & KERRIE ALDERTON
PO BOX 1119
MONA VALE 2103

Name of Intermediary
OXLEY INSURANCE BROKERS

Account Number
BN-2102226

Date Issued 21/04/2011

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund

In Respect of NEW SINGLE DWELLING CONSTRUCTION SPECULATIVE

At 23 ORCHARD STREET
WARRIEWOOD NSW 2102

Carried Out By BUILDER
TULLIPAN HOMES PTY LTD
ABN 56 001 299 672

Declared Contract Price \$373 894 00

Contract Date 05/04/2011

Builders Registration No U 131446C

Building Owner / Beneficiary JASON & KERRIE ALDERTON

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title

Signed for and on behalf of NSW Self Insurance Corporation

IMPORTANT NOTICE

This Certificate must be read in conjunction with the Policy Wording and kept in a safe place
These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover

CONSTRUCTION NOTES

GENERAL UNLESS NOTED OTHERWISE

THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING. ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY.

UNLESS REQUESTED AND PRODUCED ON THE PLANS, THE BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THAT THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.

BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK, AC HWIS AND LPG UNITS.

CONCRETE SPECIFICATION (f_c 28 DAYS) TO BE AS FOLLOWS. ADOPT TYPE A CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP.

LOCATION	NORMAL f _c	SALINE AFFECTED f _c
PIERS	15 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE FOLLOWS
(N) HOT ROLLED DEFORMED BARS (400 n)
(SL) HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)
(S) STRUCTURAL GRADE DEFORMED BARS
NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.

CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE.

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK.

FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa. PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa. FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION.
ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.

ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4 OF AS 2870.2 1996.

A 1 METRE WIDE APRON WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE.
IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

- REINFORCED CONC. PIER
- SEWER AFFECTED PIER
- UNREINFORCED CONC. PIER
- ARTICULATION JOINT
- STARTING POINT

DESIGNED TO AS 2870, 1996 SLAB AND FOOTING CODE

STRUCTURAL SLAB DETAIL PLAN

cc 2011/029

CLIENT ALDERTON

LOCATION LOT 302 No 23 ORCHARD STREET WARRIEWOOD

RG SCALE

1 100

SHEET No

1

CLASSIFICATION M

DRAWN

A

DATE

08/04/11

JOB No

47306PB



REFERENCE 5867

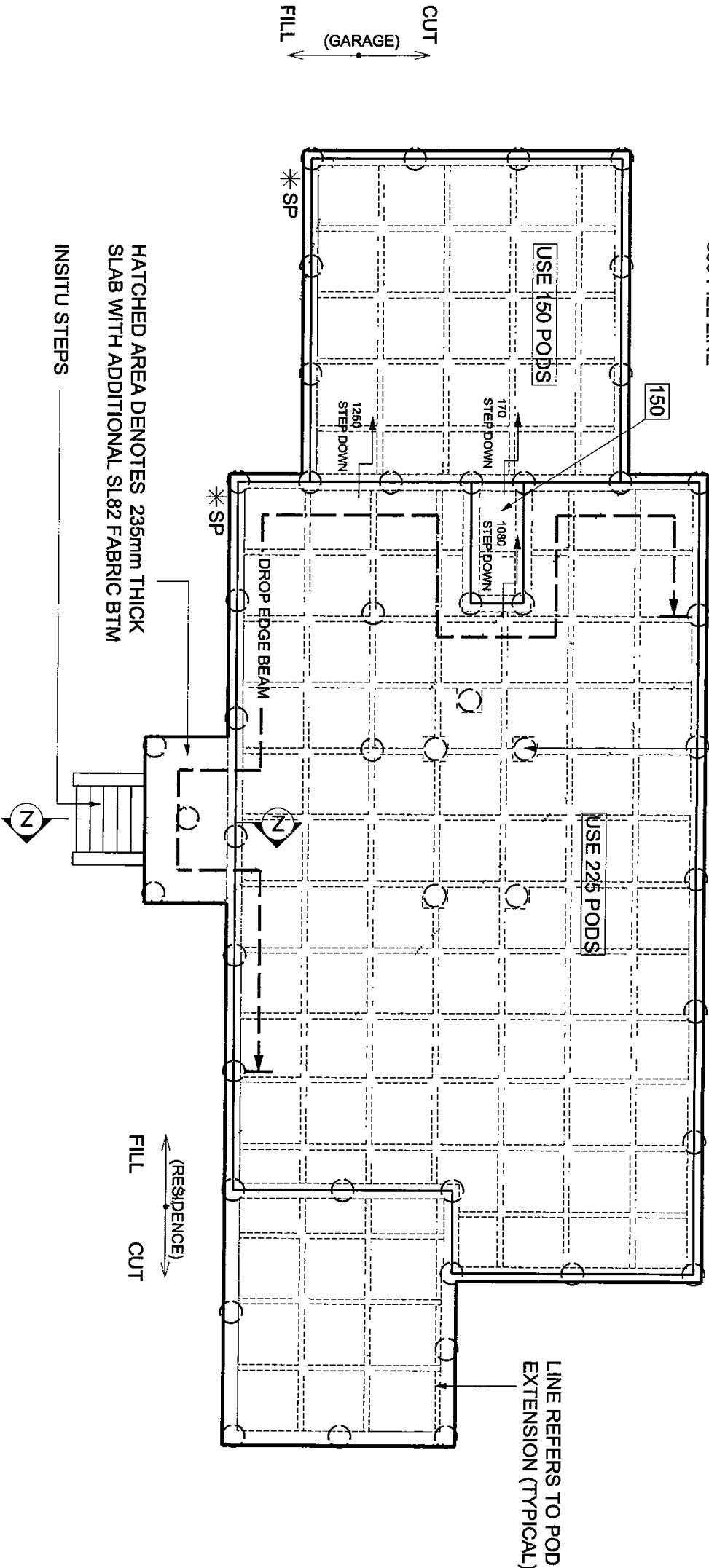
ISSUE

10.6.11

Accurately drawn No 3119 00/37

WAFFLE PODS CUT TO FORM
450 SQUARE x 400 DEEP
MASS CONCRETE PAD TYPICAL

GREATER THAN
300 FILL LINE



HATCHED AREA DENOTES 235mm THICK
SLAB WITH ADDITIONAL SL82 FABRIC BTM

INSITU STEPS

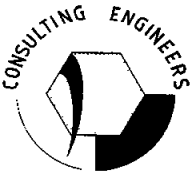
(RESIDENCE)
FILL CUT

REFERENCE HAS BEEN MADE TO GEOTECHNICAL REPORT
PREPARED BY NETWORK GEOTECHNICS P/L DATED 26
NOVEMBER 2003 REFERENCE No G22103/1-D
ALL PIERS ARE TO BE DRILLED MINIMUM 1.0m INTO THE
CONTROLLED FILL

