

list of abbreviations

|      |                                 |
|------|---------------------------------|
| A/C  | air conditioning                |
| AFFL | above finished floor level      |
| AHD  | australian height datum         |
| ALUM | aluminium                       |
| AR   | architrave                      |
| AS   | australian standard             |
| AW   | aluminium window                |
| BAL  | balustrade                      |
| BLWK | block work                      |
| BWBP | brickwork bagged & painted      |
| BWF  | brickwork faced                 |
| C    | cornice                         |
| CFC  | compressed fibre cement         |
| COF  | concrete - off form             |
| COL  | column                          |
| CONC | concrete                        |
| CPS  | concrete - polished & sealed    |
| CPT  | carpet                          |
| CR   | cement render                   |
| CST  | concrete - steel trowel finish  |
| CT   | ceramic tile                    |
| CTP  | cooktop                         |
| DP   | down pipe                       |
| DRY  | dryer                           |
| DW   | dishwasher                      |
| EDB  | electrical distribution board   |
| EX   | existing                        |
| F    | fridge                          |
| FC   | fibrous cement sheet            |
| FCL  | finished ceiling level          |
| FFL  | finished floor level            |
| FGL  | finished ground level           |
| FW   | floor waste                     |
| G    | glass/ glazing                  |
| GAL  | galvanised                      |
| GD   | grated drain                    |
| GO   | glass obscure                   |
| GU   | gutter                          |
| HT   | hose tap                        |
| HWU  | hot water unit                  |
| IM   | inlay mould                     |
| LV   | louvre                          |
| MC   | metal cladding                  |
| MPBR | membrane pebble ballast roof    |
| MR   | metal roof                      |
| MS   | metal screen                    |
| NCC  | national construction code      |
| OF   | overflow                        |
| PAV  | paving                          |
| PB   | plasterboard                    |
| PBFR | plasterboard fire resistant     |
| PBM  | plasterboard moisture resistant |
| R    | robe                            |
| RH   | range hood                      |
| RL   | reduced level                   |
| RWH  | rainwater head                  |
| RWO  | rainwater outlet                |
| RWT  | rainwater tank                  |
| SA   | smoke alarm                     |
| SH   | shutters                        |
| SHR  | shower                          |
| SK   | skirting                        |
| SS   | stainless steel                 |
| SSL  | structural slab level           |
| ST   | stone                           |
| STL  | steel                           |
| SWP  | sewer pipe                      |
| T    | timber                          |
| TC   | timber cladding                 |
| TFB  | timber floorboards              |
| TOF  | top of fence                    |
| TOW  | top of wall                     |
| TR   | tiled roof                      |
| TS   | timber screen                   |
| TW   | timber window                   |
| WB   | weatherboards                   |
| WC   | toilet                          |
| WM   | washing machine                 |
| WPM  | water proof membrane            |

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Basix

BASIX report - Certificate Number: A1820081

Alterations and Additions

Fixtures and systems

Hot Water

The applicant must install the following hot water system in the development: gas instantaneous

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light- emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction                   | Additional insulation required (R- value) | Other specifications            |
|--------------------------------|-------------------------------------------|---------------------------------|
| concrete slab on ground floor: | nil                                       |                                 |
| floor above existing dwelling: | nil                                       |                                 |
| external wall: cavity brick    | nil                                       |                                 |
| external wall: other/undecided | R1.70 (including construction)            |                                 |
| external wall: framed          | R1.30 (or R1.70 including construction)   |                                 |
| flat ceiling, pitched roof     | ceiling: R2.50 (up), roof: foil/sarking   | dark (solar absorptance > 0.70) |

Windows and glazing requirements

| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type                                             |
|--------------------|-------------|------------------------------------|--------------------------|----------------------------|----------------|------------------------------------------------------------------|
| W1.02              | NW          | 0.78                               | 5.78                     | 2                          | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W1.03              | NW          | 0.78                               | 5.78                     | 2                          | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W1.04              | NW          | 5.75                               | 6.8                      | 2.36                       | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W2.03              | NW          | 0.98                               | 2.63                     | 2                          | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W1.01              | NW          | 0.78                               | 5.78                     | 2                          | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W1.05              | SE          | 1.4                                | 6.13                     | 3.03                       | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W2.01              | NW          | 0.98                               | 2.63                     | 2                          | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W2.02              | NW          | 0.98                               | 2.63                     | 2                          | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W1.06              | SE          | 1.68                               | 6.14                     | 3.03                       | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W1.07              | NE          | 2.21                               | 2.78                     | 3.37                       | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W1.09              | S           | 2.16                               | 7.49                     | 3.37                       | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W1.08              | S           | 8.79                               | 7.6                      | 3.37                       | none           | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W2.04              | NW          | 0.98                               | 2.63                     | 2                          | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W2.05              | NW          | 1.34                               | 3.87                     | 2                          | none           | aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)      |
| W2.06              | SE          | 1.68                               | 2.74                     | 4.73                       | none           | standard aluminium, single toned, (or U-value: 7.51, SHGC: 0.57) |

| Sky/light number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type                                                            |
|------------------|---------------------------------|----------------|---------------------------------------------------------------------------------|
| SL-01            | 3                               | no shading     | timber, low-E internalargon fill/clear external, (or U-value: 2.9, SHGC: 0.456) |

drawing list

| DRAWING NO. | DRAWING NAME                   | REV |
|-------------|--------------------------------|-----|
| DA000       | Cover Sheet                    | A   |
| DA001       | Site Analysis                  | A   |
| DA002       | Site & Roof Plan               | A   |
| DA003       | Demolition Plan - Ground Level | A   |
| DA004       | Demolition Plan - Level 1      | A   |
| DA100       | Basement Plan                  | A   |
| DA101       | Ground Floor Plan              | A   |
| DA102       | Level 1 Plan                   | A   |
| DA200       | North-East Elevation           | A   |
| DA201       | South-West Elevation           | A   |
| DA202       | South-East Elevation           | A   |
| DA203       | North-West Elevation           | A   |
| DA204       | Street & Seawall Elevation     | A   |
| DA300       | Section AA                     | A   |
| DA301       | Section BB                     | A   |
| DA500       | Shadow Diagram 9am             | A   |
| DA501       | Shadow Diagram 12pm            | A   |
| DA502       | Shadow Diagram 3pm             | A   |
| DA503       | Area Calculations              | A   |
| DA504       | Waste Management Site Plan     | A   |

| RevID | Date       | Description             |
|-------|------------|-------------------------|
| A     | 29/10/2025 | Development Application |
|       |            |                         |
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|       |            |                         |
|       |            |                         |

location map



Development Application

Alterations & Additions

at

11a Monash Crescent,  
Clontarf

for

Courtney Smith & Dan  
Brooks

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job no.

drawn

checked

scale

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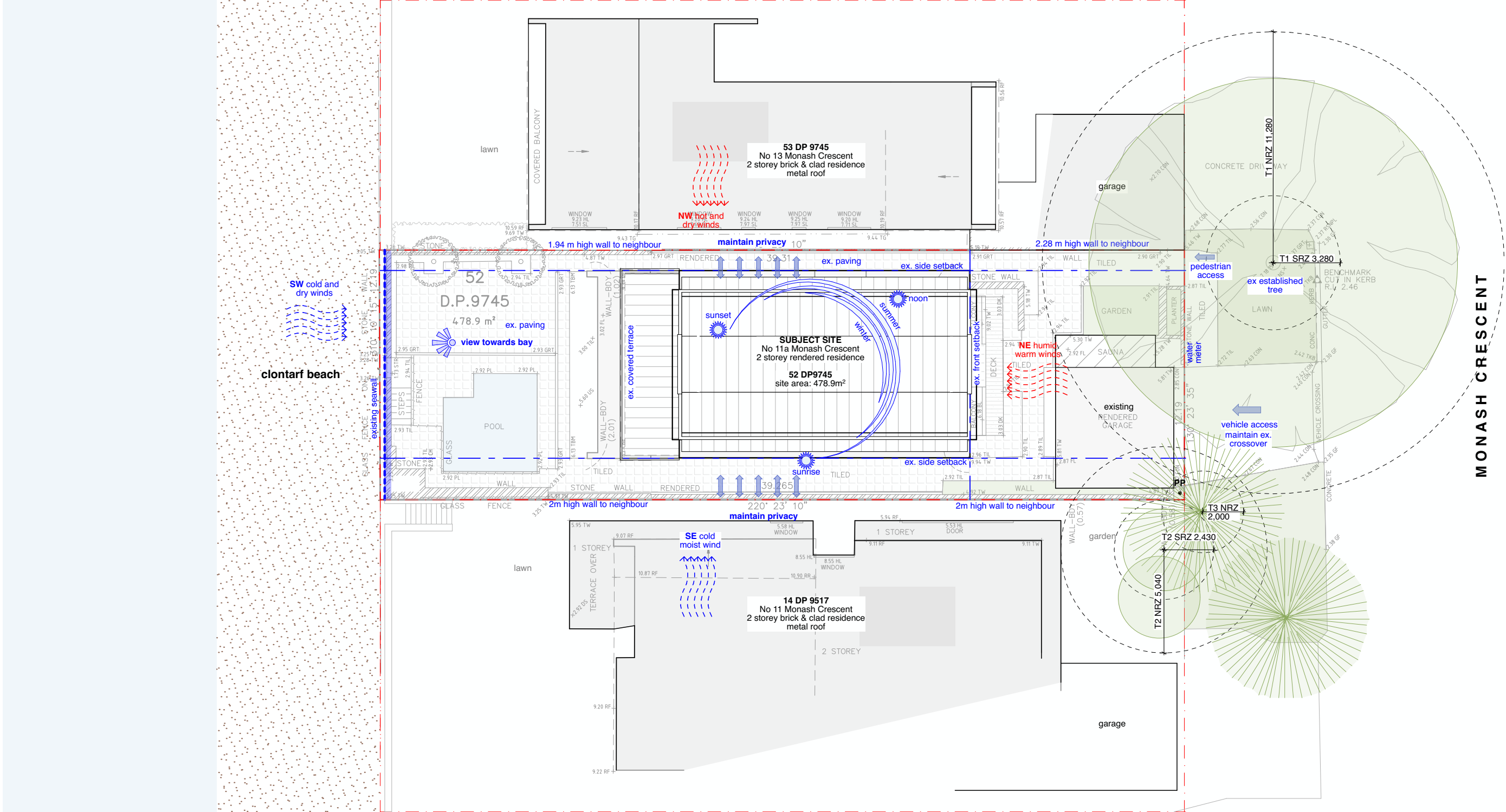
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DA000

revision

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- notes
- ex structure to be retained
  - ex structure to be demolished
  - new works

