

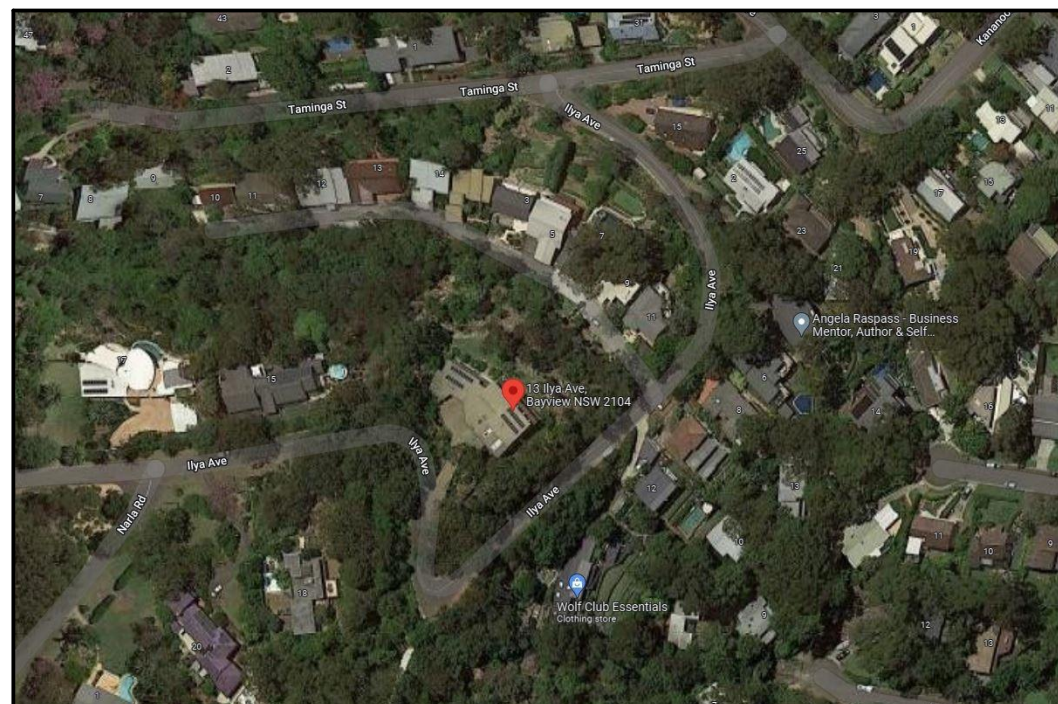
D E V E L O P M E N T A P P L I C A T I O N

13 ILYA AVENUE - BAYVIEW

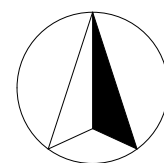


INDEX OF DRAWINGS:

- DA.01 SITE PLAN (SCALE1:500)
- DA.02 SITE ANALYSIS PLAN
- DA.03 TOP TERRACE FLOOR PLAN
- DA.04 LOWER GROUND FLOOR PLAN
- DA.05 GROUND FLOOR PLAN
- DA.06 NORTH ELEVATION
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- DA.08 WEST ELEVATION
- DA.09 SOUTH ELEVATION / BASIX NOTES
- DA.10 SECTION AA / SPECIFICATION NOTES
- DA.11 LANDSCAPE AREA CALCULATION PLAN
- DA.12 LANDSCAPE CONCEPT PLAN
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ARTIST IMPRESSION