Rafeltos

ABN 35 079 047 486

LEVEL 2 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

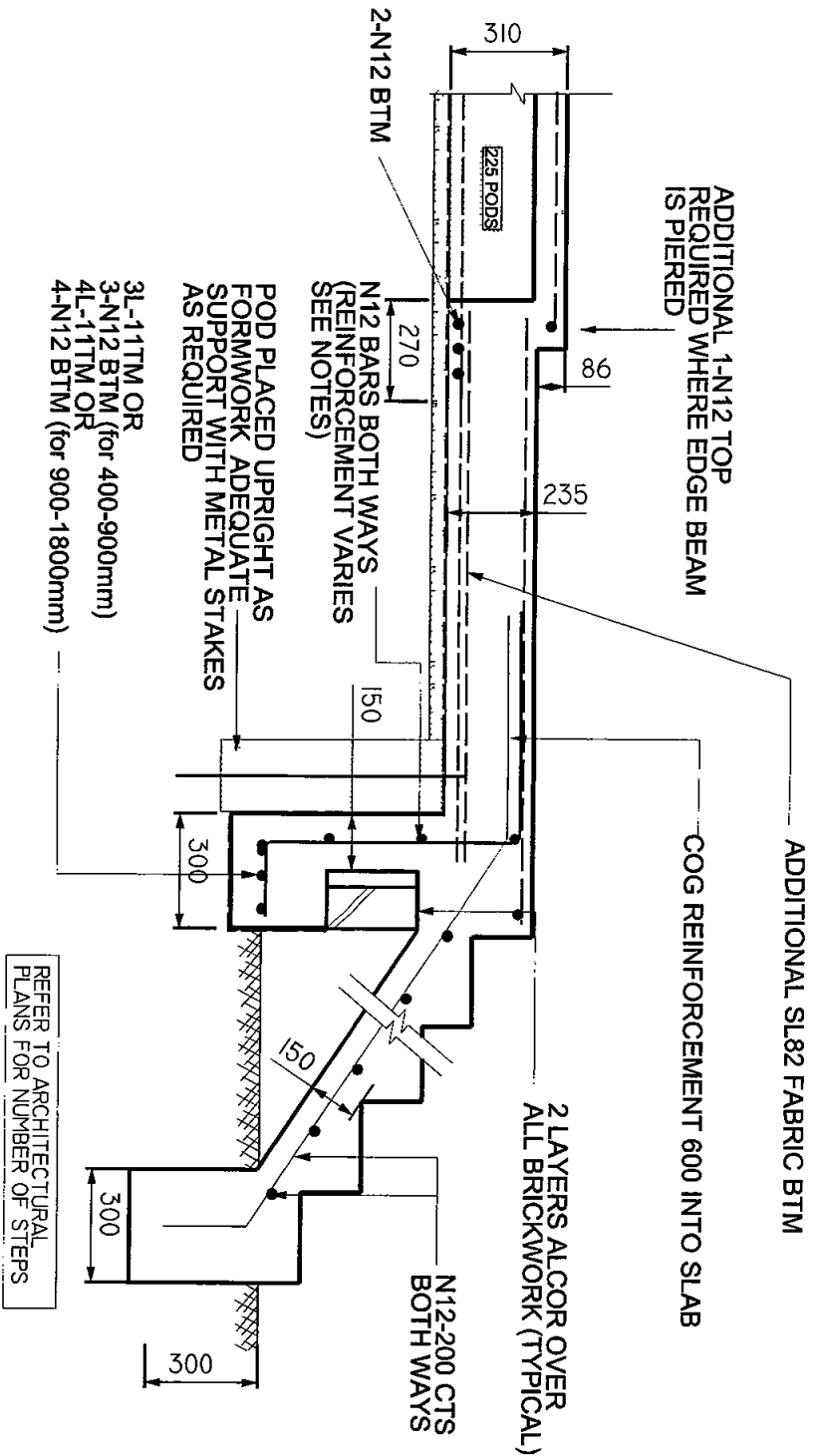


Zanuttini

Pty Ltd

FASCIUMILE (02) 9554 9764
TELEPHONE (02) 9554 9311
EMAIL admin@rafzan.com.au

BE MIE AUST

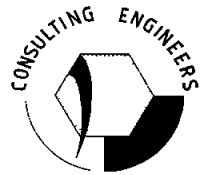


SECTION Z-Z

SCALE 1:20

This plan forms part of the approved Certificate as issued by FBC Certifications Pty Ltd

RAFFLETTOS
ABN 35 079 047 466
LEVEL 2 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

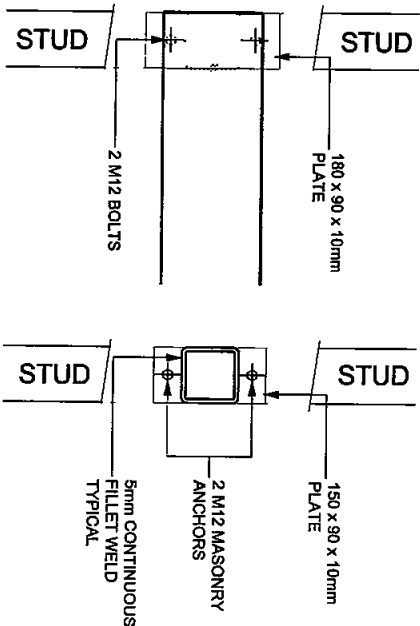
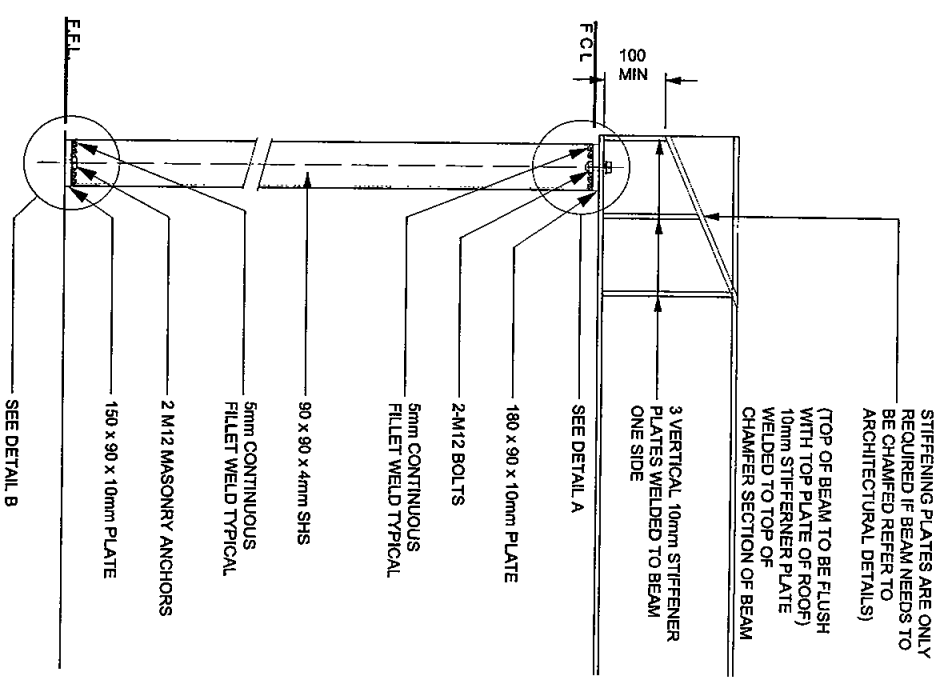
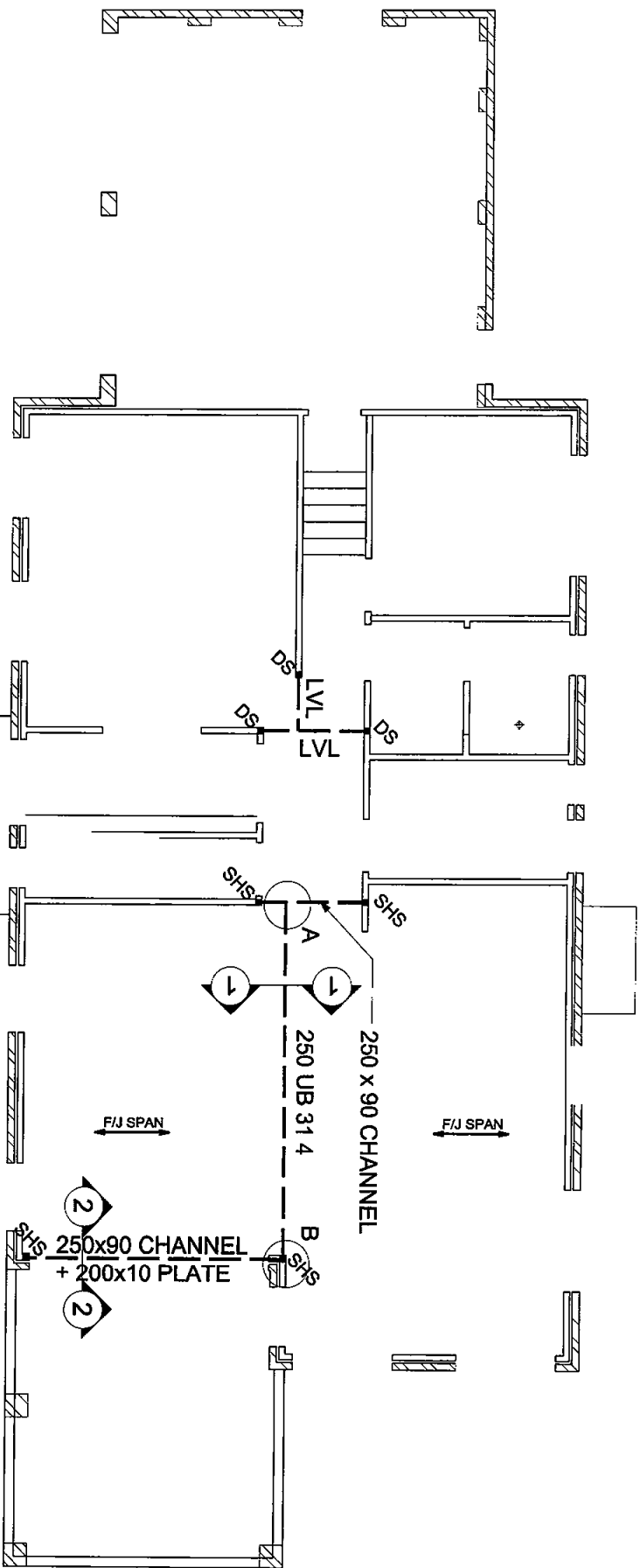