MCHC - DA

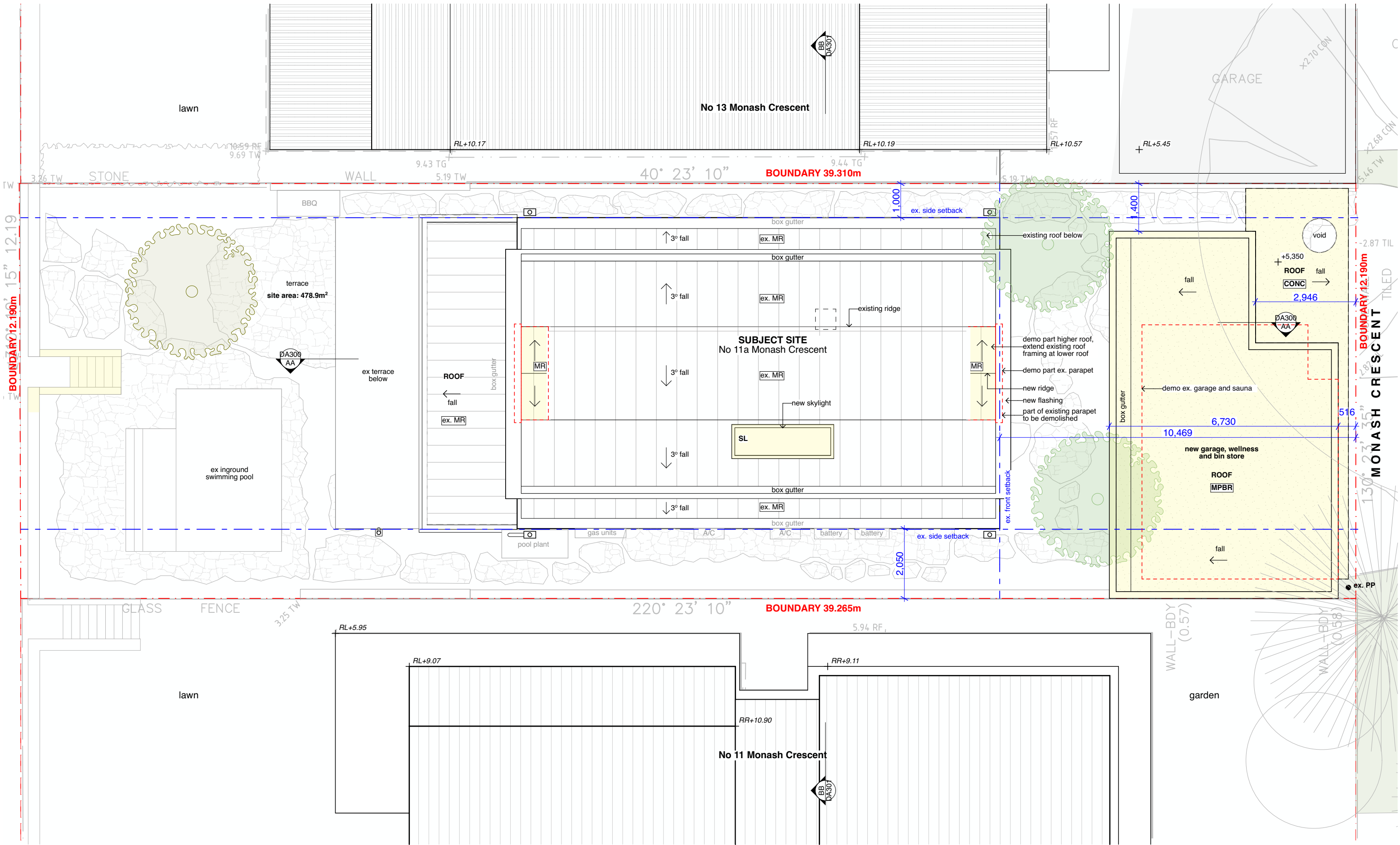


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| project | Alterations & Additions             | title | Site Analysis           | job no. | MCHC  | dwg no.  |       |
|---------|-------------------------------------|-------|-------------------------|---------|-------|----------|-------|
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development Application | drawn   | PF/MM | revision | DA001 |
| client  | Courtney Smith &<br>Dan Brooks      | scale | 1:200@A3                | checked | AE    |          | A     |



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ex structure to be demolished

new works

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| project | Alterations & Additions             | title | Site & Roof Plan        |
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development Application |
| client  | Courtney Smith &<br>Dan Brooks      | scale | 1:100@A3                |

|         |          |          |       |
|---------|----------|----------|-------|
| job no. | MCHC     | dwg no.  | DA002 |
| drawn   | PF/MM    | revision | A     |
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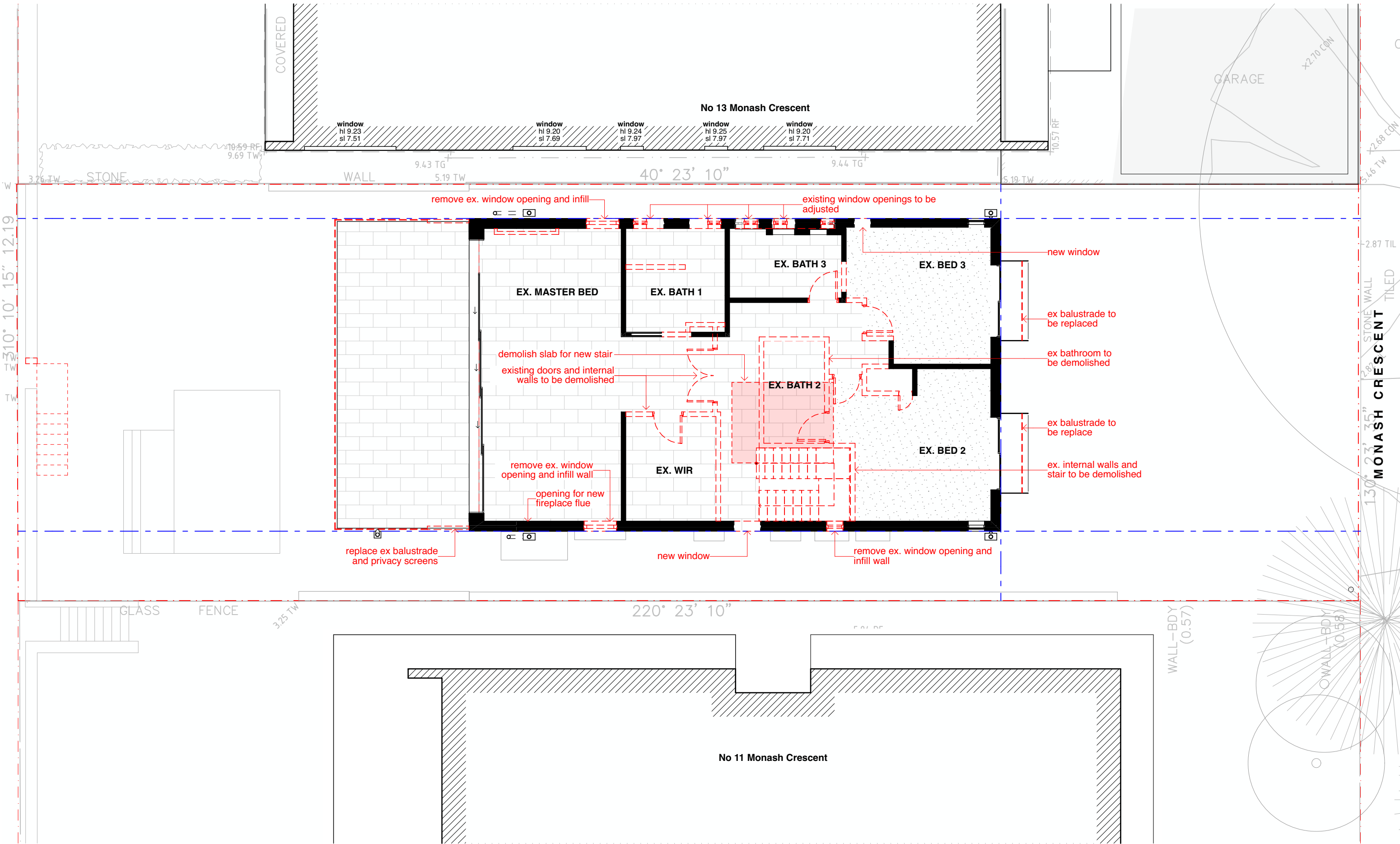


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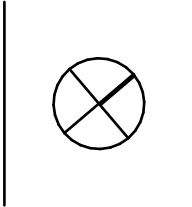
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| project | Alterations & Additions             | title | Demolition Plan - Ground Level | job no. | MCHC  | dwg no.  | DA003 |
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development Application        | drawn   | PF/MM | revision | A     |
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| notes                                                                                |                               |
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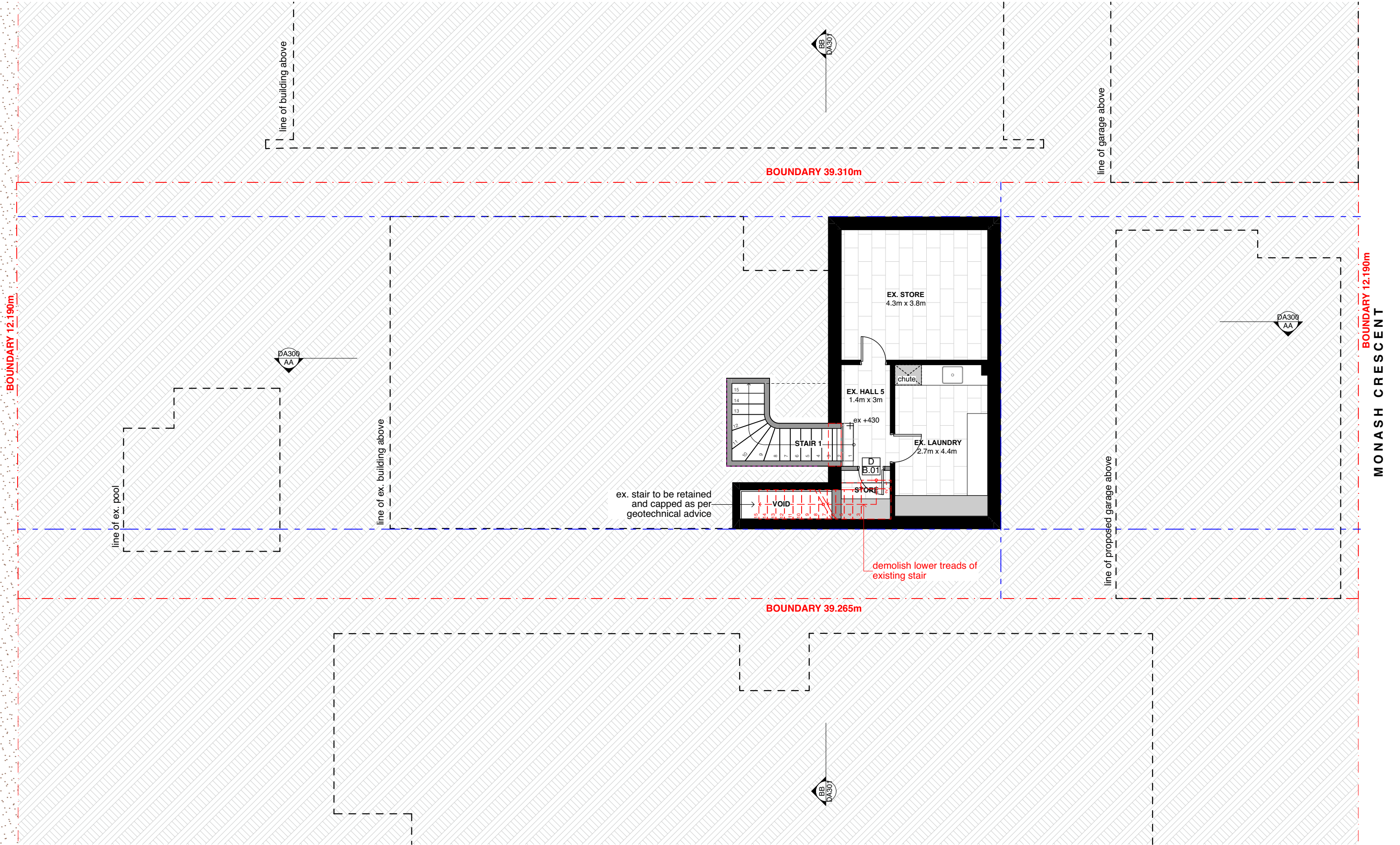
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| address | 11a Monash Crescent<br>Clontarf NSW |
| client  | Courtney Smith &<br>Dan Brooks      |

|       |                              |
|-------|------------------------------|
| title | Demolition Plan -<br>Level 1 |
| issue | Development<br>Application   |

|         |          |
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| job no. | MCHC     |
| drawn   | PF/MM    |
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| dwg no.  | DA004 |
| revision | A     |