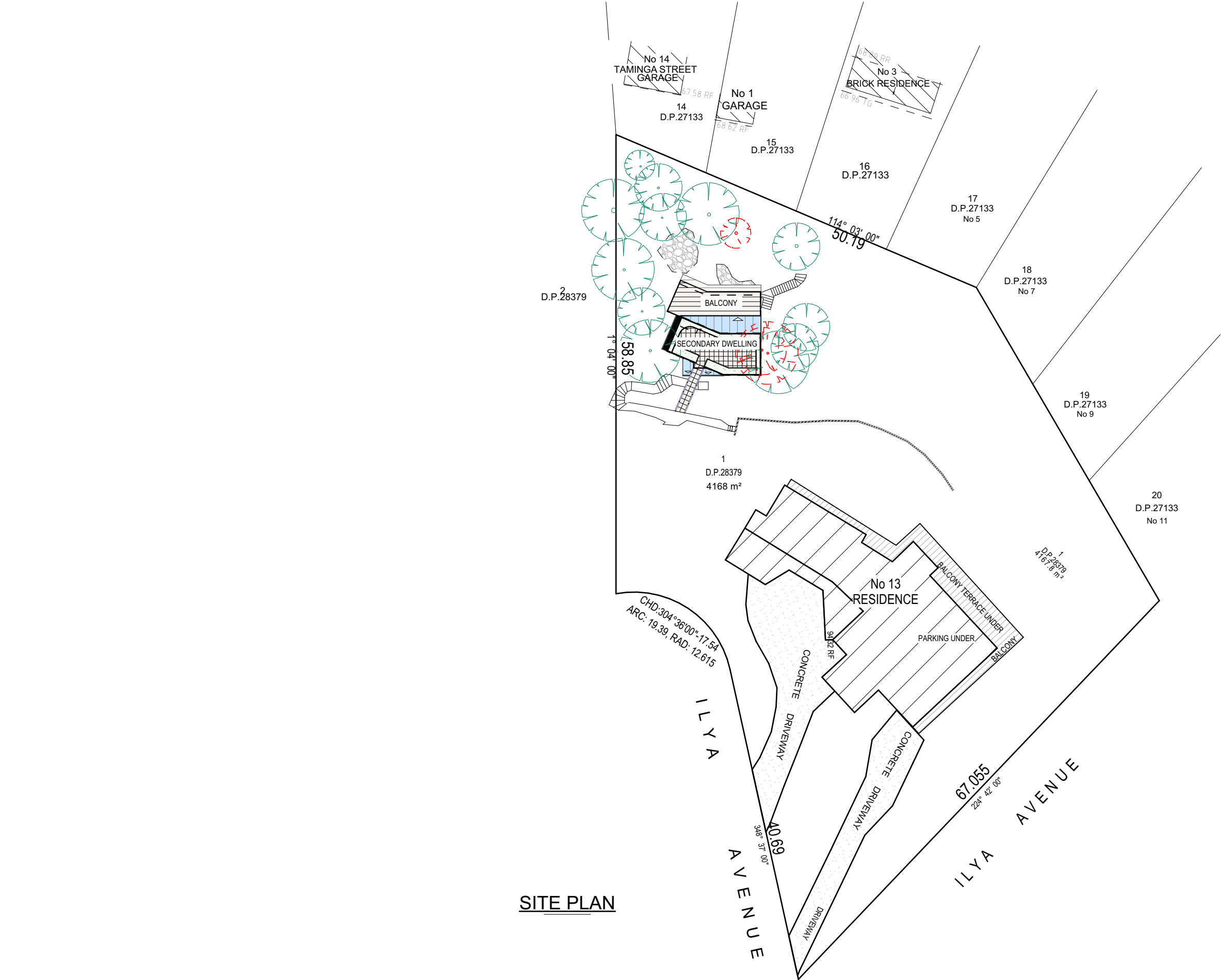


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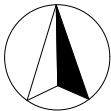
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SITE PLAN

TRUE NORTH:



NOTES (E & OE)

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D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING
13 ILYA AVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SITE PLAN