ZANUTTINI
Pty Ltd
FASCLIMILE (02) 9554 9764
TELEPHONE (02) 9554 9311
EMAIL admin@ratzani.com.au

[Signature]
B E MIE AUST



STRUCTURAL SLAB DETAIL PLAN				
CLIENT		ALDERTON		
LOCATION		LOT 302 No 23 ORCHARD STREET WARRIEWOOD		
DRAWN	RG	SCALE	1:20	SHEET No
REFERENCE	5867	ISSUE	A	DATE
		08/04/11	JOB No	47306PB



NOTE

ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSION RESISTANT PRIMER
NOTE: IF BUILDING IS LOCATED WITHIN A CORROSION RISK AREA, THE ENGINEER IS TO BE NOTIFIED AND STEEL BEAMS ARE TO BE GALVANISED
SHS DENOTES SQUARE HOLLOW SECTION OR STEEL POST
BE 90 x 90 x 4mm SHS BUILD POST INTO STUD FRAMEWORK
DS DENOTES 1/90 x 90 HARDWOOD STUDS OR 2/90 x 45 HARDWOOD STUDS
ASHS DENOTES ADJUSTABLE SQUARE HOLLOW SECTION STEEL POSTS

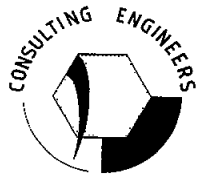
STRUCTURAL STEEL DETAIL PLAN



CLIENT ALDERTON
LOCATION LOT 302 No 23 ORCHARD STREET WARRIEWOOD

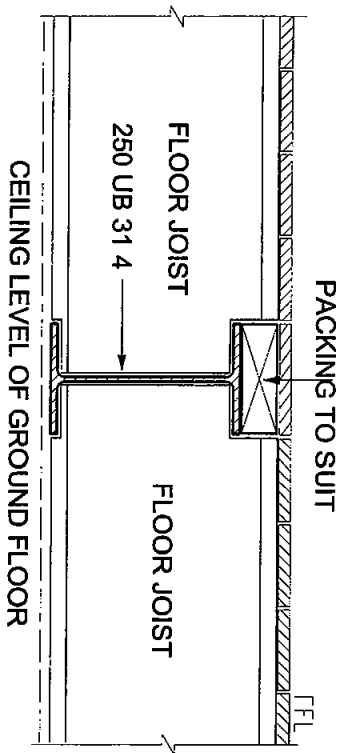
	DRAWN	RG	SCALE	1 100	SHEET No	4	
REFERENCE	5867	ISSUE	A	DATE	08/04/11	JOB No	47306PP

RAFFLETTOS
ABN 35 079 047 466
LEVEL 2 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

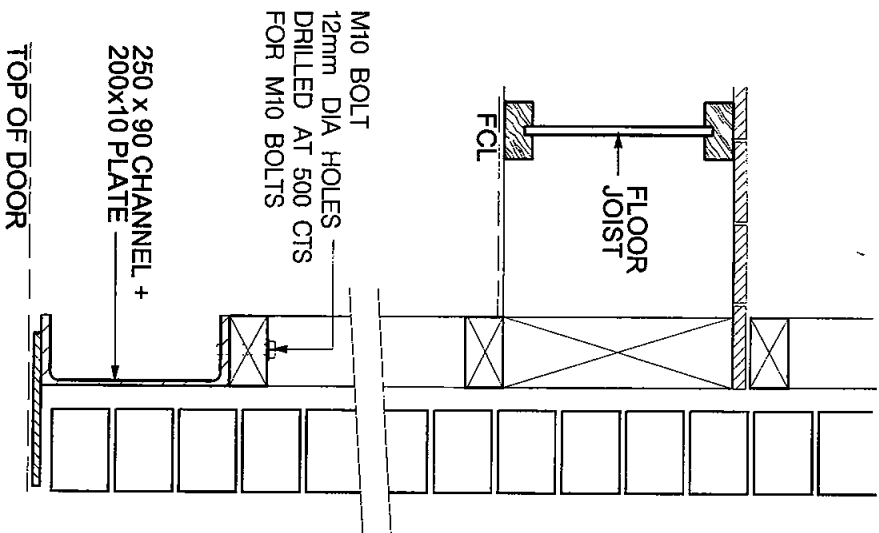


ZANUTTINI
Pty Ltd
FASCILMILE (02) 9554 9764
TELEPHONE (02) 9554 9311
EMAIL admin@zafzan.com.au

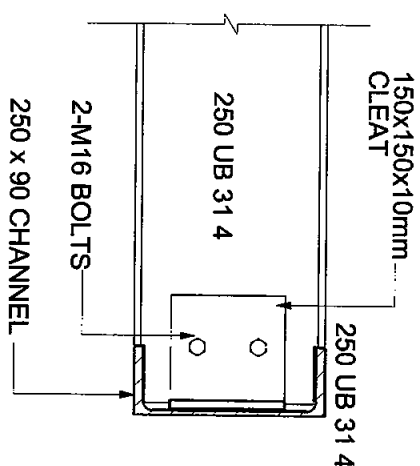
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B E M I E AUST



