



Anthony Protas Consulting Pty Ltd
BUILDING REGULATIONS CONSULTANTS

19 December 2013

Our Ref: 133841

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660



Dear Sir,

**Re: 57 Gondola Road, North Narrabeen
Construction Certificate**

Pursuant to the requirements of the Environmental Planning and Assessment Act please find attached a copy of our Construction Certificate, plans and specifications to which the Construction Certificate has been issued and other relevant documents.

Should you have any questions, please do not hesitate to contact the undersigned.

Yours faithfully

Anthony Protas
Anthony Protas Consulting Pty Ltd

\$36 Rec: 354184 23/12/13.

CONSTRUCTION CERTIFICATES • OCCUPATION CERTIFICATES • COMPLIANCE CERTIFICATES • BUILDING AUDITS • DESIGN ASSESSMENT • REGULATIONS ADVICE

Locked Bag 1001 Waremba NSW 2046 Suite 1 104 William Street Five Dock NSW 2046 Ph 02 9715 5333 Fax 02 9715 5666
Email mail@protas.net.au Web www.protas.net.au ABN 37 079 830 756



COPY

Anthony Protas Consulting Pty Ltd
BUILDING REGULATIONS CONSULTANTS

Construction Certificate – 57 Gondola Road, North Narrabeen - Proposed alterations and additions to the existing dwelling

BCA Class:1a

1. Details of the applicant

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other

First name

Matt

Family name

Kennett

Flat/street no.

57

Street name

Gondola Road

Suburb or town

North Narrabeen

State

NSW

Postcode

2101

Daytime telephone

0414 445 600

Fax

Mobile

0414 445 600

Email

mat@northernbuilding.com.au

2. Details of the development consent

Development application no.

283/13

Date the consent was issued

27 November, 2013

3. Decision of the certifying authority

This certificate is issued:

☒ without any conditions

☐ subject to conditions of the kind referred to in clauses 187 or 188 of the Environmental Planning and Assessment Regulation 2000

Conditions have been placed on the certificate for the following reasons:

☒ the issue of this certificate has been endorsed on the plans and specifications that were lodged with the application.

Plan no.s approved

Architectural plan No's 1 to 6 issue G, dated 14/11/13, prepared by Accurate Design and Drafting. Residential Construction Specification, prepared by Trueline.

Date of this decision

19 December 2013

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4. Information attached to this decision

- ☐ A fire safety schedule
☐ Schedule of approved plans & specifications

5. Certification**Anthony Protas**

certifies that

if the work is completed following the plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A(5) of the *Environmental Planning and Assessment Act 1979*.

Construction certificate no.

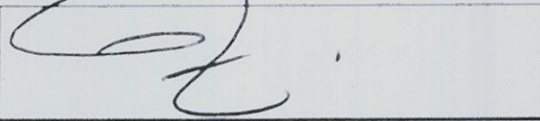
3841/13

Date of this certificate

19 December 2013**6. Signature**

For this certificate to be valid, it must be signed by the certifying authority.

Signature



Name

Anthony Protas

Flat/Street no.

Street name

Locked Bag 1001

Suburb or town

State

Postcode

Wareemba**NSW****2046**

Telephone

Fax

9715 5333**9715 5666**

If the certifier is an accredited certifier:

Accreditation body of the certifier

Accreditation no. of the certifier

Building Professionals Board**BPB0332****7. Applicant's right of appeal**

If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.

Rec'd 9/11/13.

Anthony Protas Consulting Pty Ltd
BUILDING REGULATIONS CONSULTANTS

Application for construction certificate

1. Details of the applicant

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other

First name Family name

Flat/street no. Street name

Suburb or town State Postcode

Daytime telephone Fax Mobile

Email

2. Identify the land

Flat/street no. Street name

Suburb or town Postcode

Lot no. Section

DP/MPS no. Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$ including GST

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4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

PROPOSED ADDITIONS + ALTERATIONS

For building work, what is the class of the building under the Building Code of Australia?

1A

This can be found on the development consent

Has development consent been granted for the development?

No ☒

Yes ☐

What is the development application no.?

283/13

What date was development consent granted?

27.11.13

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐.

1. If you are going to carry out **building work**:

☒ a copy of any compliance certificates on which you rely

☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

☐ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

☒ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

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5. continued

- ☒ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
 - a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☒ evidence of any accredited component, process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.
- ☒ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
 - a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land*The lists must describe the extent, capability and the basis of design of each measure.*
- ☒ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.

You may also need to pay a long service levy under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you.

2. If you are going to **carry out work to do a subdivision** (eg building roads or a stormwater drainage system):

- ☒ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☒ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)
- ☒ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☒ copies of any compliance certificates on which you rely
- ☒ detailed engineering plans (4 copies). The detailed plans might include the following:
 - earthworks
 - roadworks
 - road pavement
 - road furnishings
 - stormwater drainage
 - water supply works
 - sewerage works
 - landscaping works
 - erosion control works

Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification.

5. continued

3. If you are going to **change the use of a building** or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

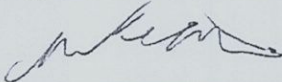
6. Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application:

Signature



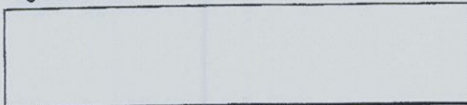
Name

MAT KENNETT

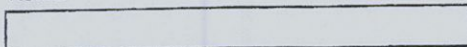
Date

4.12.2013

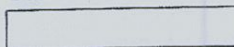
Signature



Name

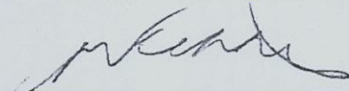


Date



The applicant, or the applicant's agent, must sign the application.

Signature



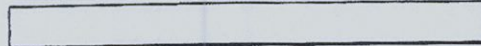
Name, if you are not the applicant

MAT KENNETT

Date

4-12-2013

In what capacity are you signing if you are not the applicant?



7. Privacy policy

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

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Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

1
69.49m ²
461.6m ²

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

0
1
0

Yes ☐ No ☒

Yes ☒ No ☐

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☒ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☒ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☒ 40	Aluminium	☒ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

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**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Mathew Kennett
57 Gondola Rd
NORTH NARRABEEN NSW 2101

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit : 407866P
Receipt: 10000019316-01

Issued : 18/12/2013
Amount: \$163.00

BUILDING SITE

57 Gondola Rd, NORTH NARRABEEN, NSW 2101 AUSTRALIA

AUTHORISED BUILDING WORK

alteration and additions to existing dwelling as per DA

Authority No : DA-n0283/13
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$20,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00

Rod Stowe
Commissioner for Fair Trading

Issuing officer

***** END OF PERMIT *****

Anthony Protas
Anthony Protas Consulting Pty Ltd
Suite 1, 101 William Street
Five Dock
NSW 2046

Re: Development Application – NO283/13

Dear Anthony,

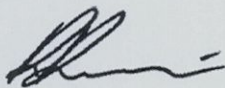
Mr Mathew Kennett of 57 Gondola Road, North Narrabeen has recently been in contact with me in regards to Construction Certificates for the above mentioned DA.

As stated in your email to Mr Kennett dated 12th December 2013, you require him to supply three (3) copies of drainage plans including specifications and details showing the site stormwater management accompanied by certification from a suitably qualified and practicing Civil/Hydraulic Engineer.

This email is to inform you that Condition 3 of 'C Matters' in your above mentioned email has been already met, as the new additions are to connect with the existing downpipes and in ground drainage system. The existing system is adequate to convey the additional impervious area stormwater flow.