DATE:
April/22

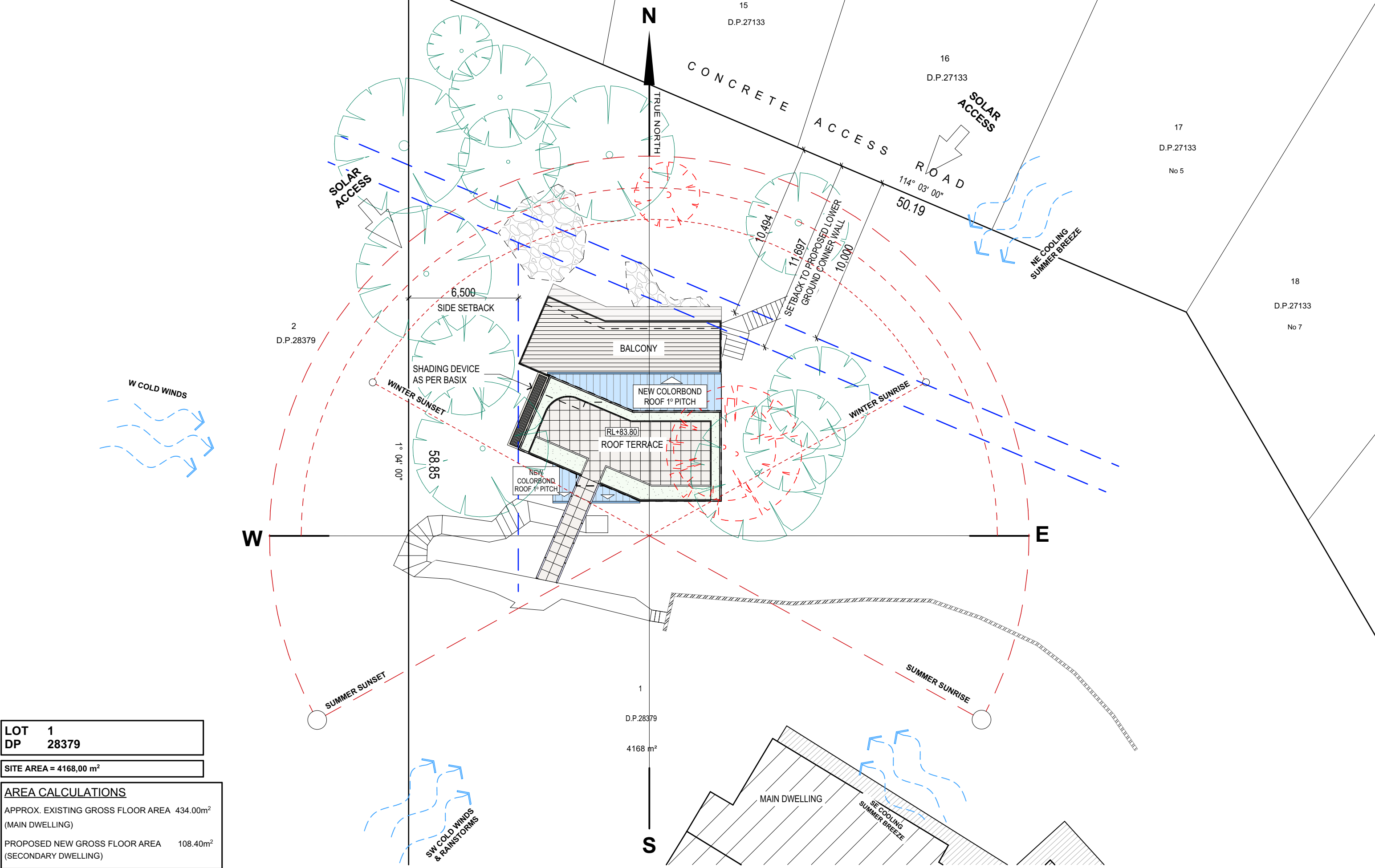
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1:500 @ A3

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1021/22

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DRAWING No:
DA.01



LOT 1
DP 28379

SITE AREA = 4168,00 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 434.00m²
(MAIN DWELLING)

PROPOSED NEW GROSS FLOOR AREA 108.40m²
(SECONDARY DWELLING)

TRUE NORTH:



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13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
April/22