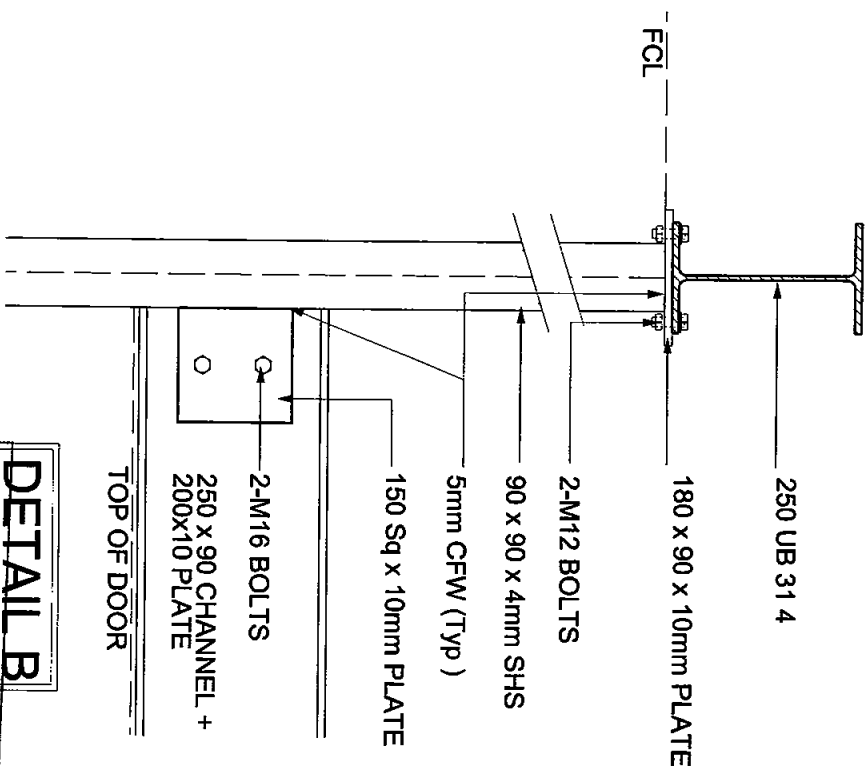
SECTION 1-1
SCALE 1 : 10



SECTION 2-2
SCALE 1 : 10



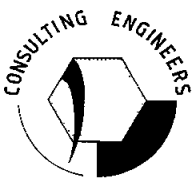
DETAIL A
SCALE 1 : 10



DETAIL B
SCALE 1 : 10

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ABN 36 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



Zanuttini
Pty Ltd
FASCLIMILE (02) 9654 9764
TELEPHONE (02) 9654 9311
EMAIL: admin@rafzan.com.au

[Signature]
B E MIE AUST



STRUCTURAL STEEL DETAIL PLAN

CLIENT: ALDERTON
LOCATION: LOT 302 No 23 ORCHARD STREET WARRIEWOOD

REFERENCE: 5867

DRAWN: RG

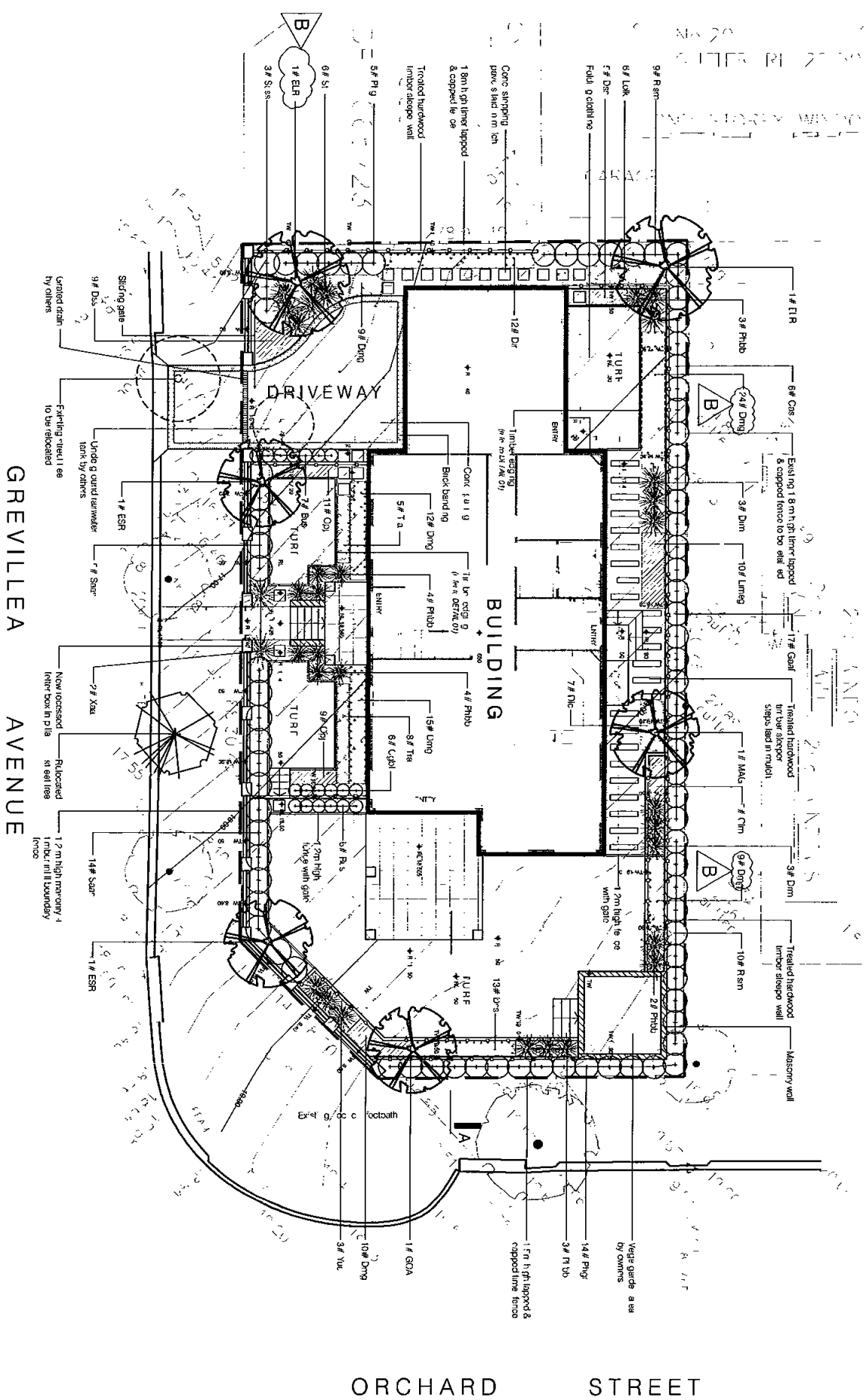
ISSUE: A

SCALE: 1 : 10

DATE: 08/04/11

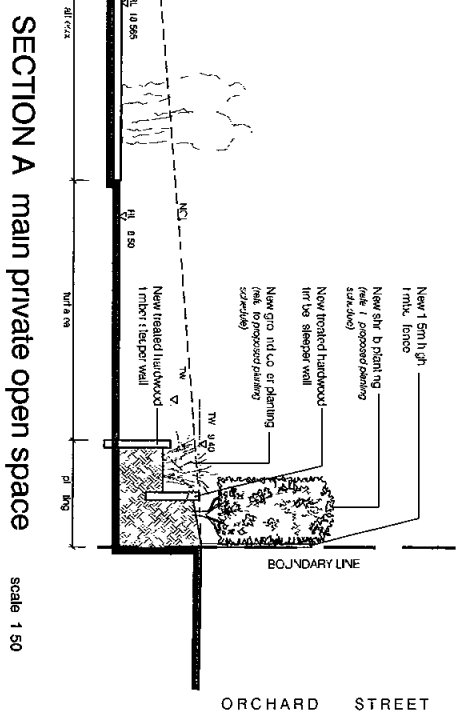
JOB No: 47306PB

SHEET No: 5

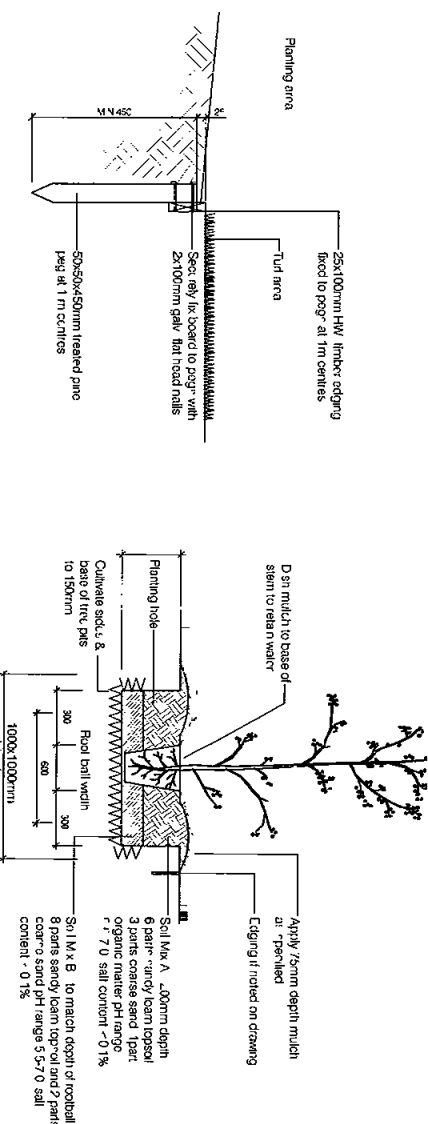


scale 1 100'