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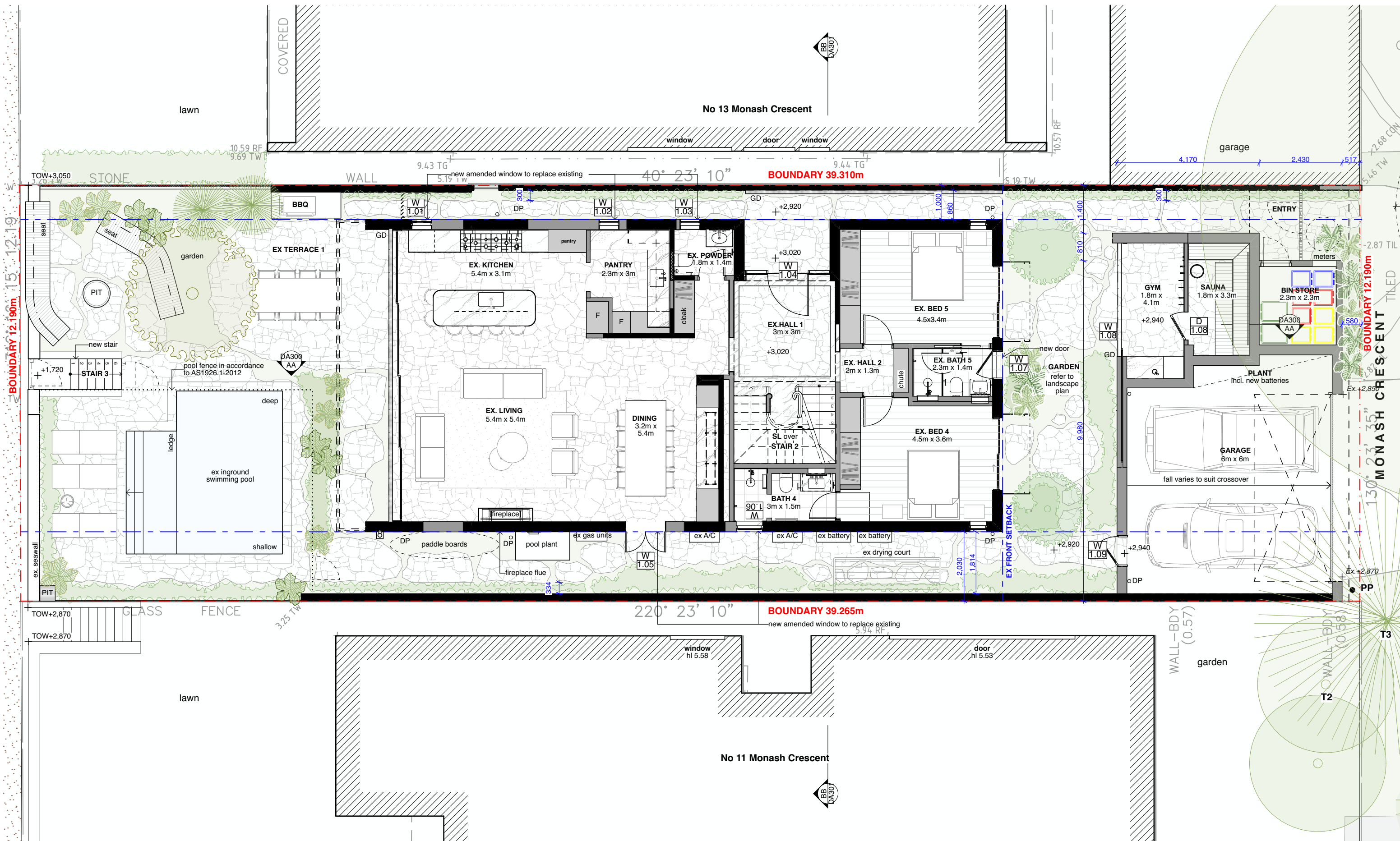
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| project | Alterations & Additions             | title | Basement Plan           | job no. | MCHC  | dwg no.  | DA100 |
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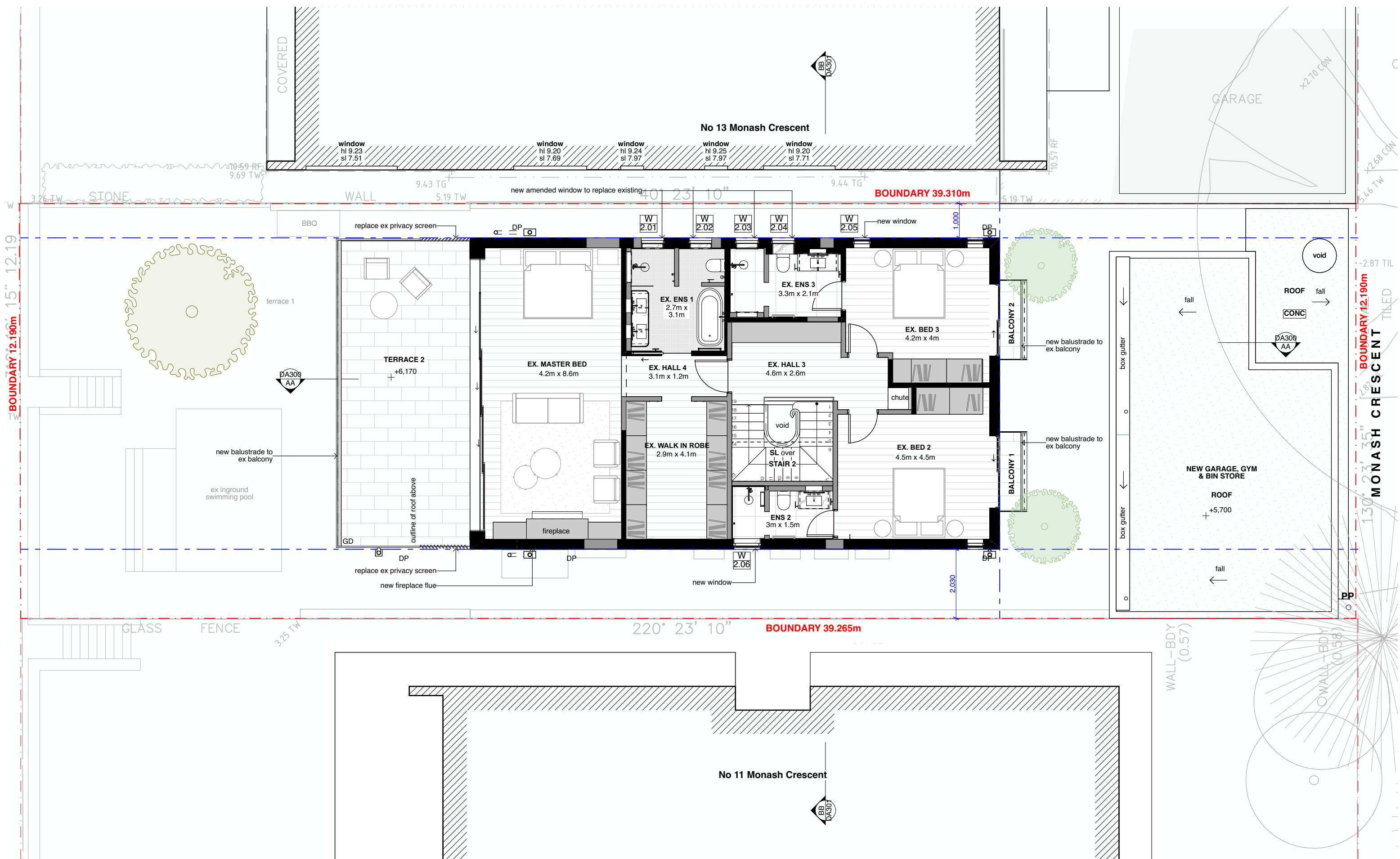


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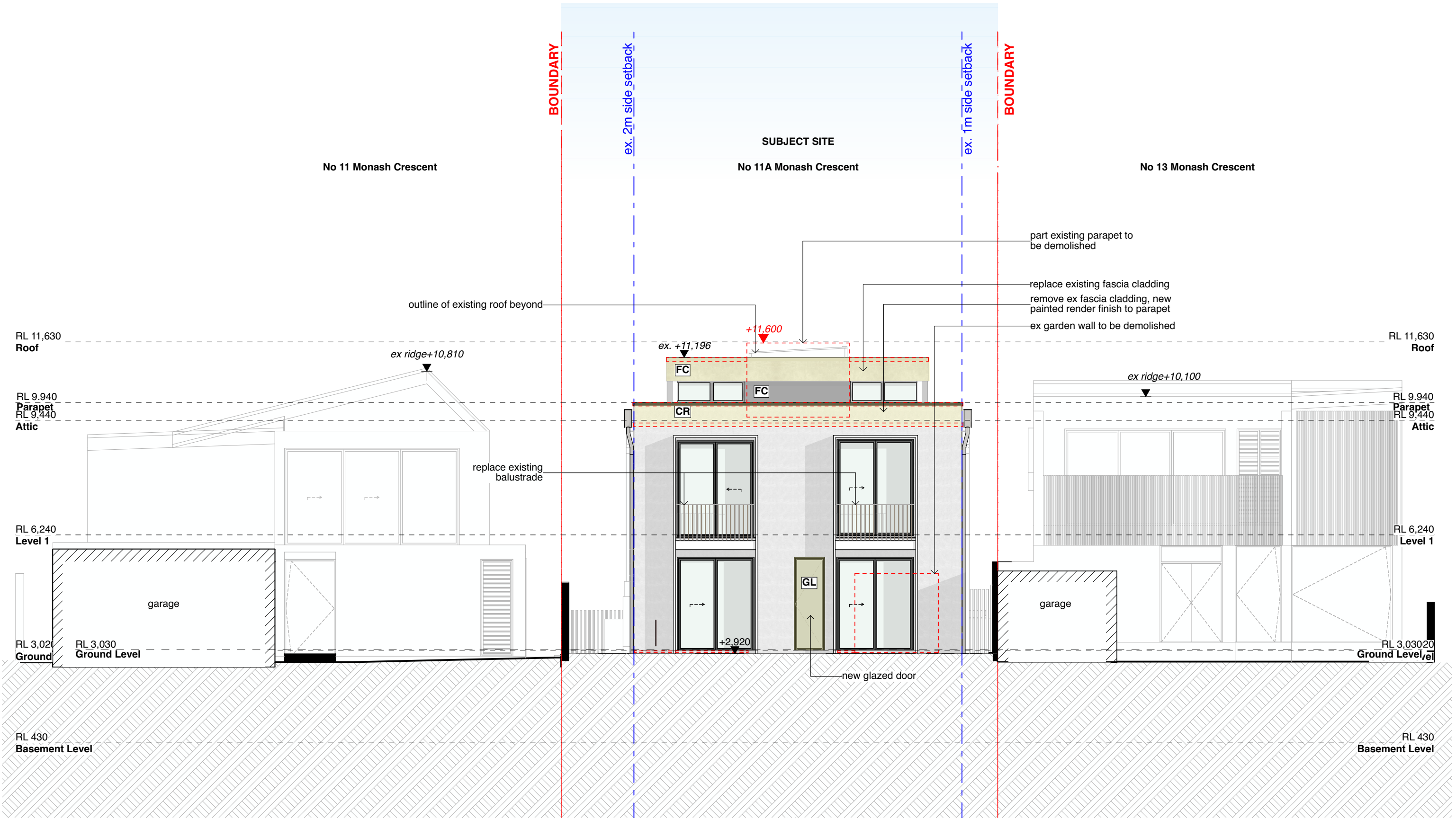
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| <b>project</b> | Alterations & Additions             | <b>title</b> | Ground Floor Plan          | <b>job no.</b> | MCHC     | <b>dwg no.</b>  | DA101 |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>revision</b> |       |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development<br>Application | <b>checked</b> | AE       |                 | A     |
|                |                                     |              |                            | <b>scaled</b>  | 1:100@A3 |                 |       |



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|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | revisions                                                                                                                                                                                                                                                                                                                                      |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | REV                                                                                                                                                                                                                                                                                                                                            | DATE       | DESCRIPTION             |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | A                                                                                                                                                                                                                                                                                                                                              | 29/10/2025 | Development Application |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
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|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| notes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| <div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | ex structure to be retained                                                                                                                                                                                                                                                                                                                    |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| <div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | ex structure to be demolished                                                                                                                                                                                                                                                                                                                  |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| <div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | new works                                                                                                                                                                                                                                                                                                                                      |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| project                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Alterations & Additions                                                                                                                                                                                                                                                                                                                        | title      | Level 1 Plan            |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| address                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 11a Monash Crescent<br>Clontarf NSW                                                                                                                                                                                                                                                                                                            |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| client                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Courtney Smith & Dan Brooks                                                                                                                                                                                                                                                                                                                    | issue      | Development Application |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| job no.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | MCHC                                                                                                                                                                                                                                                                                                                                           | dwg no.    | DA102                   |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| drawn                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | PF/MM                                                                                                                                                                                                                                                                                                                                          | revision   | A                       |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| checked                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | AE                                                                                                                                                                                                                                                                                                                                             |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |
| scale                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 1:100@A3                                                                                                                                                                                                                                                                                                                                       |            |                         |  |     |      |             |   |            |                         |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                            |       |  |             |                             |             |                               |             |           |             |                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                       |         |                         |       |              |         |                                     |  |  |        |                             |       |                         |                                                                                                                                                                                                                                                                     |         |      |         |       |       |       |          |   |         |    |  |  |       |          |  |  |