If you require any further information please don't hesitate to contact me on the above number.

Yours faithfully,



Robert Dennis
MIEAust, CPEng

TEAR OUT & ATTACH THIS BUSH FIRE ASSESSMENT REPORT WITH YOUR APPLICATION TO COUNCIL

SECTION TWO - BUSH FIRE ASSESSMENT REPORT (Attach to DA)

PART A

Property Details

Applicants Name:

ACCURATE DESIGN

Contact Phone Number; (H):

02 46472552

(M):

Council:

PITTWATER

Council Reference (if known):

Lot:

215

DP:

16212

Address to be developed:

57 GONDOLA ROAD, Nth NARRABEEN

My property is on Bush Fire Prone Land: ☒ Yes

PART B

Type of Proposal

Type of Proposal:

☐

New Building

☐

Dual Occupancy

☒

Alteration/Additions to an existing building

☒

Urban

☐

Rural Residential

☐

Isolated Rural

Proposal Description: e.g. two storey house with attached garage

proposed addition
to existing dwelling.

Copy of plans attached

☒

Yes

PART C

Bush Fire Attack and Level of Construction

Step 1: Assess the vegetation about the proposed building in all directions and convert from Keith to AUSLIG (1990) using Table 1

CATEGORY	NORTH	EAST	SOUTH	WEST
Converted vegetation	☐ Forest	☐ Forest	☐ Forest	☐ Forest
	☐ Woodland	☐ Woodland	☐ Woodland	☐ Woodland
	☐ Shrubland	☐ Shrubland	☐ Shrubland	☐ Shrubland
	☐ Scrub	☐ Scrub	☐ Scrub	☐ Scrub
	☐ Mallee/Mulga	☐ Mallee/Mulga	☐ Mallee/Mulga	☐ Mallee/Mulga
	☐ Rainforest	☐ Rainforest	☐ Rainforest	☐ Rainforest
	☐ Tussock	☐ Tussock	☐ Tussock	☐ Tussock
	☐ Moorland	☐ Moorland	☐ Moorland	☐ Moorland
	☒ Managed Land	☒ Managed Land	☒ Managed Land	☒ Managed Land

Copy of any relevant photos attached ☒ Yes

Step 2: Determine the distance from the building line to the vegetation in each direction as above

ASPECT	NORTH	EAST	SOUTH	WEST
Distance	100 m	100 m	100 m	100 m

Step 3: Determine the effective slope that will influence bushfire behaviour in each direction

CATEGORY	NORTH	EAST	SOUTH	WEST
Slope under the hazard (over 100m) [in degrees]	☐ upslope/flat ☒ >0 to 5 ☐ >5 to 10 ☐ >10 to 15 ☐ >15 to 18	☒ upslope/flat ☐ >0 to 5 ☐ >5 to 10 ☐ >10 to 15 ☐ >15 to 18	☒ upslope/flat ☐ >0 to 5 ☐ >5 to 10 ☐ >10 to 15 ☐ >15 to 18	☒ upslope/flat ☐ >0 to 5 ☐ >5 to 10 ☐ >10 to 15 ☐ >15 to 18

Step 4: Determine the Fire Danger Index (FDI) that applies to your local government area (see page 9). Circle the relevant FDI below

FDI	☒ 100	☐ 80	☐ 50
-----	---	-----------------------------	-----------------------------

Step 5: Match the relevant FDI, vegetation, distance and slope to determine the required APZ and Construction level

FDI	☒ 100 (see Table 4, page 11)	☐ 80 (see Table 5, page 12)	☐ 50 (see Table 6, page 13)
-----	--	--	--

Identify the bush fire attack level for each direction, select the highest level for the entire building and record below. Note BAL-12.5 is the lowest construction level within the scope of AS3959.

Bush Fire Attack Level

☐ BAL-FZ	☐ BAL-19
☐ BAL-40	☐ BAL-12.5
☐ BAL-29	☒ No requirement

Does your proposal meet the required construction level ☒ YES ☐ NO

PART D

Flame Zone

Provide details and evidence of an alternative solution.

If you determine your house is located in the flame zone you may wish to seek the advice of a specialist bush fire consultant.

PART E

Water Supplies

Does your property have a reticulated (piped) water supply?; If so, please provide details on the distance to the nearest fire hydrant on your site plan.

Reticulated (piped) water supply is available

☒ Yes ☐ No Distance (m) to hydrant from house.

Do you have or do you plan to have a dedicated water supply for firefighting purposes?

☐ Yes ☒ No

Development Type	Water Requirement	Planned	Existing
Residential Lots (<1,000m ²)	5,000 l/lot		
Rural-residential Lots (1,000–10,000m ²)	10,000 l/lot		
Large Rural/Lifestyle Lots (>10,000m ²)	20,000 l/lot		
Dual Occupancy	2,500 l/unit		
Townhouse/Unit Style (e.g. Flats)	5,000 l/unit up to 20,000l maximum		

Do you have or do you plan to have a static water supply (e.g. pool, tank or dam). Include approx. size in litres and also include tank material if using a tank:

Water supply type	Capacity	Construction material	Planned	Existing
e.g. pool	50,000l	Above ground rolled steel with plastic liner		
	N			
		A		

NOTE: Check with your local council concerning their Local Environmental Plan (LEP) or their Development Control Plan (DCP) as this may dictate the type and size of tank.

PART F

Gas Supplies

GAS

Do you have reticulated (piped) or bottled gas?

TYPE OF GAS

Reticulated gas ☒ Yes ☐ No
Bottled gas ☐ Yes ☒ No



NOTE: When attaching development plans please ensure they clearly show location and details of electricity and gas (where relevant) on your property.



Pittwater Council

REPRINTED

Tax Invoice
Official Receipt

ABN: 61340837871

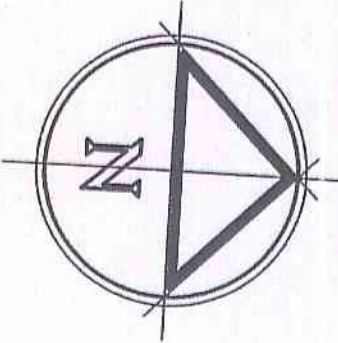
3/10/2013 Receipt No: 349542

To: MATTHEW KENNETT
 57 GONDOLA ROAD
 NORTH NARRABEEN NSW 2101

Applic	Reference	Amount
GL Receipt		
TDEV-DA Fees		\$320.00
1 X		
TADV-DA Adv/Notify		\$250.00
1 X		
NODP-DA Sign		\$40.00
1 X 57 GONDOLA		
RMIC-Rcrds Scanning		\$42.00
1 X		
QLSL-Builders LSL		\$175.00
1 X		
HKER-RR Assur Fee		\$320.00
1 X		
Transaction Total:		\$1,147.00
Includes GST of:		\$0.00

Amounts Tendered	
Cash	\$0.00
Cheque	\$1,147.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency	\$0.00
Total	\$1,147.00
Rounding	\$0.00
Change	\$0.00
Nett	\$1,147.00

Printed 3/12/2013 4:25:23PM



NOTE:
- BEARINGS & DISTANCES ARE BY TITLE &/OR DEED ONLY.
- RELATIONSHIPS OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY AND SHOULD BE CONFIRMED BY FURTHER SURVEY.
- ORIGIN OF DATUM WAS DERIVED FROM SSM 3542 HAVING RL.2403 (A.H.D.) ONLY VISIBLE SERVICES HAVE BEEN LOCATED & IF ANY WORK IS PROPOSED THE SERVICE AUTHORITY SHOULD BE CONTACTED.