GREVILLEA AVENUE



scale 1:10
TYPICAL DETAIL 01 timber edging



scale 1:20

PROPOSED PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	A	B	POT SIZE	MATURE HEIGHT	NO
TREES							
ELA	<i>Eucalyptus albens</i>	Blackbutt A1	F	45L	7m	2	
ESB	<i>Eucalyptus baxteri</i>	Redgum B1	F	45L	8m	1	
GOA	<i>Grevia odorata</i>	Goat's foot	E	45L	4m	1	
MAG	<i>Melaleuca quingens</i>	White Gum	E	40L	5m	1	
SCREEN & BARRIER SHRUBS							
BUS	<i>Ulex europaeus</i>	Black Edging B	E	27L	0.5m	13	
CAS	<i>Cornus assamica</i>	Spreading Cornelia	E	27L	2m	7	
GBF	<i>Gleditsia (1 bulb of tree)</i>	Gold Bitter (1 e Blackbutt)	N	30mm	1.7m	6	
GAU	<i>Grevia odorata</i>	Goat's foot 4d	E	30mm	1.7m	17	
PIR	<i>Protea rubra</i>	Red Protea	E	25L	2m	17	
RIEM	<i>Rivina tomentosa</i>	Nowhere	E	30mm	1.5m	9	
SEAS	<i>Scaevola taccada</i>	Sea Saltwort	I	5L	2m	22	

[illegible]

NOTE

Sold A W I when riding band on "Johnny W I" webbed feet
Said my B N N I was i digno E E t

are of W I wood

I have about half a dozen of them & they are very good for
B C (Cultivation)

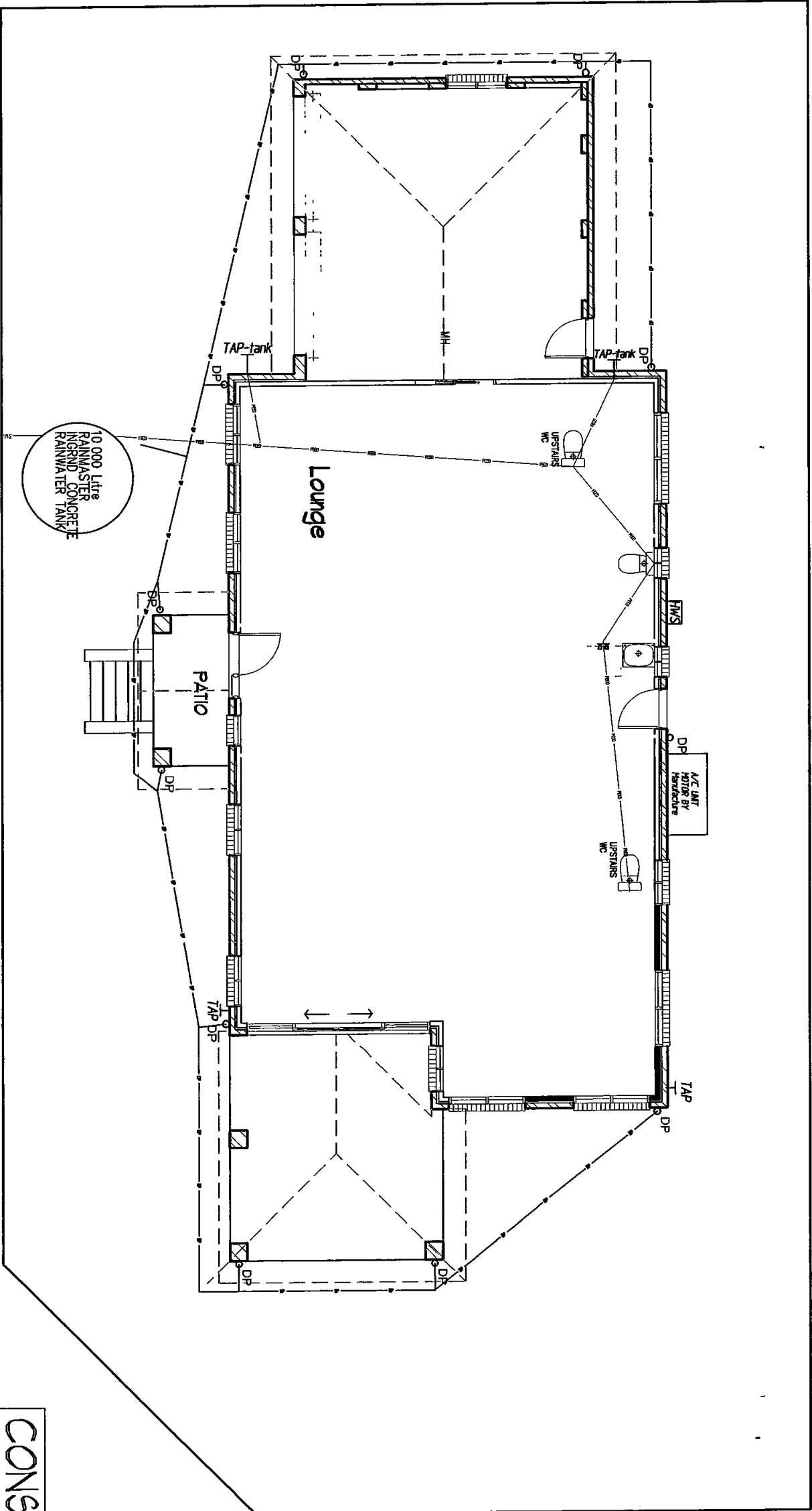
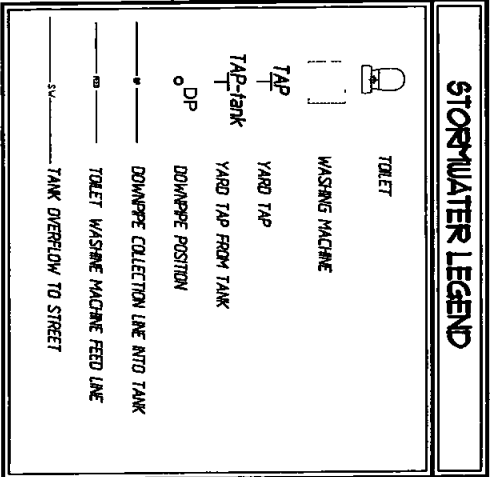
	revision	10% date
scale 1 : 100 & as shown @ al	Murphy	
dwg no CC L101	client approval	Accepted Date: 28/03/17
	A	Date received: 29/03/17 - 10:47

landscape planting plan & section A + typical details	Client J & K Alderton
---	--------------------------

23 Orchard Street, Warriewood NSW 2102

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111 Ex. 144 4 001253
and 060131, 384



CONSTRUCTION PLAN
09/05/2011

WATER MANAGEMENT PLAN

Scale 1:100

CLIENT	J & K ALDERTON
JOB	PROPOSED RESIDENCE
LOCATION	23 ORCHARD STREET WARREWOOD
SHEET	7 OF 11
DATE	11-03-2011
DWG No	BT31-11

plan prepared by
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PROPOSED RESIDENCE

Client: J & K ALDERTON

Site: No.23 ORCHARD STREET
WARRIEWOOD
Lot 302 DP1065723

- AA Front Page
- AO1 Site Plan - Site Analysis
- AO2 Ground Floor Plan
- AO3 First Floor Plan
- AO4 Front and Side Elevations
- AO5 Rear and Side Elevations
- AO6 Section
- AO7 Water Management Plan
- AO8 Electrical Plan Ground Floor
- AO9 Electrical Plan First Floor
- A10 Gas Plan
- A11 Shadows
- A12
- A13
- A14

Assessor # 20101	Certificate # 85849298	Issued 17 Mar-11
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Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value SHGC	Area M	Detail
Not yet specified	Single clear	Aluminium	678	0.72	49	As per plans

Skylights	Product ID	Glass	Frame	U value SHGC	Area M	Detail
-----------	------------	-------	-------	--------------	--------	--------

Any U and SHGC values specified on Certificates issued after 1 May 2007 are according to NRC. All values prior to this date are ASHRAE. Alternate products may be used if their U value is lower and the SHGC value is less than 10% higher or lower.