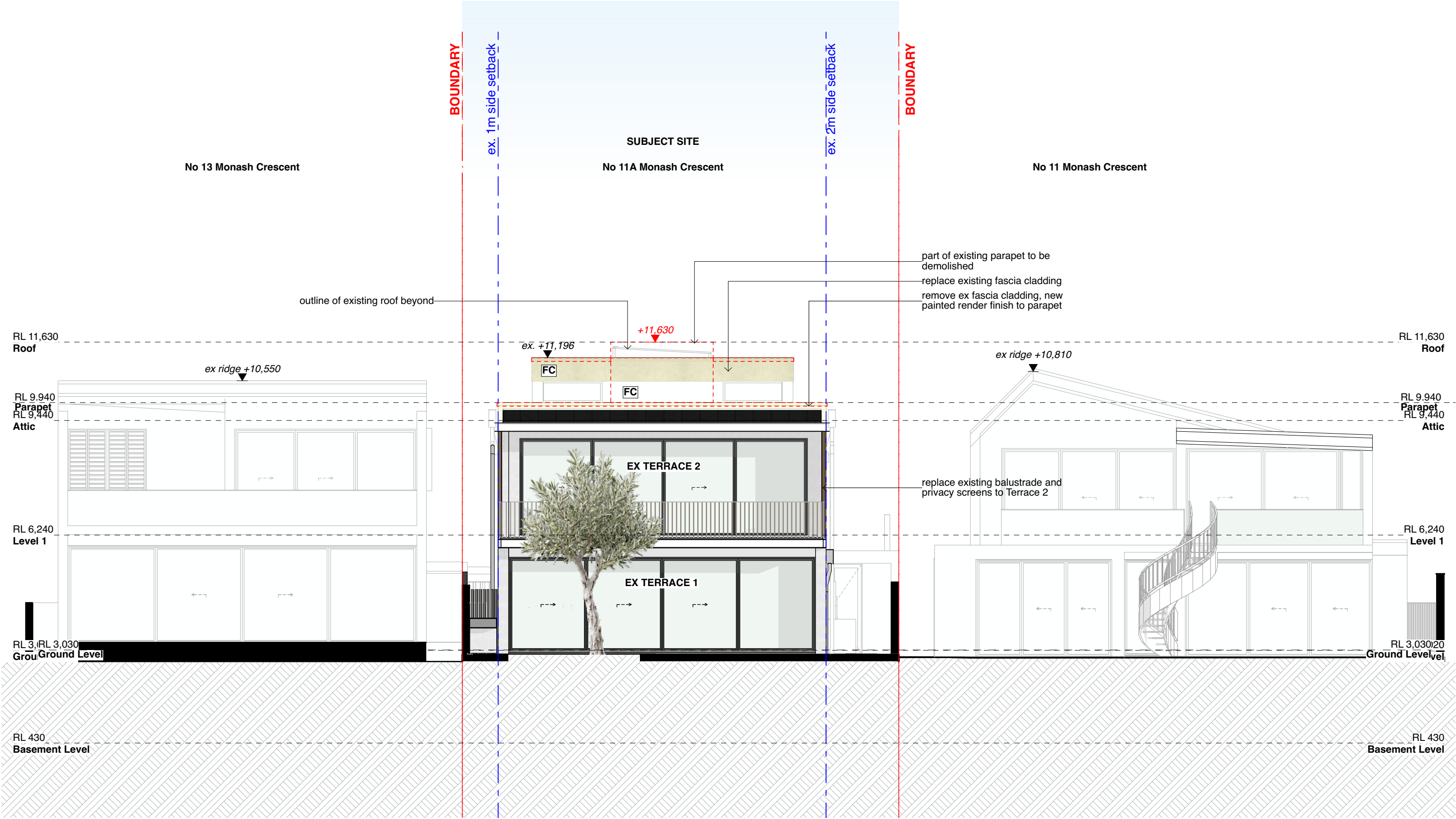
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| REV       | DATE       | DESCRIPTION             |
| A         | 29/10/2025 | Development Application |
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| notes                                                                                |                               |
|--------------------------------------------------------------------------------------|-------------------------------|
|  | ex structure to be retained   |
|  | ex structure to be demolished |
|  | new works                     |
| MCHC - DA                                                                            |                               |

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|         |                                     |       |                         |                  |             |         |
|---------|-------------------------------------|-------|-------------------------|------------------|-------------|---------|
| project | Alterations & Additions             | title | North-East Elevation    | job no.          | MCHC        | dwg no. |
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development Application | drawn<br>checked | PF/MM<br>AE | DA200   |
| client  | Courtney Smith &<br>Dan Brooks      | scale | 1:100@A3                | revision         | A           |         |



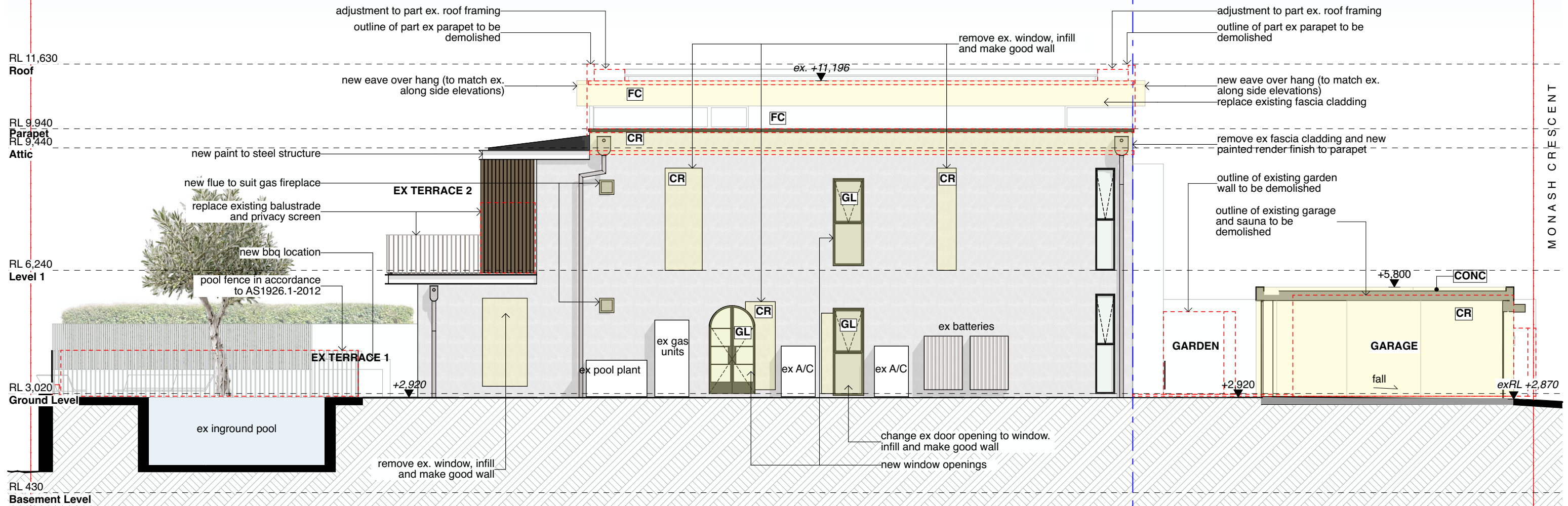
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| REV       | DATE       | DESCRIPTION             |
| A         | 29/10/2025 | Development Application |
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| notes                                                                                |                               |
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|  | ex structure to be retained   |
|  | ex structure to be demolished |
|  | new works                     |
| MCHC - DA                                                                            |                               |

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|         |                                     |       |                         |         |       |          |
|---------|-------------------------------------|-------|-------------------------|---------|-------|----------|
| project | Alterations & Additions             | title | South-West Elevation    | job no. | MCHC  | dwg no.  |
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development Application | drawn   | PF/MM | DA201    |
| client  | Courtney Smith &<br>Dan Brooks      | scale | 1:100@A3                | checked | AE    | revision |
|         |                                     |       |                         |         |       | A        |



| revisions |            |                         |
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| REV       | DATE       | DESCRIPTION             |
| A         | 29/10/2025 | Development Application |
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**notes**

- ex structure to be retained
- ex structure to be demolished
- new works

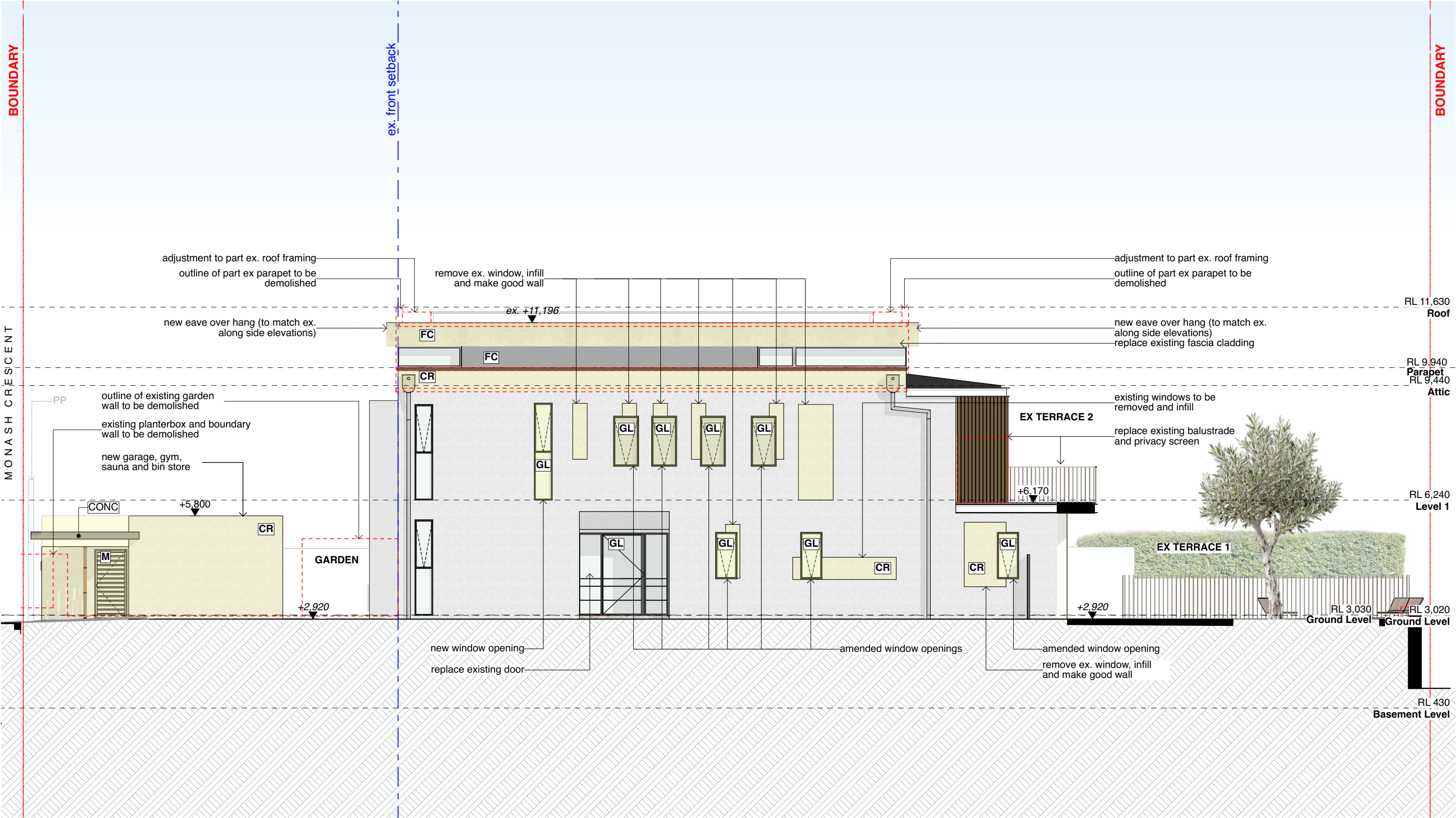
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|                |                                     |              |                            |                |          |                 |
|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|
| <b>project</b> | Alterations & Additions             | <b>title</b> | South-East Elevation       | <b>job no.</b> | MCHC     | <b>dwg no.</b>  |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>DA202</b>    |
|                |                                     |              |                            | <b>checked</b> | AE       | <b>revision</b> |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development<br>Application | <b>scale</b>   | 1:100@A3 | <b>A</b>        |