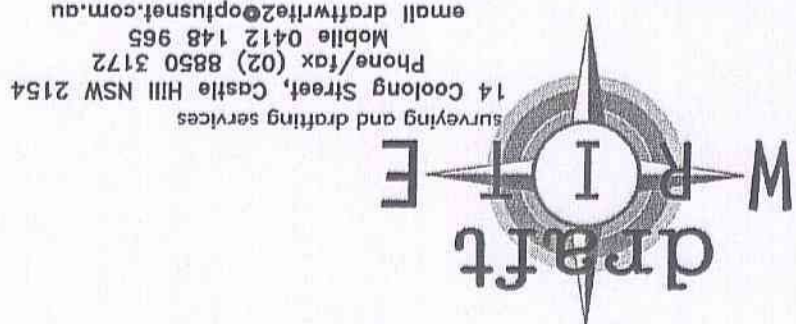
GONDOLA

ROAD

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MAT KENNETT

CLIENT/PROJECT

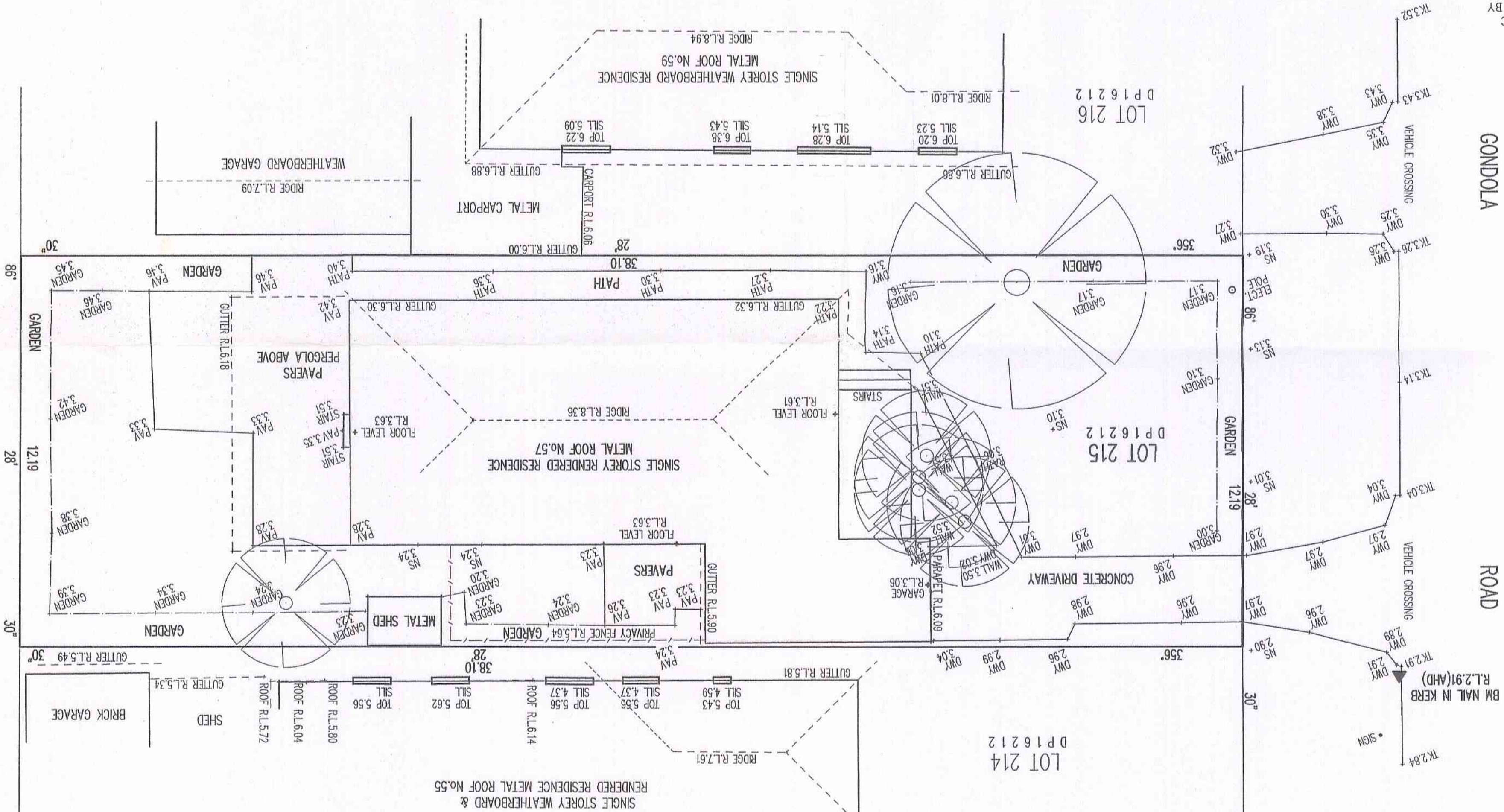


14 Cooling Street, Castle Hill NSW 2154
Phone/fax (02) 8850 3172
Mobile 0412 148 965
email draftw@draftw.com.au
Surveying and drafting services

DETAIL SURVEY OF LOT 215 DP 16212
No.57 GONDOLA ROAD
NORTH NARRABEEN
L.G.A PITTWATER

DATE 26th SEP 2013 DRAWN BY STEVEN MEYER VERSION 01

SHEET 1 OF 1
JOB NUMBER



Mr Kennett

57 Gondola Road

NORTH NARRABEEN

Lot 215

DP 16212

Amendments		Changes	Date	Signed/Requested date of request	Drawing Number
Issue					
A	working drawing		8-8-13	t.w.	13318
B	carport removed		28-8-13	r.m	13318-1
C	cladding to front & rear additions, basix notes updated		30-8-13	r.m	13318-2
D	survey added, design amended		1-10-13	r.m	13318-3
E	decking area amended		17-10-13	r.m	13318-4
F	Decking area reduced		31-10-13	r.m	13318-5
G	decking now 550mm from boundary issued for council		14-11-13	r.m	13318-6

SYDNEY WATER
APPROVED

if structure in relation to Sydney levels is satisfactory.

any alterations to Sydney Water sewer water systems may only be made following the issue of a permit to a licensed plumber/drainer and it is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.

Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.

Gulches, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

Property No. 5419906

Reece, Narellan

Quick Check Agent on behalf of
SYDNEY WATER

Per: [Signature] 11/12/13

Mr Kennett

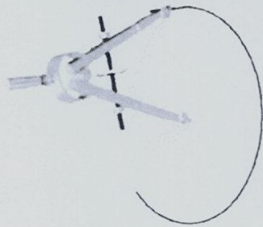
57 Gondola Road

NORTH NARRABEEN

Lot 215

DP 16212

Amendments		Changes	Date	Signed/Requested date of request	Drawing Number
Issue					
A	working drawing		8-8-13	t.w.	13318
B	carport removed		28-8-13	r.m	13318-1
C	cladding to front & rear additions, basix notes updated		30-8-13	r.m	13318-2
D	survey added, design amended		1-10-13	r.m	13318-3
E	decking area amended		17-10-13	r.m	13318-4
F	Decking area reduced		31-10-13	r.m	13318-5
G	decking now 550mm from boundary issued for council		14-11-13	r.m	13318-6



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ph: 02 4647 2552

info@accuratedesign.com.au

Construction to be in accordance with BCA and other relevant Australian Standards