External walls Construction Insulation

Brick Veneer	R2.0	Medium	SA 0.475	0.7	As per plans
Weatherboard	R2.0	Medium	SA 0.475	0.7	As per plans
Single skin brickwork	None	Medium	SA 0.475	0.7	As per plans

Internal walls Construction Insulation	Detail
Plasterboard on studs	As per plans

Floors	Construction	Insulation	1 st Covering	Detail
Concrete		Waffle pod	Ceramic Tile Carpet	Carpet to lounge tiles everywhere else
Timber	None		Carpet	Upper floor to all areas but wet areas

Ceramic Tile		Upper floor to wet areas
Ceilings	Construction	Insulation
Plasterboard	R3.0	Detail
		As per plans

Roof	Construction	Insulation	Colour	Detail
Roofing Tiles		Foil (Sealation)	Dark SA > 0.7	As per plans

Window cover Internal (outlets)	External (awnings, shutters etc)
Not yet specified	None

Fixed shading	Eaves (width, line gutters height above windows)	Verandahs, Pergolas (type description)
450	0	As per plans
		Covered Alfresco and Patio
		As per plans

Overshading Overshadowing structures	Overshading trees
N/A	N/A

Orientation Exposure Ventilation and Infiltration					
Orientation of normal north	279	Living area open to entry	Yes	Ventilated skylights	No
Terrain category	Suburban	Living areas separated by doors	No	Open fire or unlit gas heater/no	No
Roof ventilation	Unventilated	Stair open to heated areas	Yes	Vented downlights	No
Cross ventilation	Standard	Seals to windows and doors	Yes	Wall and ceiling vents	No
Subfloor ventilation	On ground	Exhaust fans without dampers	No		

Site Details	
Site Area	4675 m2
Roof Area	20964 m2
Harvested Roof Area	20964m2
Total Garden & Lawn Area	2605 m2

Thermal Performance Commitments	
General	
Default Wall Cover	Medium roof color - dark
R3.0 to ceiling & R2.0 to brick veneer walls & light weight construction	
Weather strips to all external doors and windows	
BASIX Water Commitments	
Fixtures	
Install Showerheads minimum rating of 3A in all showers	
Install Toilet flushing system with a minimum rating of 3A in each toilet	
Install Taps with minimum rating of 3A in kitchen	
Install Basin Taps with minimum rating of 3A in each bathroom	
Alternative Water	
Install rainwater tank - 10m ³ Tank connected - toilets cold water tap to clothes washer min one yard tap	
BASIX Energy Commitments	
Hot water	
gas instantaneous - minimum 5 Star	
Cooling system - 3 Phase airconditioning EER 2.5-3.0	
Heating system - 3 Phase airconditioning EER 3.0-3.5	
Ventilation	
Kitchen - individual fan & Laundry ensuite & bathroom - Natural Ventilation	
Other	
Install gas CT & electric oven	
Outdoor clothes drying line provided	

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ph 4351 8968
fax 4353 8655
email buildtech@ncl.com.au
BUILDING DESIGNERS ASSOCIATION OF NEW SOUTH WALES INC.
Membership No 530099

ABSAS

Assr # 20101 Cert # 85849298

Sign Date 17/03/11

This is the plan/spec referred to in
the Certificate issued by
CC 201102A
10-6-11

Accreditation No. 1028-000-7

Santa Cruz Mod.

(A) - EASEMENT TO DRAIN WATER 1.5 WIDE (DP 1065723)
(D) - EASEMENT FOR DRAINAGE OF WATER 1.5 WIDE (DP 1048219)

301

DP 1065723

TWO STOREY
BRICK RENDERED
RESIDENCE
TILE ROOF

MGA NORTH (ZONE 56)

TWO STOREY
BRICK RENDERED
RESIDENCE TILE ROOF
No 20
GUTTER RL 22.50

2ND STOREY WINDOWS

GARAGE

BALCONY

DP 1065723

303

PROPOSED
RESIDENCE

LOT 302
DP 1065723
467.5m²
VACANT

ORCHARD STREET

ORCHARD STREET

GREVILLEA

AVENUE

Site Plan - Site Analysis

SCALE 1:200

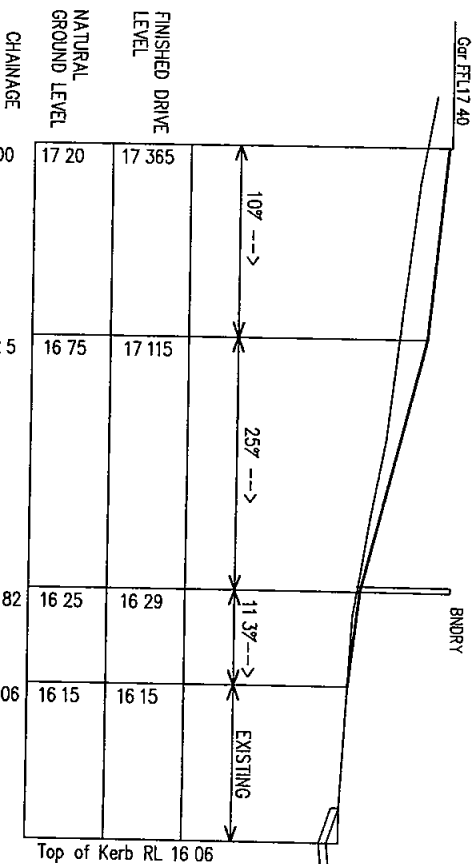
LEGEND

- ▲ BENCH MARK
- ◻ TELEPHONE PIT
- M WATER METER
- TREE D= DIAMETER TRUNK S= SPREAD OF CANOPY H= HEIGHT
- ⊠ WATER HYDRANT
- ⊡ STOP VALVE
- ⊙ SEWER MAINTENANCE HOLE
- ⊙ ELECT LIGHT POLE
- POLE
- POWER POLE
- TELSTRA
- ⊠ STORMWATER
- ⊠ ELECTRICITY
- ⊠ GRATE
- ⊠ GAS METER
- ⊠ GATE
- ⊠ MAN HOLE
- ⊠ TAP
- ⊠ INSPECTION HOLE
- ⊠ GULLY PIT

RETAINING WALLS SHOWN INDICATIVE ONLY
FINAL LOCATION AND LENGTH TO BE
DETERMINED ON SITE REFER ENGINEERS
DETAIL ON MATERIAL SIZING DRAINAGE AND
CONSTRUCTION METHODS

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DRIVEWAY LONGITUDINAL SECTION

SCALE 1:10

PROPOSED DRIVEWAY

PROPOSED DRIVEWAY

APPROVED DEVELOPMENT

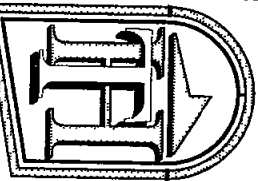
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Certificate is issued by
Site Area 467.5 sqm

Floor space ratio 0.50 1
Site cover 179.10 sqm
Drive/paths 279.0 sqm
Open space 55%

plan prepared by

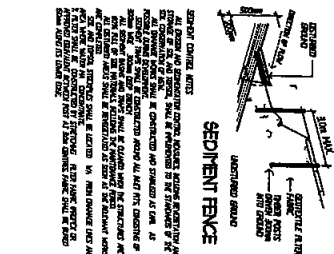
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Suite 18 - No 1 RELIANCE DRIVE
TUGGERAH N.S.W 2259
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email buildtech@net.au