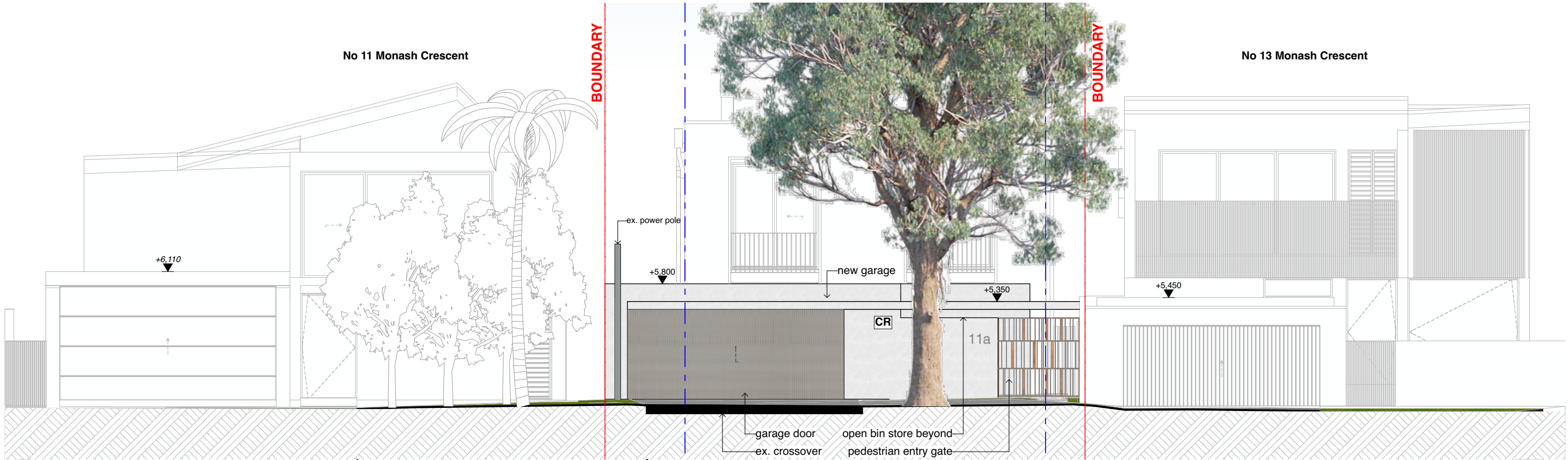
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| A         | 29/10/2025 | Development Application |
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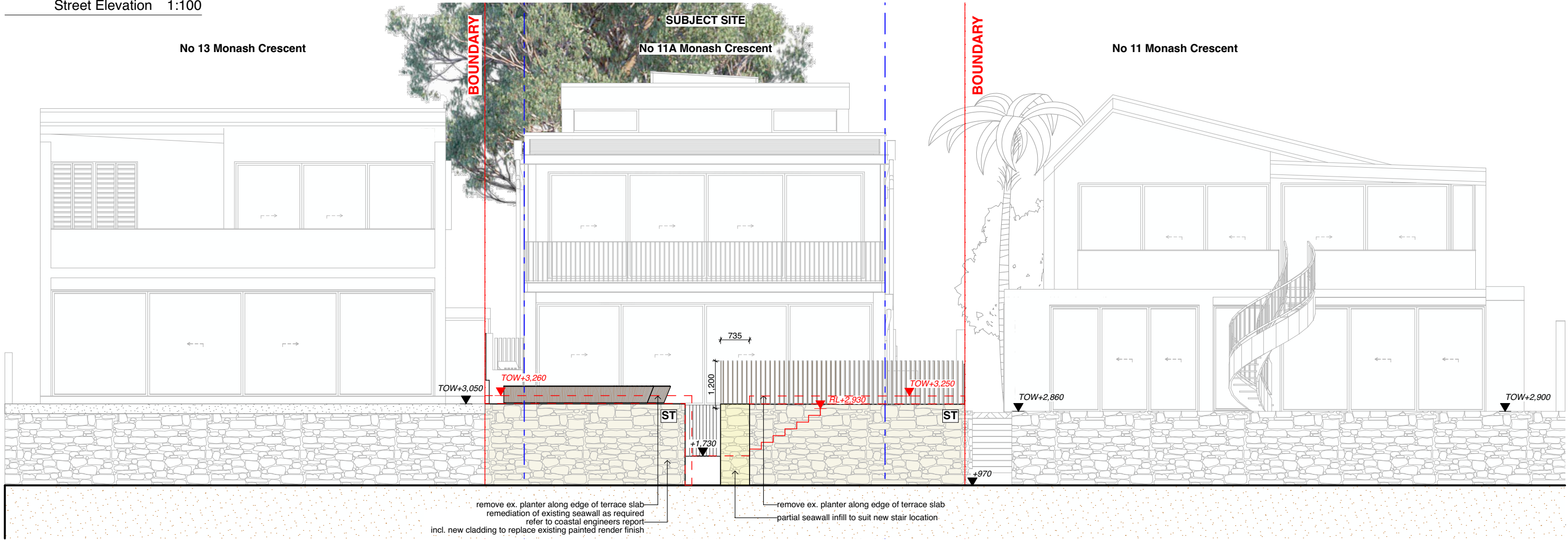
**notes**  
■ ex structure to be retained  
■ ex structure to be demolished  
■ new works  
  
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|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|--|
| <b>project</b> | Alterations & Additions             | <b>title</b> | North-West Elevation       | <b>job no.</b> | MCHC     | <b>dwg no.</b>  |  |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>DA203</b>    |  |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development<br>Application | <b>checked</b> | AE       | <b>revision</b> |  |
|                |                                     |              |                            | <b>scale</b>   | 1:100@A3 | <b>A</b>        |  |



Street Elevation 1:100



Seawall Elevation 1:100

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| notes     |                               |
|-----------|-------------------------------|
|           | ex structure to be retained   |
|           | ex structure to be demolished |
|           | new works                     |
| MCHC - DA |                               |

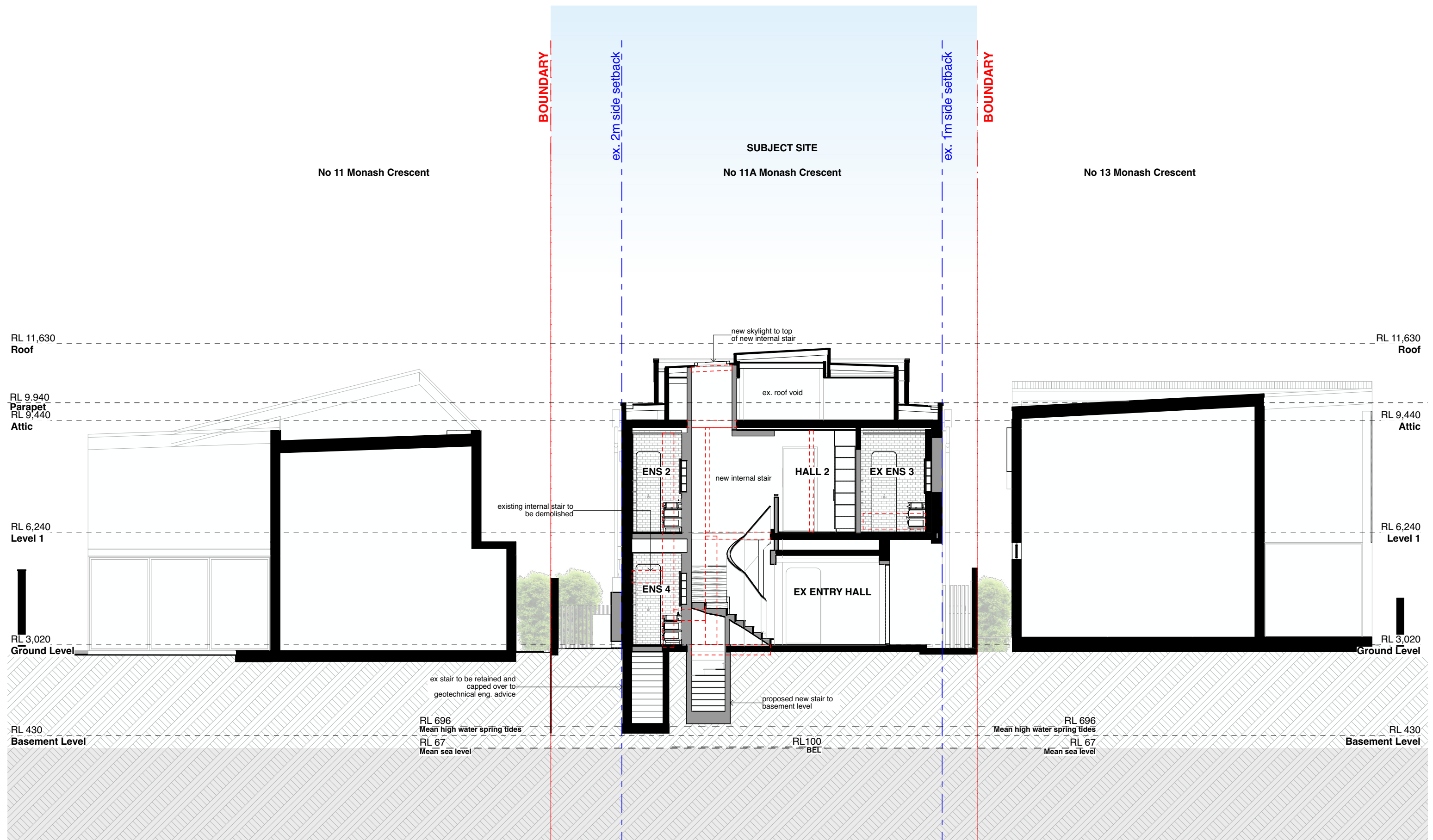
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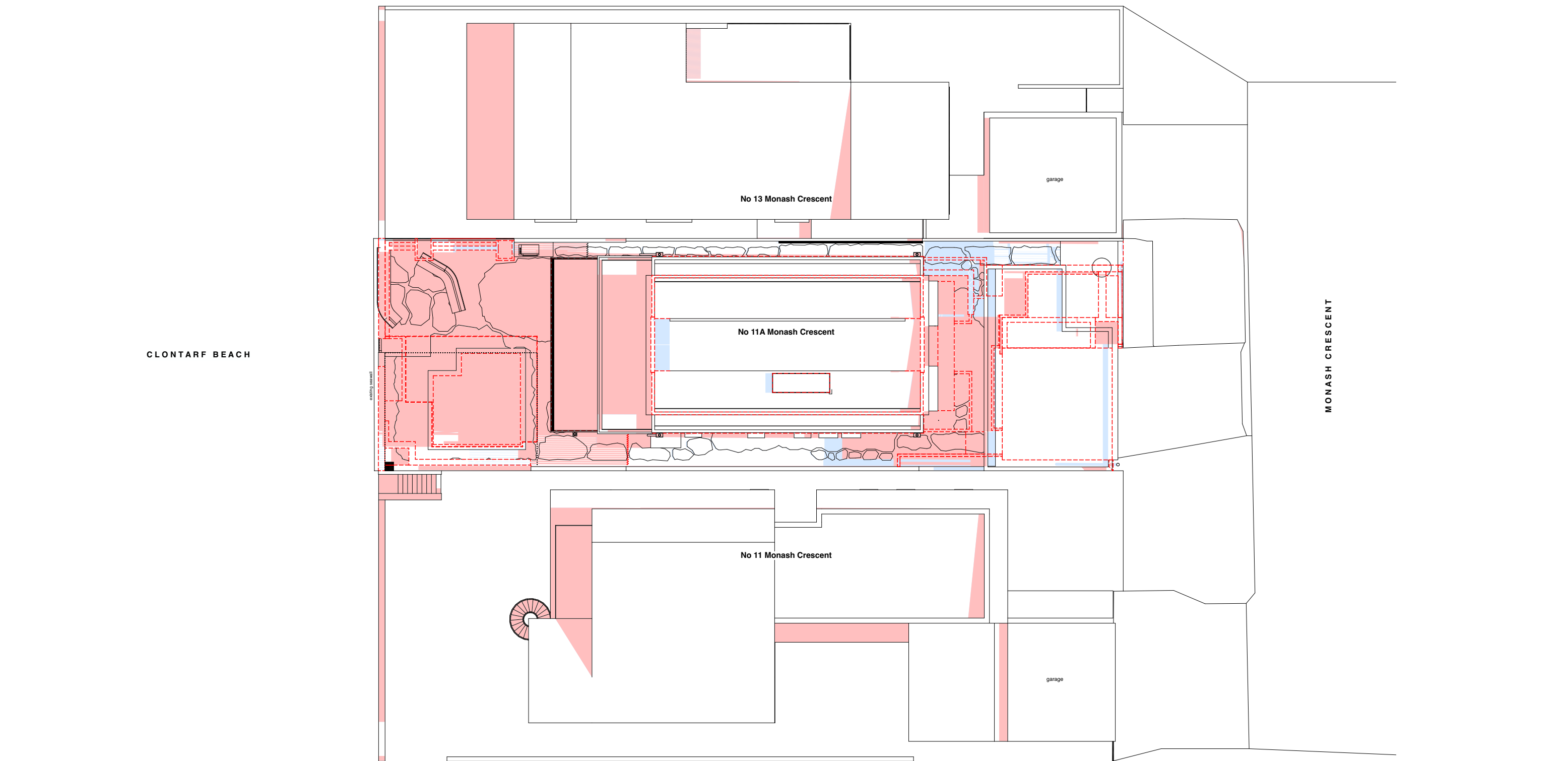
|                |                                     |              |                            |                |          |                 |       |
|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|-------|
| <b>project</b> | Alterations & Additions             | <b>title</b> | Street & Seawall Elevation | <b>job no.</b> | MCHC     | <b>dwg no.</b>  | DA204 |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>revision</b> | A     |
| <b>client</b>  | Courtney Smith & Dan Brooks         | <b>issue</b> | Development Application    | <b>checked</b> | AE       |                 |       |
|                |                                     |              |                            | <b>scale</b>   | 1:100@A3 |                 |       |