40% of new or altered light fixtures to be fluoro, compact fluoro or LED

Leading edge of the eave are not more than 500mm above the headheight of any window or glazed door

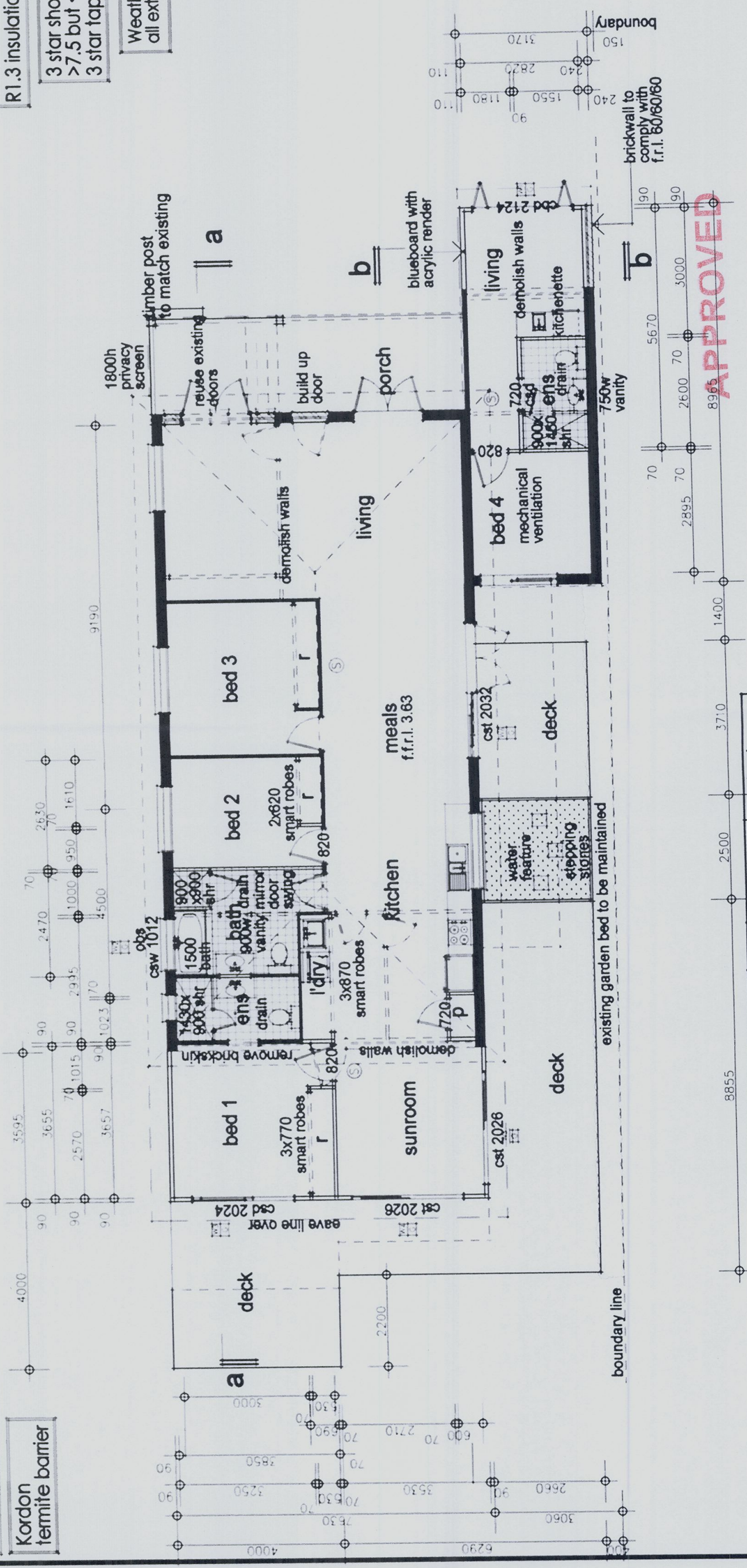
All windows for the proposed must comply with the U-value of basix

Note - All Dimensions to be verified on site before commencement of work

R1.7 insulation to walls
R3.5 insulation to ceilings
R1.3 insulation to floors

3 star showerheads, >7.5 but <=9L/min
3 star taps and toilets

Weather stripping to all external doors



floor areas

existing living	:138.72m
proposed living	: 33.53m
existing deck	: 28.12m
proposed deck	: 35.96m
total	:236.33m

window number	frame type	glazing type	eave size	overshadow height	overshadow distance
1	timber	clear	450mm	2.058m	2.400m
2	timber	clear	600mm	1.030m	1.210m
3	timber	clear	600mm	2.058m	2.410m
4	timber	clear	600mm	2.058m	2.665m
5	timber	clear	600mm	2.058m	2.665m
6	timber	clear	600mm	2.058m	3.224m

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Floor Plan
Scale 1:100

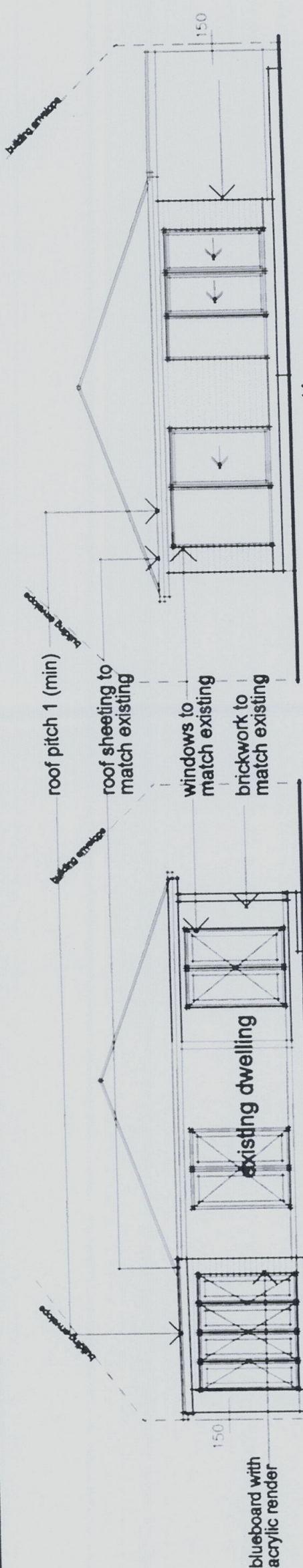
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Narellan NSW 2567
Phone: 0246472552
Fax : 0246472553
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House Name

Smoke Detectors

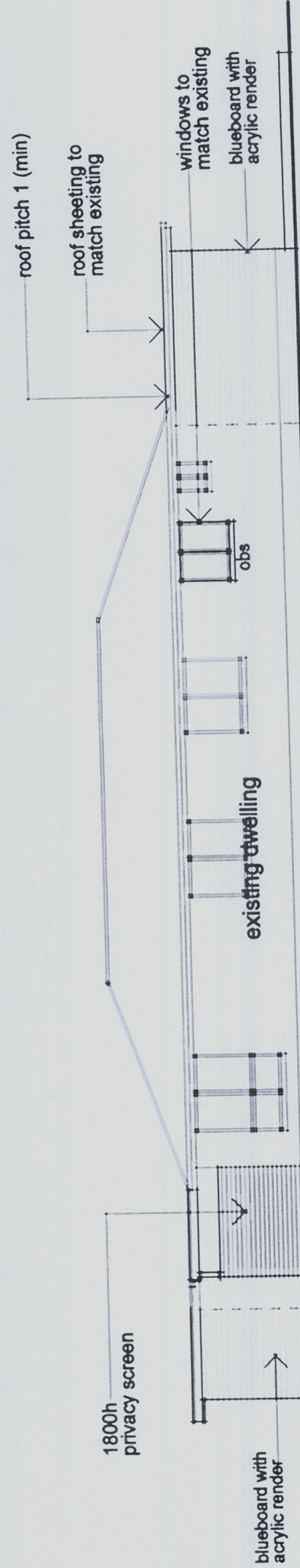
Client: Mr Kennett	Job: Proposed Additions & Alterations		Scale: 1:100		Date: 14-11-13	Issue Approval from client		Amendment		Date
	Drawing No. 13318-6 t.w.		Sheet 1		ISSUE: G					