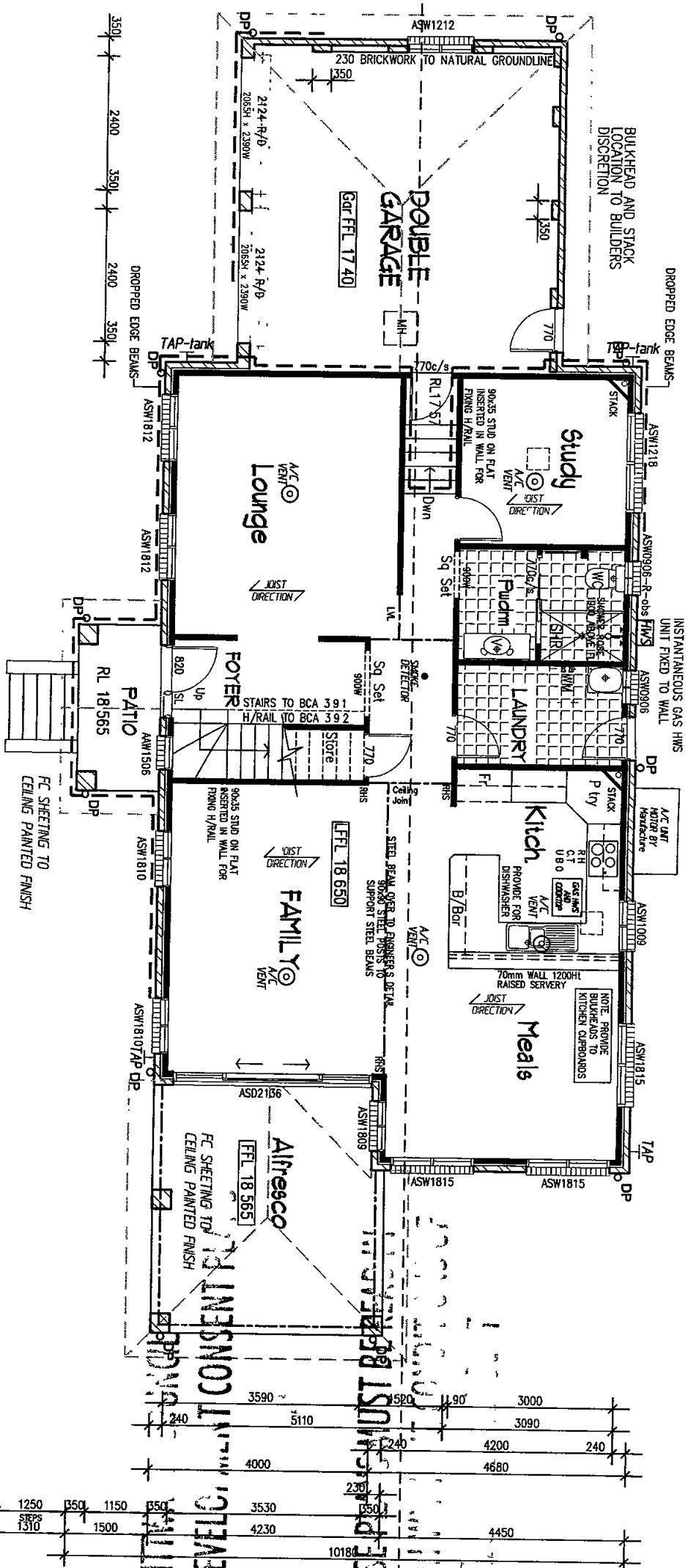
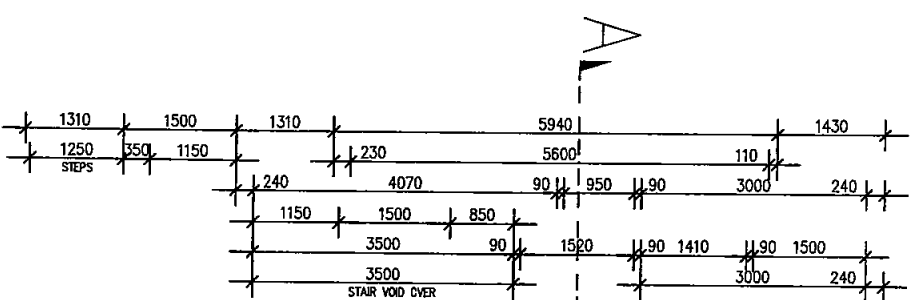


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PO Box 5142

CLIENT	J & K ALDERTON
JOB	PROPOSED RESIDENCE
LOCATION	23 ORCHARD STREET WARRIEWOOD
SHEET	1 OF 11
DATE	11-03-2011
DWG No	BT31-11



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CONSTRUCTION METHODS



SCALE 1 100



This plan forms AREA the approved	
Certificate is issued by	
Ground ply Ltd	120 27m ²
FBC Certificate Ltd	120 27m ²
First Floor	120 27m ²
Patio	4 50m ²
GARAGE	35 64m ²
Atrisco	18 69m ²
TOTAL	299 37m²

32 Squares

CLIENT **J & K ALDERTON**

JOB PROPOSED RESIDENCE

LOCATION 23 ORCHARD STREET

WARRIEWOOD

- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION
- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE