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[illegible]



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| A         | 29/10/2025 | Development Application |
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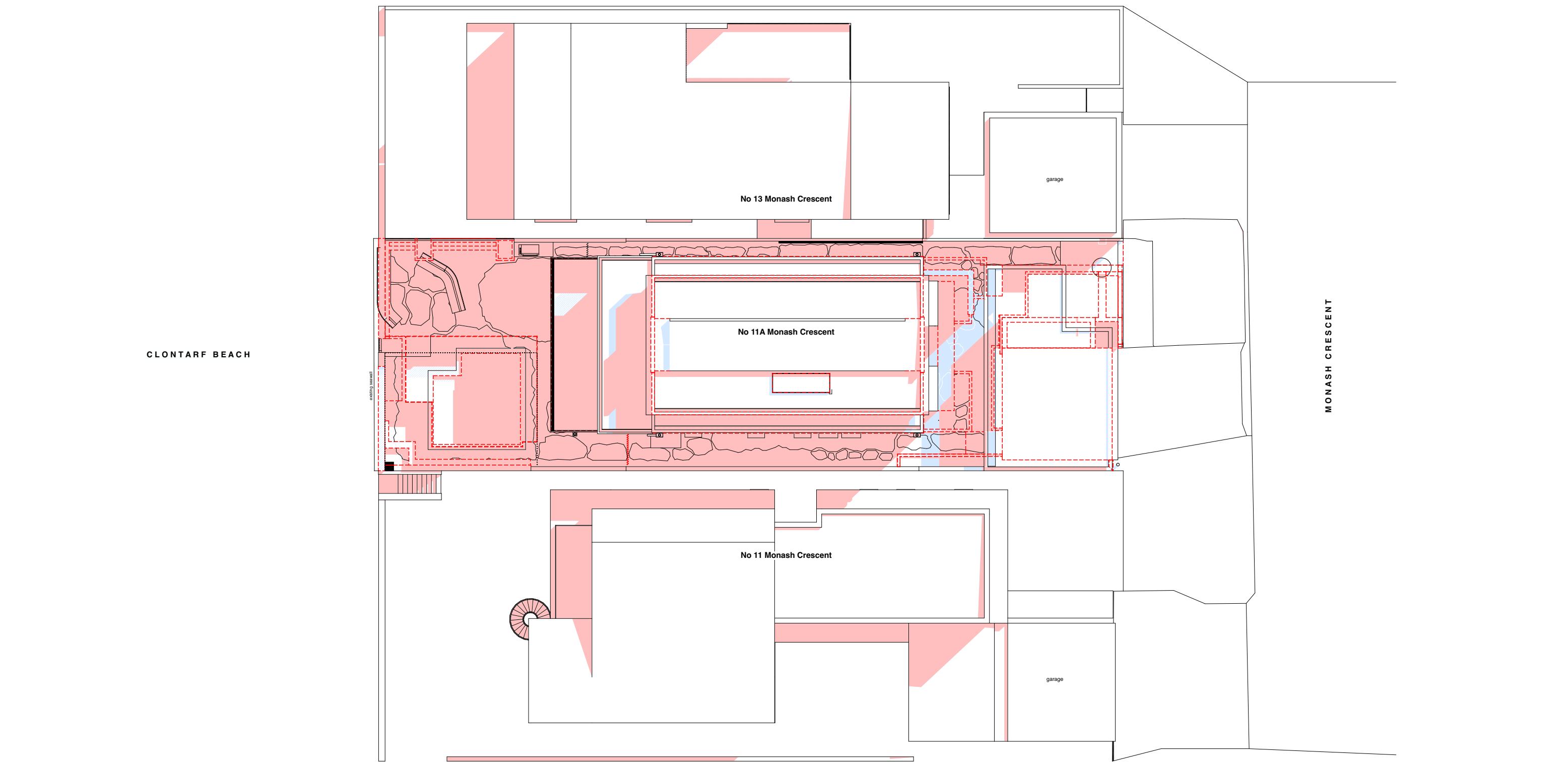
- notes**
-  Outline of existing house to be demolished
  -  Proposed shadows
  -  Existing shadows

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|                |                                     |              |                            |                |          |                 |  |
|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|--|
| <b>project</b> | Alterations & Additions             | <b>title</b> | Shadow Diagram 9am         | <b>job no.</b> | MCHC     | <b>dwg no.</b>  |  |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>DA500</b>    |  |
|                |                                     |              |                            | <b>checked</b> | AE       | <b>revision</b> |  |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development<br>Application | <b>scale</b>   | 1:200@A3 | <b>A</b>        |  |



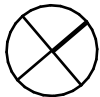
• Any discrepancies to be brought to Architect's attention  
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| REV       | DATE       | DESCRIPTION             |
| A         | 29/10/2025 | Development Application |
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**notes**

- Outline of existing house to be demolished
- Proposed shadows
- Existing shadows

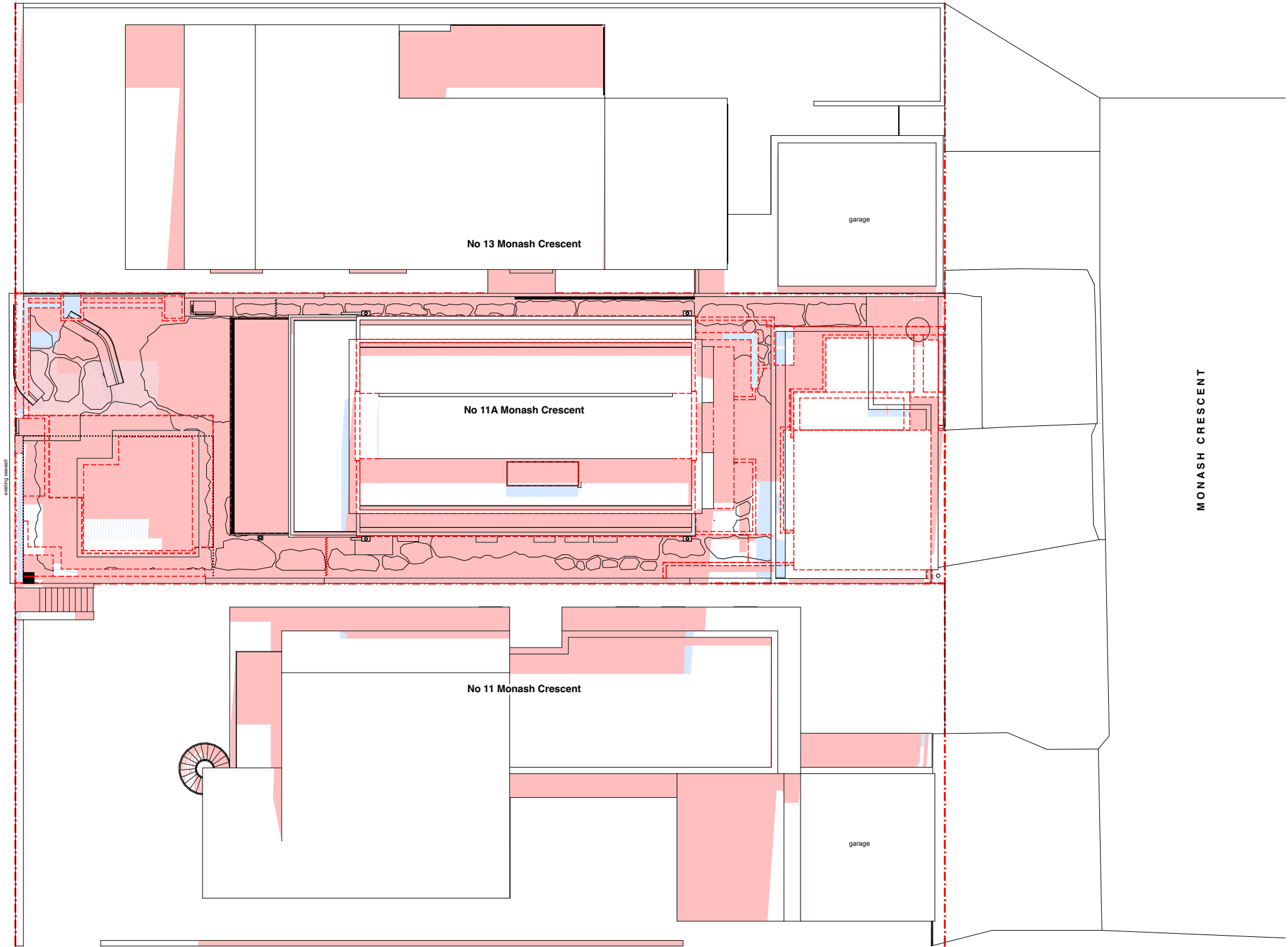
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Nominated Registered Architect: 10271

|                |                                     |              |                            |                |          |                 |       |
|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|-------|
| <b>project</b> | Alterations & Additions             | <b>title</b> | Shadow Diagram<br>12pm     | <b>job no.</b> | MCHC     | <b>dwg no.</b>  | DA501 |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>revision</b> | A     |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development<br>Application | <b>scale</b>   | 1:200@A3 |                 |       |
|                |                                     |              |                            |                |          |                 |       |

CLONTARF BEACH



MONASH CRESCENT

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| A         | 29/10/2025 | Development Application |
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- notes
- Outline of existing house to be demolished
  - Proposed shadows
  - Existing shadows