Lot 215 Gondola Rd North Narrabeen



Front Elevation

Rear Elevation



Side Elevation

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All windows for the proposed must comply with the U-value of basix

House Name

leading edge of the eave are not more than 500mm above the headheight of any window or glazed door

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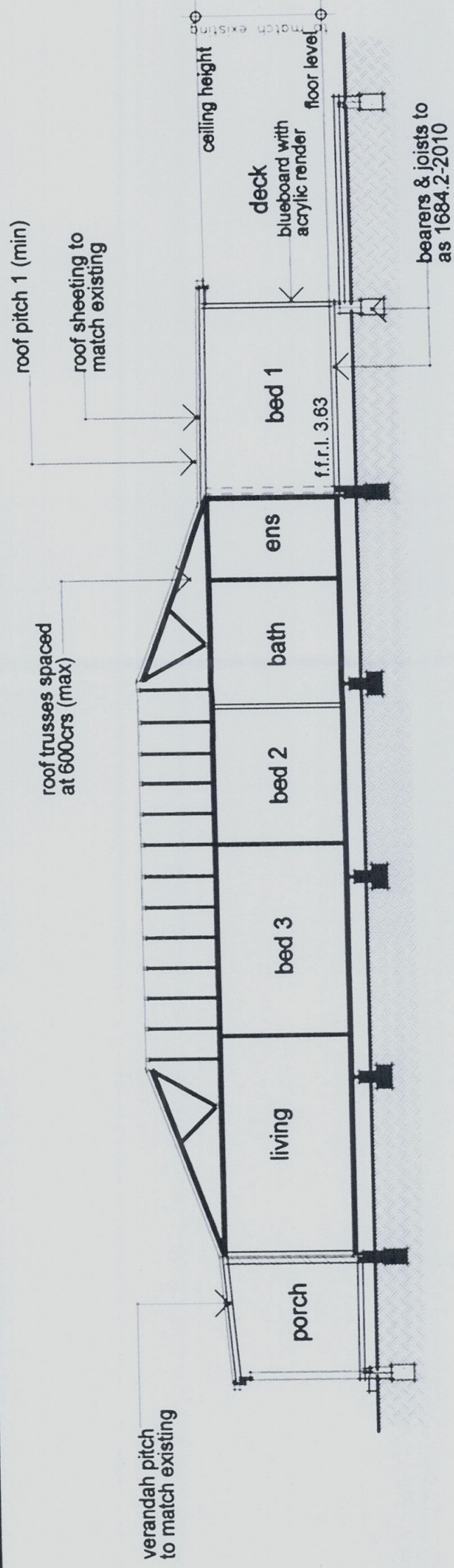
Fax : 0246472553

Email: info@accuratedesign.com.au

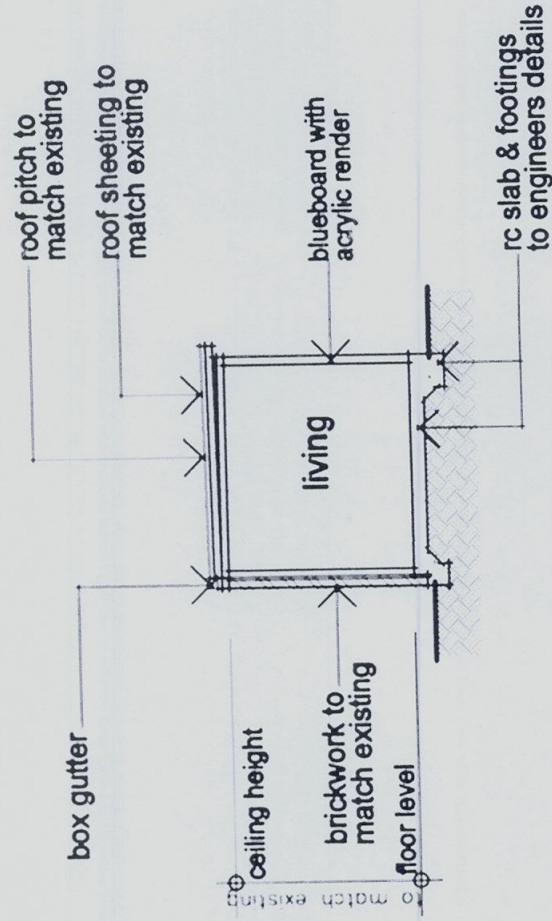
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Client: Mr Kennett	Job: Proposed Additions & Alterations	Scale: 1:100	Date: 14-11-13		Amendment	Date
			Issue	Approval from client		
			Drawing No: 13318-6 t.w.			
Lot 215 Gondola Rd North Narrabeen						

Lot 215 Gondola Rd North Narrabeen



Section A-A
Scale 1:100



Section B-B
Scale 1:100

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leading edge of the eave are not more than 500mm above the headheight of any window or glazed door

R1.7 insulation to walls
R3.5 insulation to ceilings
R1.3 insulation to floors

Note - All Dimensions to be verified on site before commencement of work

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Kordon
termite banier

Construction to be
in accordance with
BCA and other relevant
Australian Standards

Client:

Mr Kennett

Job:

Proposed Additions & Alterations

Lot 215 Gondola Rd. North Narrabeen

Scale:

1:100

Drawing No.:

13318-6 t.w.

Date:

14-11-13

Approval from client	
----------------------	--

Issue	Answer
-------	--------

Date _____

Amendment

Date _____

House Name _____

House Name

design and drafting

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Lot 215
area 461.6sqm
dp 16212

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19 DEC 2013

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Existing Site Plan

Scale 1:200

Existing Site Plan Scale 1:200				House Name			
Client: Mr Kennett	Job: Proposed Additions & Alterations	Scale: 1:200	Date: 14-11-13	design and drafting			Office : 1a/10 Exchange Parade Narellan NSW 2567 Phone: 0246472552 Fax : 0246472553 Email: info@accuratedesign.com.au
				Issue			
				Approval from client			
Drawing No: 13318-6 t.w.		Sheet: 4		ISSUE: G		Amendment	
Lot 215 Gondola Rd. North Narrabeen						Date	
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SOIL EROSION AND SEDIMENT CONTROL
1 SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN
SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR
TO THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY
EXCAVATION WORK BEGINS AND IS TO BE REMOVED ONLY WHEN THE
SITES SURFACE HAS BEEN STABILIZED, i.e. PAVED, LANDSCAPED OR
TURFED. CRUSHED ROCK AGGREGATE IS TO BE PLACED AS AN ACCESS
DRIVEWAY TO THE SITE AND MUST BE MAINTAINED THROUGHOUT
THE COURSE OF CONSTRUCTION.