SHEET

SHEET

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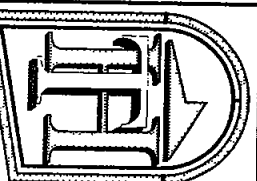
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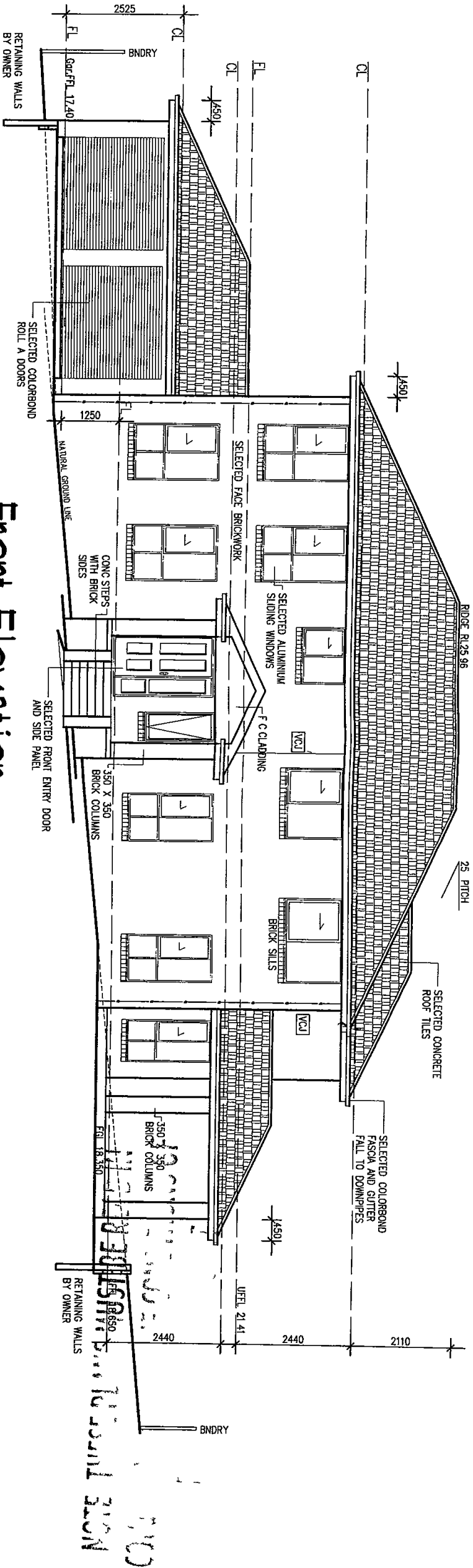
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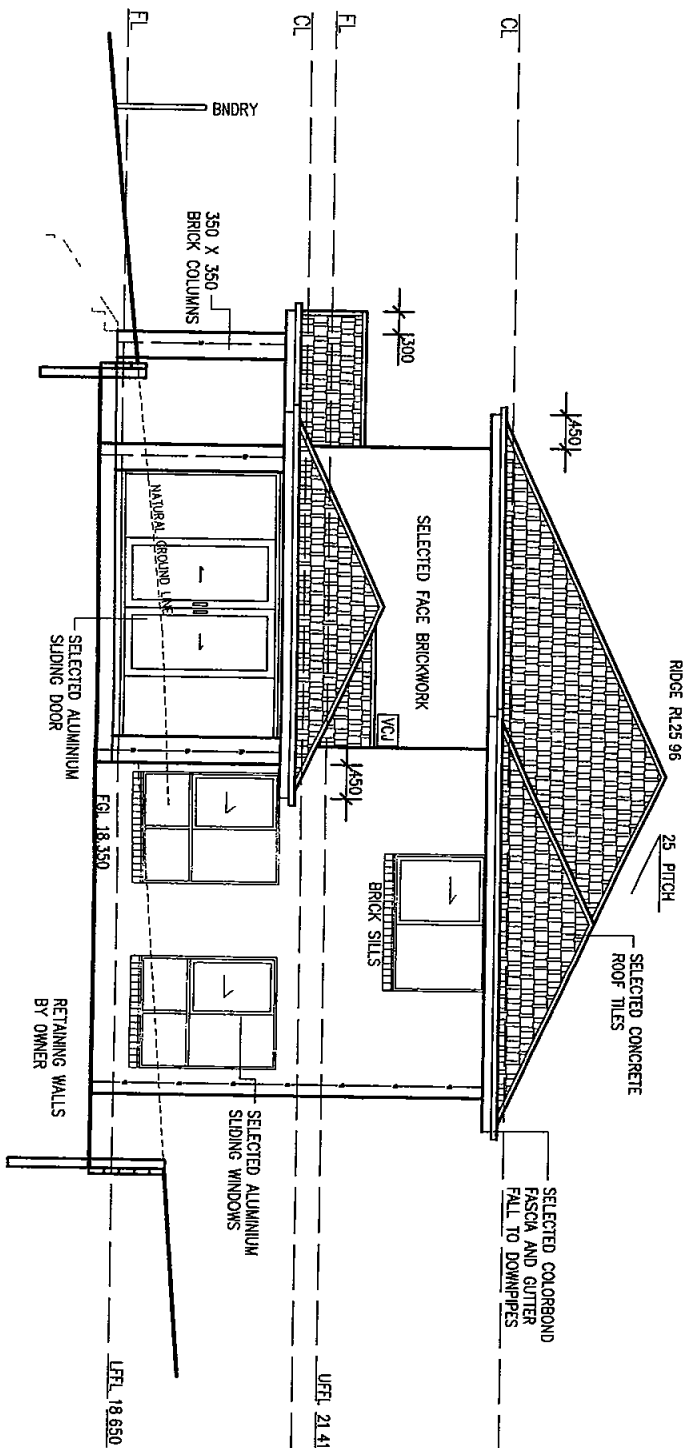
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 Lc No 131448C

Santa Cruz Mod.



Front Elevation
SCALE 1:100

APPROVED DEVELOPER
TULLIPAN HOMES LTD

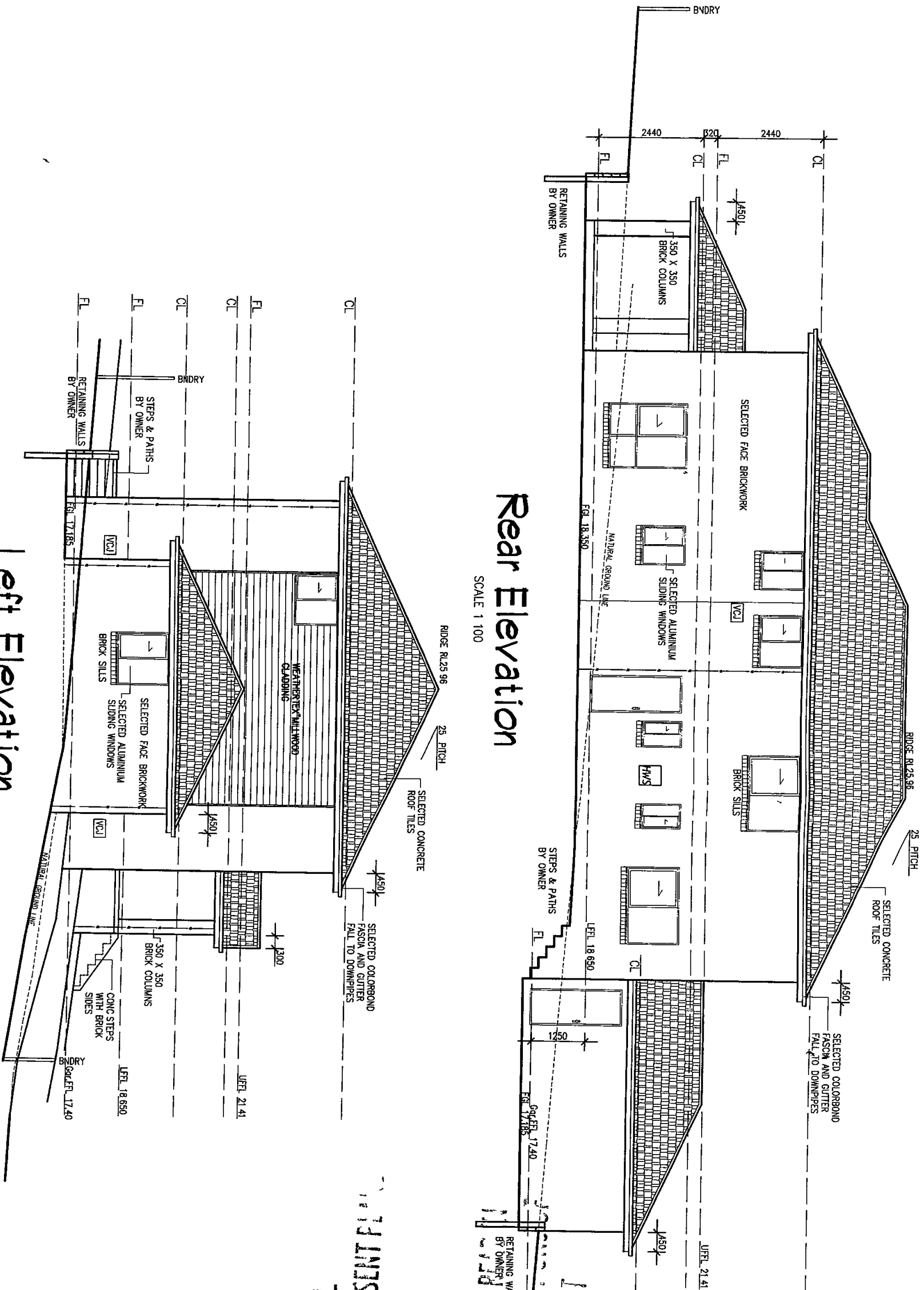


Right Elevation
SCALE 1:100

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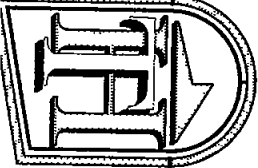


Rear Elevation
SCALE 1 100

Left Elevation
SCALE 1 100

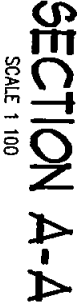
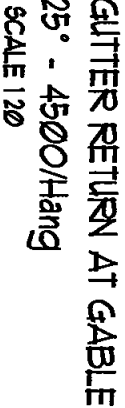
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LOCATION	23 ORCHARD STREET WARREWOOD
SHEET	5 OF 11
DATE	11-03-2011
DWG No	BT31-11

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