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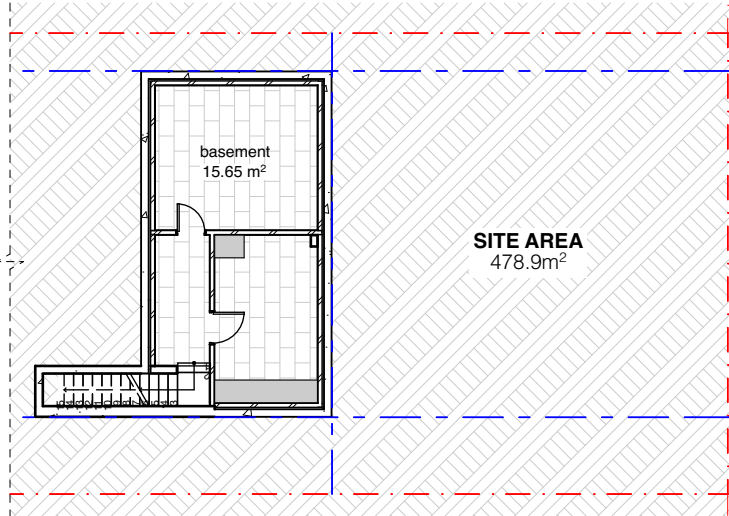
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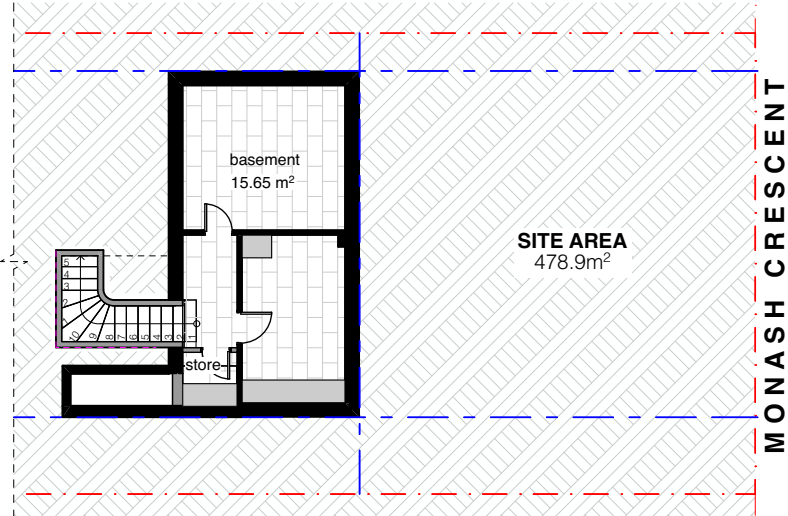
Nominated Registered Architect: 10271

|         |                                     |       |                            |                  |             |         |
|---------|-------------------------------------|-------|----------------------------|------------------|-------------|---------|
| project | Alterations & Additions             | title | Shadow Diagram 3pm         | job no.          | MCHC        | dwg no. |
| address | 11a Monash Crescent<br>Clontarf NSW | issue | Development<br>Application | drawn<br>checked | PF/MM<br>AE | DA502   |
| client  | Courtney Smith &<br>Dan Brooks      | scale | 1:200@A3                   | revision         | A           |         |

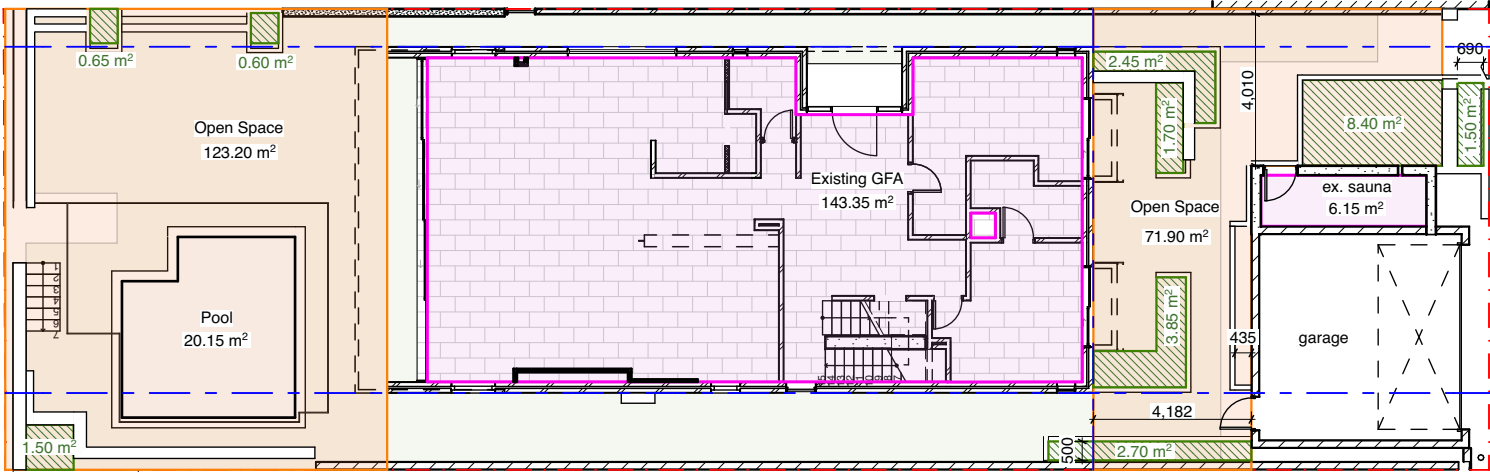
| MANLY COUNCIL DCP 2013                                              | CONTROLS               | EXISTING                        | PROPOSED                        |
|---------------------------------------------------------------------|------------------------|---------------------------------|---------------------------------|
| Site Area: 478.9m <sup>2</sup>                                      |                        |                                 |                                 |
| Max FSR (Zone B)                                                    | = 0.4:1                | 0.57:1                          | 0.57:1                          |
| Gross Floor Area (GFA)                                              | = 191.56m <sup>2</sup> | 270.6m <sup>2</sup>             | 274.75m <sup>2</sup>            |
| OPEN SPACE AREA<br>min 60% of site area                             | = 287.34m <sup>2</sup> | 215.25m <sup>2</sup><br>(44.9%) | 200.45m <sup>2</sup><br>(41.8%) |
| LANDSCAPE AREA<br>min 40% of open space area                        | = 114.94m <sup>2</sup> | 23.35m <sup>2</sup><br>(10.8%)  | 74.5m <sup>2</sup><br>(36%)     |
| MAX OPEN SPACE ABOVE GROUND<br>no more than 25% of total open space | = 71.83m <sup>2</sup>  | 38.85m <sup>2</sup>             | no change                       |
| MAX POOL AREA<br>30% of open space                                  | = 86.20m <sup>2</sup>  | 20.15m <sup>2</sup>             | no change                       |
| NATIVE TREES REQ'D                                                  | = 2                    | -                               | 2                               |