STEEL STAR PICKETS
OR HARDWOOD STAKES
DRIVEN INTO SOLID EARTH
AT 3m CRS (MAX)

GEOTEXTILE FILTER FABRIC
FIXED TO POSTS TO MANUF
SPECIFICATIONS

UNDISTURBED
AREA

97.30
existing

6660
to be confirmed

2660

ROAD

sliding
gate

existing
150

proposed
additions
& alterations

4.0m x 6.0m
p.p.o.s area
total p.p.o.s
area: 87.00sqm

f.f.r.l. 3.63

water
feature

tree
to be
relocated

to be
demolished existing garden bed to be maintained

sediment
control
fence
letter
box

proposed
additions
& alterations

sliding
gate

GONDOLA

Typical Silt Fence
Scale 1:20

APPROVED

19 DEC 2013

ANTHONY PROTAS
CONSULTING PTY. LTD.



Lot 215
area 461.6sqm
dp 16212

Site Plan
Scale 1:200

Client:
Mr Kennett

Job:
Proposed Additions
& Alterations

Scale:
1:200

Drawing No:
13318-6 t.w.

Date:
14-11-13

Issue:
Approval from client

Sheet:
5

ISSUE:
G

Amendment

Date

House Name



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Lot 215 Gondola Rd. North Narrabeen

Key	Species	Dimensions	Container	Quantity
	Abelia x grandiflora	1.0m x 1.5m	200mm	7
	Syzygium Standard	1.5m x 0.75m	300mm	2
	Swamp Lily	0.3m x 0.3m	200mm	13
	Grevillea Honey Gem	3.0m x 1.5m	200mm	4

NOTES:

- All Plants to be planted in premium garden mix and slow release fertilizer
- Gardens to be mulched with Eucalyptus Mulch
- Plants are to be maintained for 6 months or until established
- Any losses are to be replaced

Landscaped area: 162.24sqm
Landscaped percentage: 35.1%



Lot 215
area 461.6sqm
dp 16212

Landscape Plan
Scale 1:200

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Existing Downpipes to be
connected to overflow



Lot 215
area 461.6sqm
dp 16212

Drainage Plan
Scale 1:200

House Name

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Email: info@accuratedesign.com.au

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Date: 14-11-13
Sheet: 6
ISSUE: G

Scale: 1:200
Drawing No: 13318-6 t.w.

Job: Proposed Additions & Alterations

Client: Mr Kennett

Lot 215 Gondola Rd. North Narrabeen

PROJECT

PROPOSED EXTENSION
AT LOT 215 DP16212
No. 57 GONDOLA ROAD
NORTH NARRABEEN

CLIENT

MR KENNETT

DESIGN CONSULTANT

INDEX OF DRAWINGS

- S01 – TITLE PAGE & GENERAL NOTES
- S02 – FOOTING PLAN AND SECTIONS
- S03 – FLOOR FRAMING PLAN
- S04 – BRACING PLAN & DETAILS

FLOOD CERTIFICATE

Foundations, walls and ground floor slabs have been designed to withstand the anticipated forces created by flood waters and debris loading for the area

STRUCTURAL ENGINEERING DETAILS

PROJECT NO. 0212-DP

REVISION C 13/12/11
GENERAL NOTES

- These drawings are for structural purposes only and are to be read in conjunction with the specification, architectural drawings, other contract documentation and the requirements of the relevant authorities.
- Verify all setting out dimensions with the Architect.
- Do not obtain dimensions by scaling the structural elements.
- Should any ambiguity, error, omission, discrepancy, inconsistency or other fault exist or seem to exist in the contract documents, immediately notify in writing to the Superintendent and the Project Engineer.
- Maintain the structure in a stable condition during construction. Temporary bracing/shoring shall be provided by the contractor to keep the structure and excavations stable at all times, ensuring that no part of the documented structure becomes overstressed.
- All workmanship and materials shall be in accordance with the requirements of current SAA codes and the bylaws, ordinances or other requirements of the relevant building authorities.
- Construction using these drawings shall not commence until a Construction Certificate is issued by the Principal Certifying Authority.
- All layout details shown on the structural details are diagrammatic only. Refer to Architectural plans for building layout and dimensions.
- Provide termite treatment as required by the relevant Building Authorities
- Contractor to determine the position and depth of all services before commencing construction.
- Where a service may interfere with or influence the construction the engineer shall be advised. Await instruction.
- Design loads are not to be used by others

DESIGN LOADS

Floor Live Load : 1.5 kPa
Deck Live Load : 1.5 kPa
Wind Classification : N2

REVISION B 19/10/06

FOUNDATIONS

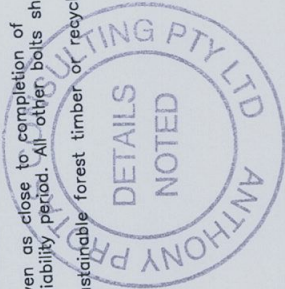
- Foundations have been designed for:
Allowable Bearing Pressure – 50 kPa

- Locate all pipes, retaining walls and excavation outside a 1:2 (vertical:horizontal) zone of influence from the bottom edge of the footing.
- Where side shear is required to be developed, clean and roughen the sides of the excavation to the satisfaction of the geotechnical engineer.
- Footings shall be located centrally under walls and columns unless noted otherwise.
- Footings to be constructed and backfilled as soon as possible following excavation to avoid softening or drying out by exposure.

REVISION A 28/02/06

TIMBER – GENERAL

- All work in accordance with AS1720 and 684, radiata pine, hardwood, oregon and cypress pine to be in accordance with AS2082 and AS2858 as appropriate.
- Preserve treatment:
 - All timbers to have the necessary preservative treatment appropriate to the species and usage as specified in AS1604–1997. All treated timbers to have visible marks that are able to be seen during the framing inspection.
- Termite protection:
 - All construction work should be in accordance with AS3660.1–2000 protection of builders from subterranean termites part 1: new buildings. If the requirements in this code are unable to be met, Robert Dennis and Associates recommends the use of termite resistant structural timber in accordance with AS1604–1997 as shown below:
ENVIRONMENT CLASS
interior above ground hazard level H2
exterior above ground hazard level H3
exterior in ground hazard level H4 and H5
- The imperfections permitted by the grading rules shall apply to erected timber. Timber will be rejected if imperfection limits are exceeded.
- Unless noted otherwise use:
M12 4.6/s galv. bolts with 55 dia x3.0galv. washers under head and nut.
M12 4.6/s galv. coach screws with 55 dia x 3.0 galv. washers.
- galv. connector plates complying with AS1649
galv. nails.
All timber shall be protected from the elements during fabrication and construction by the application of an approved waterproof timber preservative, proposals shall be submitted to the engineer.
- All exposed lines of bolts shall be evenly and equally spaced u.n.o. and shall align with adjacent exposed bolt groups.
- All accessible bolts are to be retightened and all nails redriven as close to completion of contract as possible and again at the end of the defects liability period. All other bolts shall be tightened immediately prior to being built-in.
- We support the environment and recommend the use of sustainable forest timber or recycled timber.



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0212-DP

Scale
AS SHOWN
original
A3
issue
4

drawn
TJW

sheet no.
S02

approved
[Signature]
total sheets
[04]

PROJECT
PROPOSED EXTENSION
AT LOT 215 DP16212
NO. 57 GONDOLA ROAD
NORTH NARRABEEN

CLIENT
MR KENNETT

TITLE
FOOTINGS PLAN AND SECTIONS

dennis
partners

civil | structural | planning

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Kempsey NSW 2440
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Crescent Head NSW 2440
P. 02 6563 1611
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W. www.dennispartners.com.au
ABN 62 101 949 937

Registered Professional Engineer MIEAust CPEng #2159031 | Registered Professional Engineer (Civil) QLD #09147 | Accredited Building Practitioner (Civil) TAS #CC4960V | Registered Building Practitioner (Civil) VIC #EC36910

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Issue

Desc.