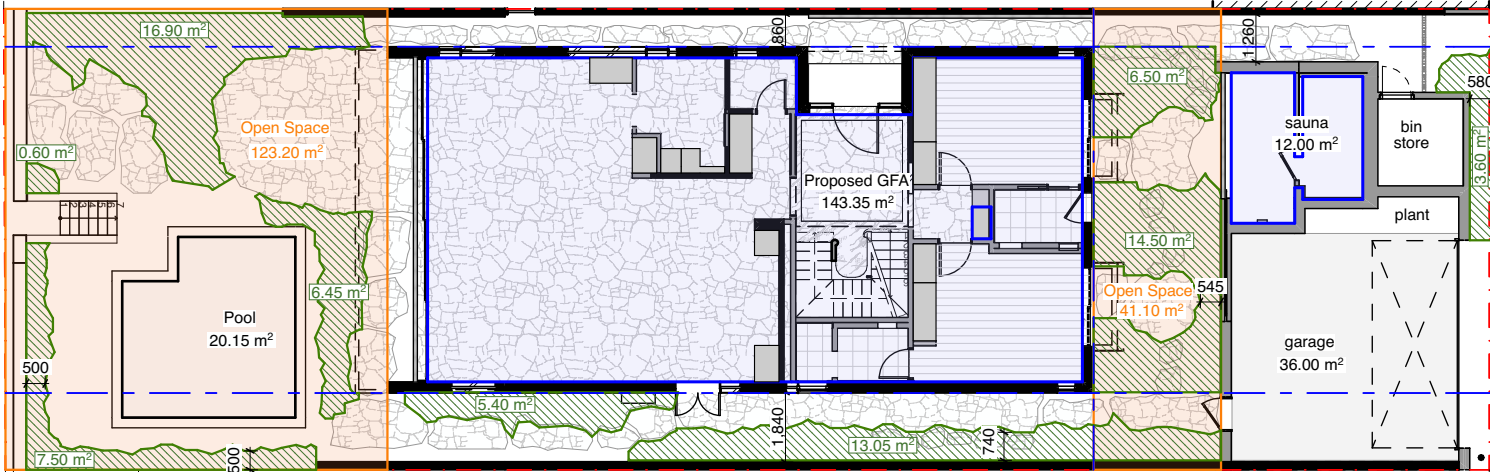
GFA Basement Level Existing 1:200



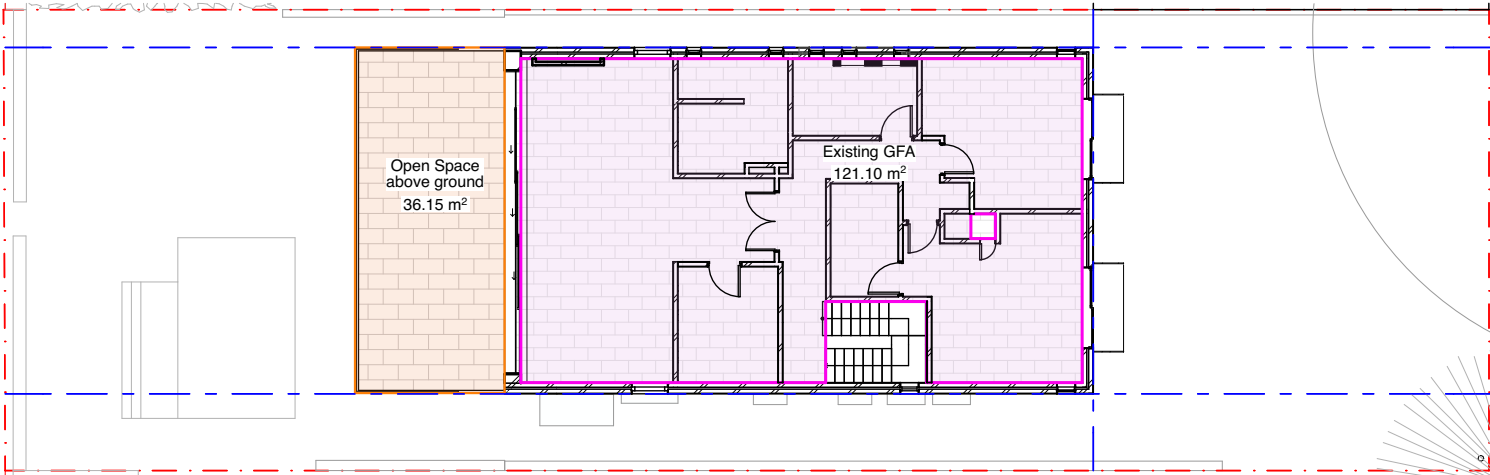
GFA Basement Level Proposed 1:200



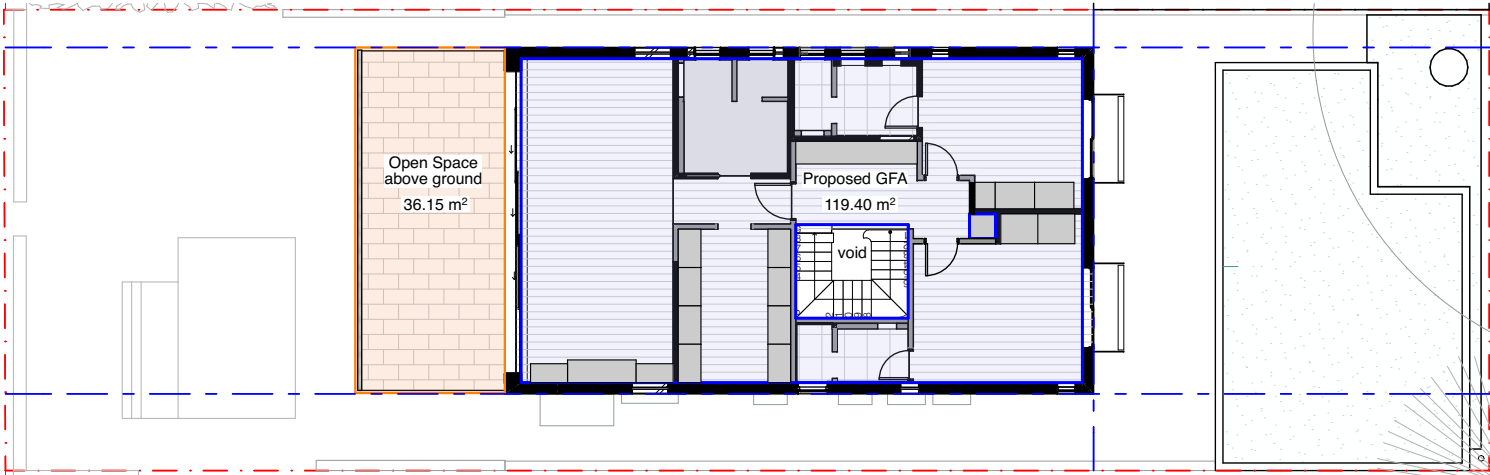
GFA Ground Level Existing 1:200



GFA Ground Level Proposed 1:200



GFA Level 1 Existing 1:200



GFA Level 1 Proposed 1:200

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notes

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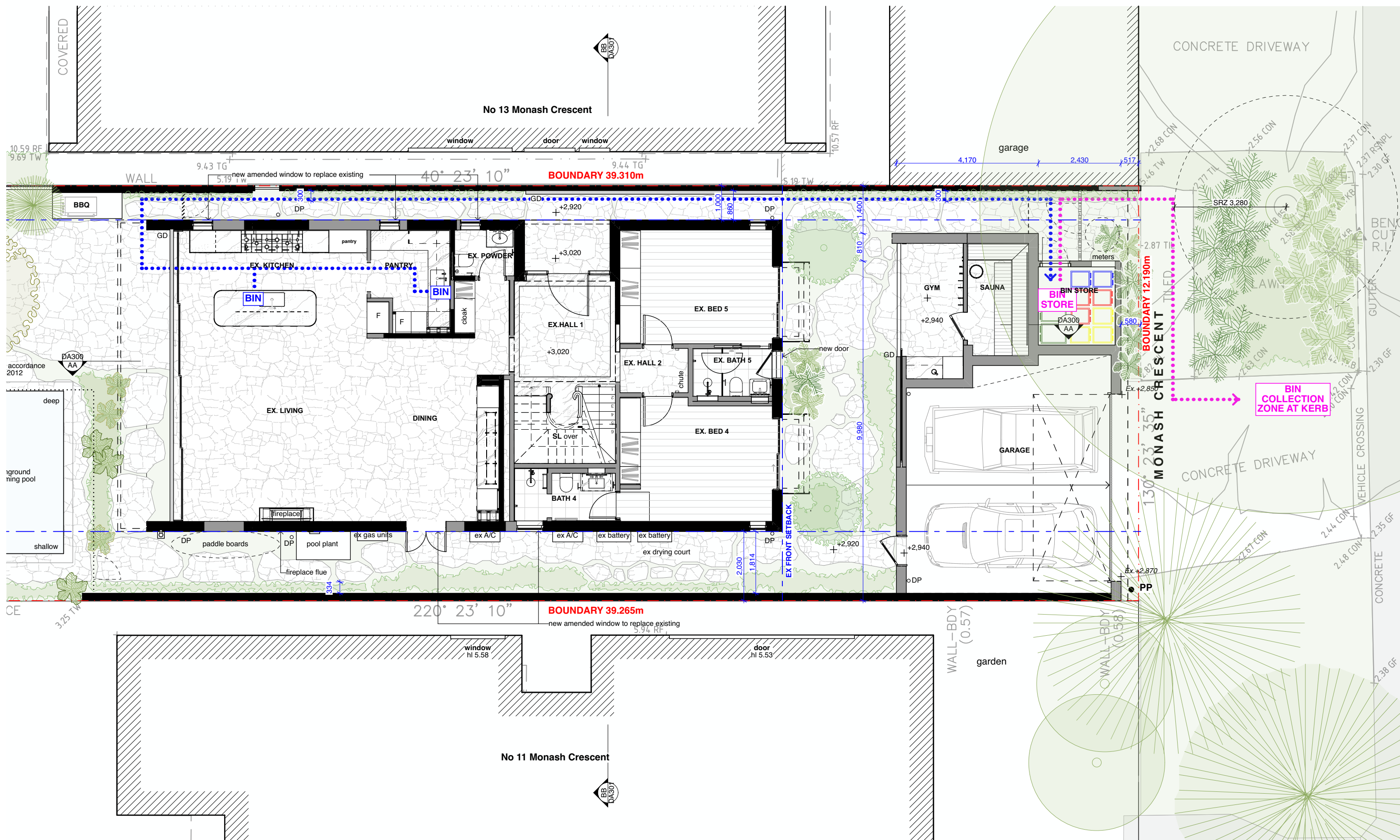


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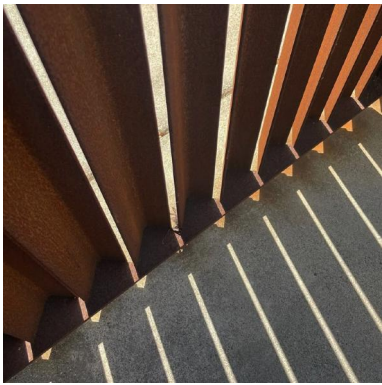
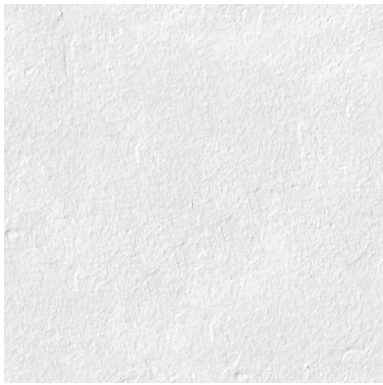
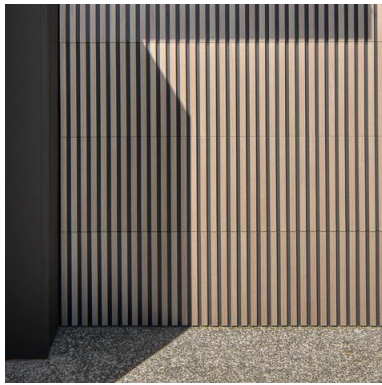
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|---------|-------------------------------------|-------|----------------------------|---------|----------|----------|
| project | Alterations & Additions             | title | Area Calculations          | job no. | MCHC     | dwg no.  |
| address | 11a Monash Crescent<br>Clontarf NSW |       |                            | drawn   | PF/MM    | DA503    |
|         |                                     |       |                            | checked | AE       | revision |
| client  | Courtney Smith &<br>Dan Brooks      | issue | Development<br>Application | scale   | 1:200@A3 | A        |



| revisions |            |                         |
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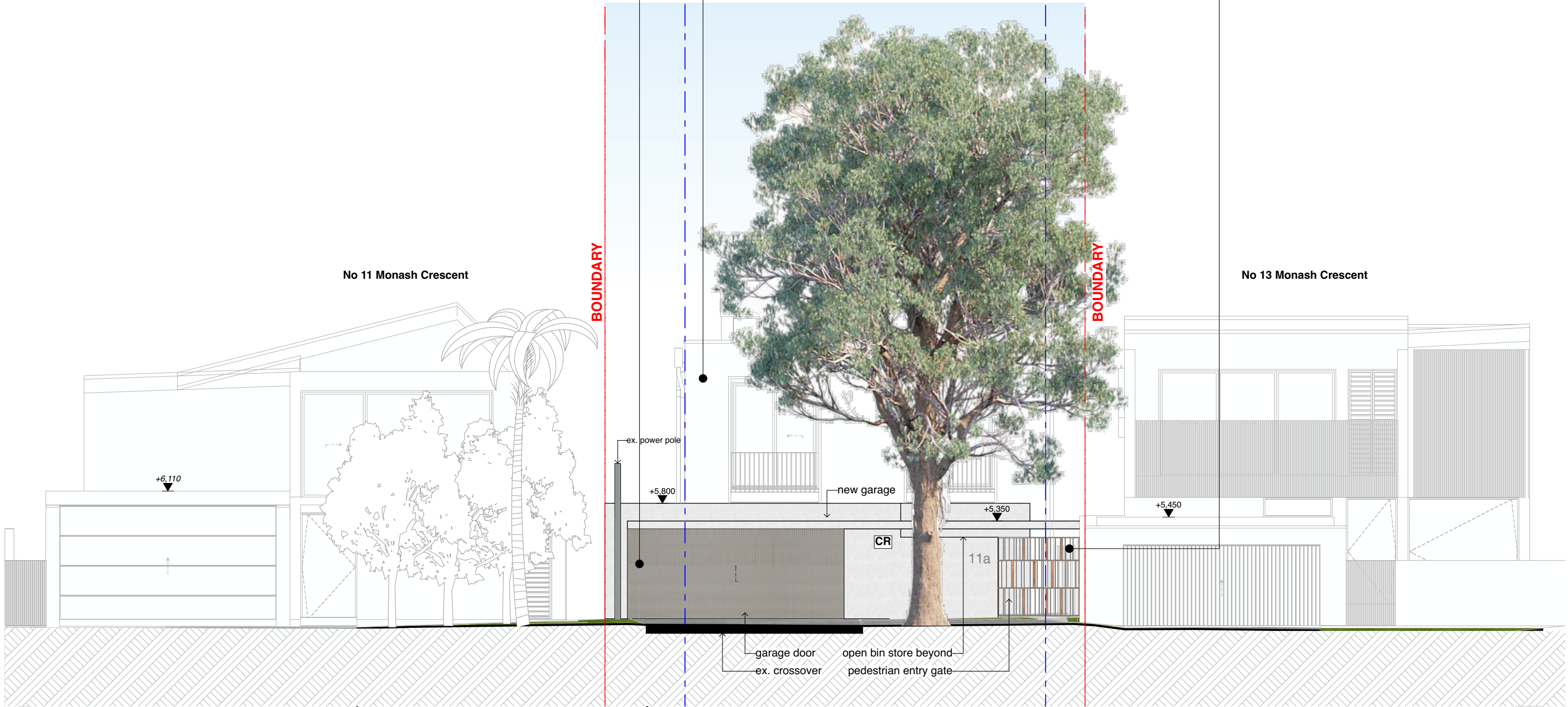
|                |                                     |              |                            |                |          |                 |
|----------------|-------------------------------------|--------------|----------------------------|----------------|----------|-----------------|
| <b>project</b> | Alterations & Additions             | <b>title</b> | Waste Management Site Plan | <b>job no.</b> | MCHC     | <b>dwg no.</b>  |
| <b>address</b> | 11a Monash Crescent<br>Clontarf NSW |              |                            | <b>drawn</b>   | PF/MM    | <b>DA504</b>    |
|                |                                     |              |                            | <b>checked</b> | AE       | <b>revision</b> |
| <b>client</b>  | Courtney Smith &<br>Dan Brooks      | <b>issue</b> | Development Application    | <b>scale</b>   | 1:100@A3 | <b>A</b>        |



batten garage door

CR cement render

M metal gate



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project  
address  
client

Alterations & Additions  
11a Monash Crescent  
Clontarf NSW  
Courtney Smith &  
Dan Brooks

title  
issue

External Materials  
Schedule  
Development  
Application

job no.  
drawn  
checked  
scale

MCHC  
PF/MM  
AE  
@A3

dwg no.  
revision  
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