Date

4

Revised Plans

08/11/13

3

Revised Plans

23/10/13

2

Revised Plans

22/10/13

1

For Construction

14/10/13

FOOTINGS PLAN
SCALE 1 : 1 0 0
N20 CONCRETE GRADE STRENGTH
100mm SLUMP 20mm MAX AGGREGATE

FOOTING TYPE PF2
SCALE 1 : 2 0

FOOTING PF1
SCALE 1 : 2 0

0212-DP

Scale
AS SHOWN

original
A3

issue
4

approved
TJW

drawn
TJW

sheet no.
S03

total sheets
[04]

PROPOSED EXTENSION
AT LOT 215 DP16212
No. 57 GONDOLA ROAD
NORTH NARRABEEN
MR KENNETT

client

title

04

PROPOSED EXTENSION
AT LOT 215 DP16212
No. 57 GONDOLA ROAD
NORTH NARRABEEN
MR KENNETT

client

title

04

PROPOSED EXTENSION
AT LOT 215 DP16212
No. 57 GONDOLA ROAD
NORTH NARRABEEN
MR KENNETT

client

title

04

PROPOSED EXTENSION
AT LOT 215 DP16212
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NORTH NARRABEEN
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PROPOSED EXTENSION
AT LOT 215 DP16212
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NORTH NARRABEEN
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PROPOSED EXTENSION
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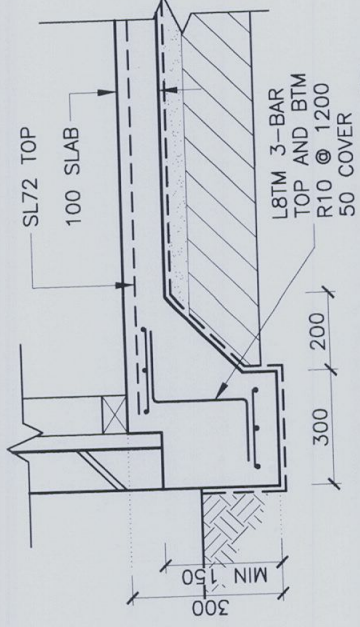
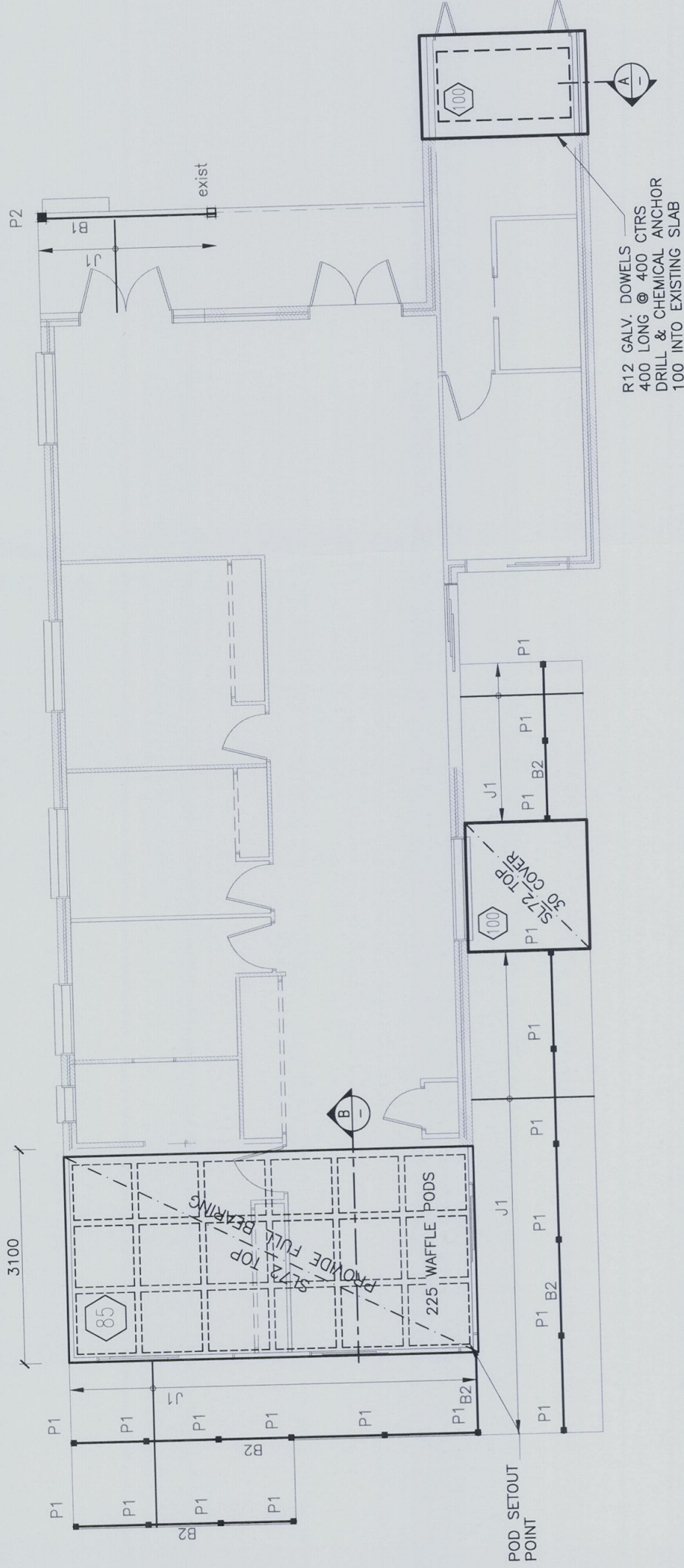
FLOOR FRAMING PLAN

SCALE 1:100
100mm THICK SLAB U.N.O
N20 CONCRETE GRADE STRENGTH
100mm SLUMP 20mm MAX AGGREGATE

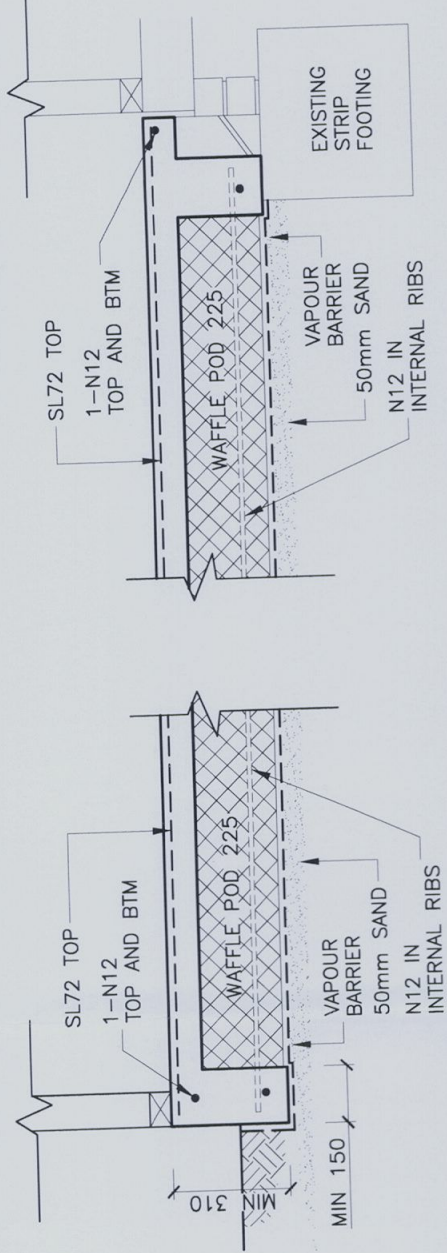
REINFORCE SLABS WITH: SL72 TOP
COVER: INTERNAL MIN 20mm, MAX 30mm
EXTERNAL MIN 30mm, MAX 40mm

FILLING UNDER SLABS TO BE IN ACCORDANCE WITH
CLAUSE 6.4.2(p) OF AS2870

MEMBER SCHEDULE		
TYPE	DESCRIPTION	REMARKS
P1	90x90 MGP10 H4	TIMBER POSTS
P2	2/140x45 BLACKBUTT	TIMBER POST
B1	140x45 F27 HWD	
B2	140x45 MGP10 CONTINUOUS	DECK BEARER
J1	90x45 MGP10 @ 450 CTRS	JOIST



SECTION A
SCALE 1:20



SECTION B
SCALE 1:20

0212-DP

scale
original
A3
issue
4

drawn
TJW

sheet no.
S04

AS SHOWN

approved

total sheets
[04]

project
PROPOSED EXTENSION
AT LOT 215 DP16212
No. 57 GONDOLA ROAD
NORTH NARRABEEN

client
MR KENNETT

title
BRACING PLAN & DETAILS

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4
Revised Plans

3
Revised Plans

2
Revised Plans

1
For Construction

Issue

08/11/13

23/10/13

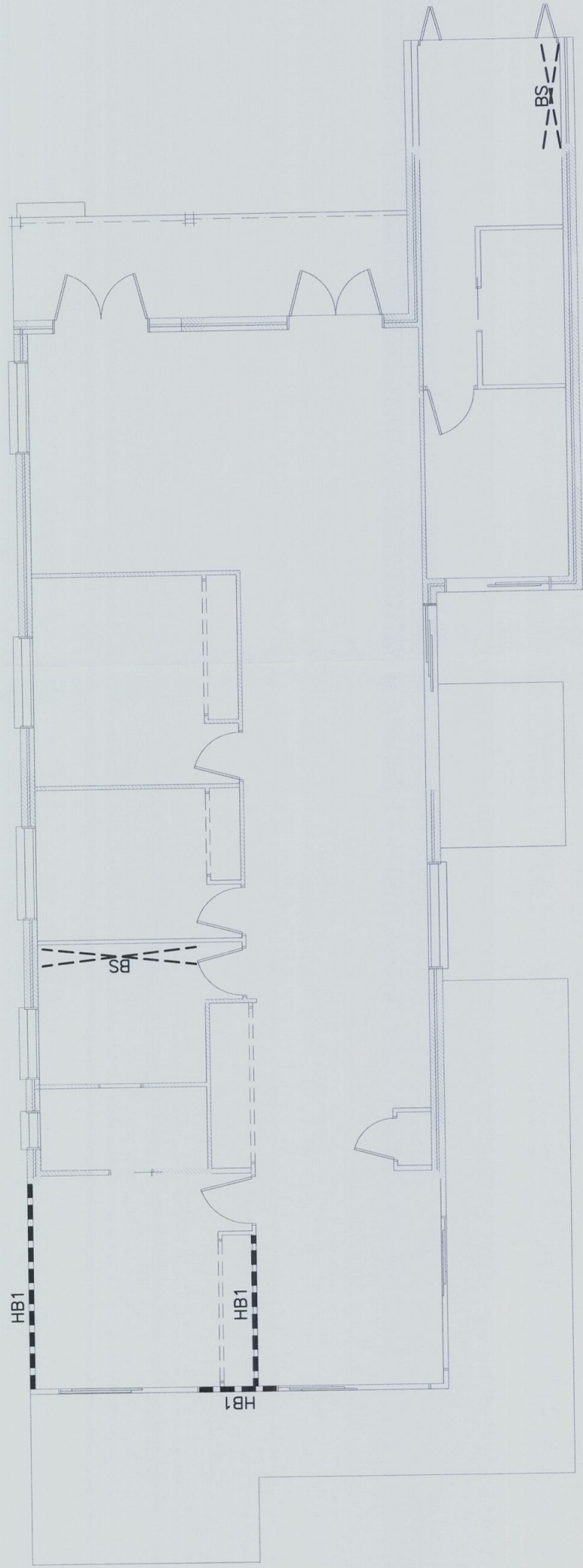
22/10/13

14/10/13

Date

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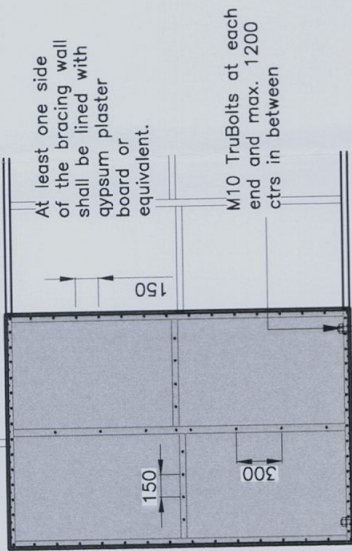


BRACING/TIE DOWN PLAN

SCALE 1:100

Hardboard Type HB1 Hardboard shall comply with AS/NZS 1859.4. Hardboard shall be nailed to frame using minimum 30x2.8mmØ galvanized flat head nails or equivalent. Nails shall be located a minimum of 10mm from the vertical edges and 15mm from the top and bottom edges. Maximum stud spacing = 600mm. Bracing Panel minimum width = 900mm.

40mm staggered



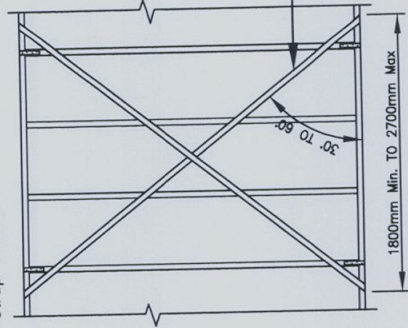
HARDBOARD BRACING DETAIL

NOT TO SCALE



Minimum hardboard thickness 4.8mm	Fastener spacing	
	Top and bottom plates	40
	Vertical edges	150
	Intermediate studs	300
Fixing of bottom plate to floor frame or slab.		
Type HB1: Fix bottom plate to floor frame or slab with M10 TruBolts each end and immediately at max. 1200mm centres.		
Bracing capacity (kN/m)		6.0kN

Double diagonal tension or metal strap braces.



STRAP BRACING DETAIL

NOT TO SCALE



LEGEND

- HB1 DENOTES HARDBOARD BRACING TYPE "HB1" TO WALLS INSTALLED IN ACCORDANCE WITH AS1684 AND DETAIL HB
- BS DENOTES 30x0.8mm STRAP BRACING TO WALLS INSTALLED IN ACCORDANCE WITH AS1684 AND DETAIL BS
- ALL TIE DOWN AND BRACING CONNECTION TO AS1684

RESIDENTIAL CONSTRUCTION SPECIFICATION

WHEN USED FOR EXTENSIONS, ADDITIONS, ETC, ANY
PART THAT IS NOT APPLICABLE IS TO BE DISREGARDED

TRUELINE SPECIFICATION

PROJECT

57 GONDOLA ROAD

NORTH NARRABEEN

DA No.

283 / 13

CC No.

APPROVED

19 DEC 2013

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