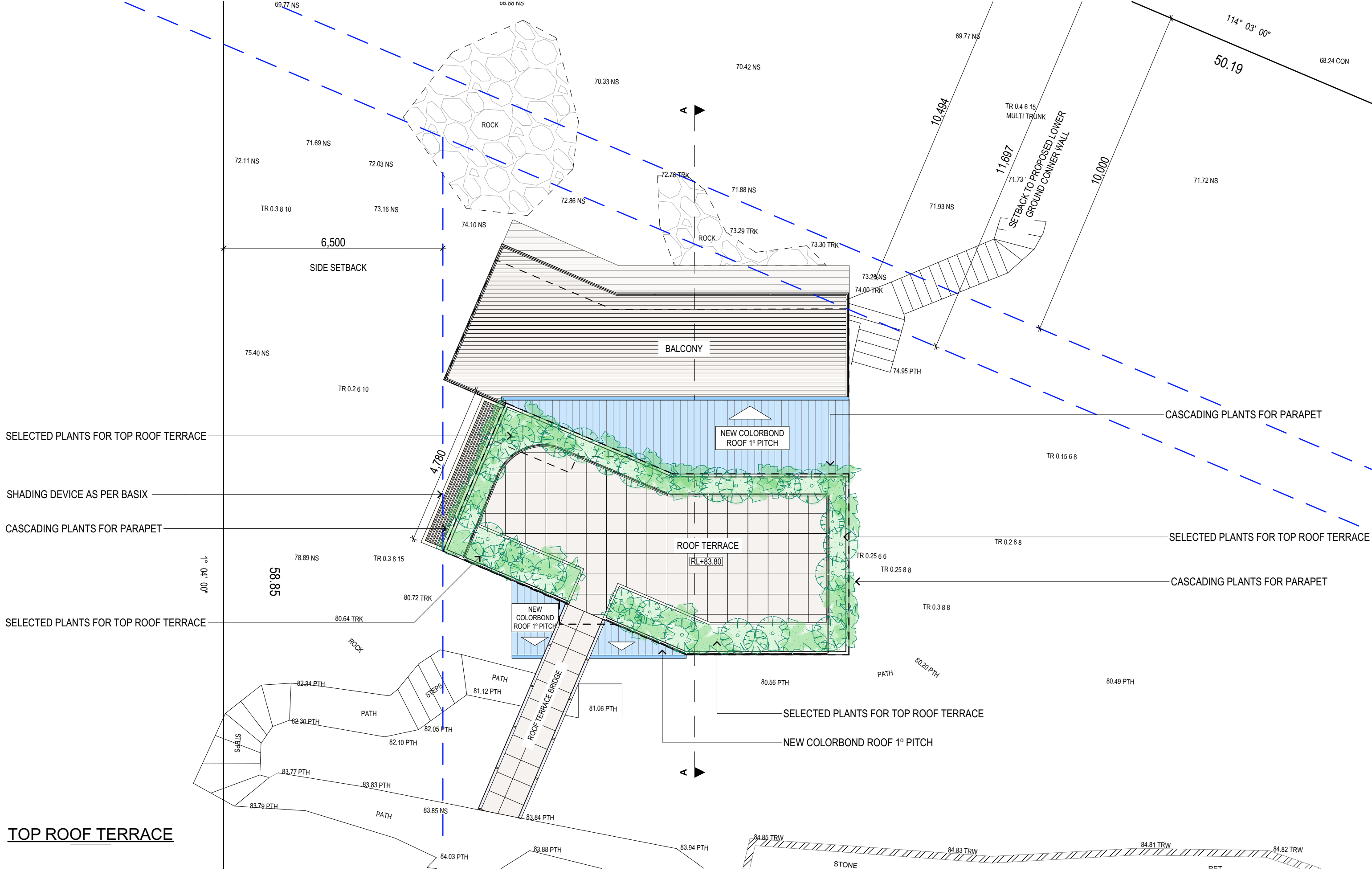
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1021/22

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DA.02



TOP ROOF TERRACE

TRUE NORTH:

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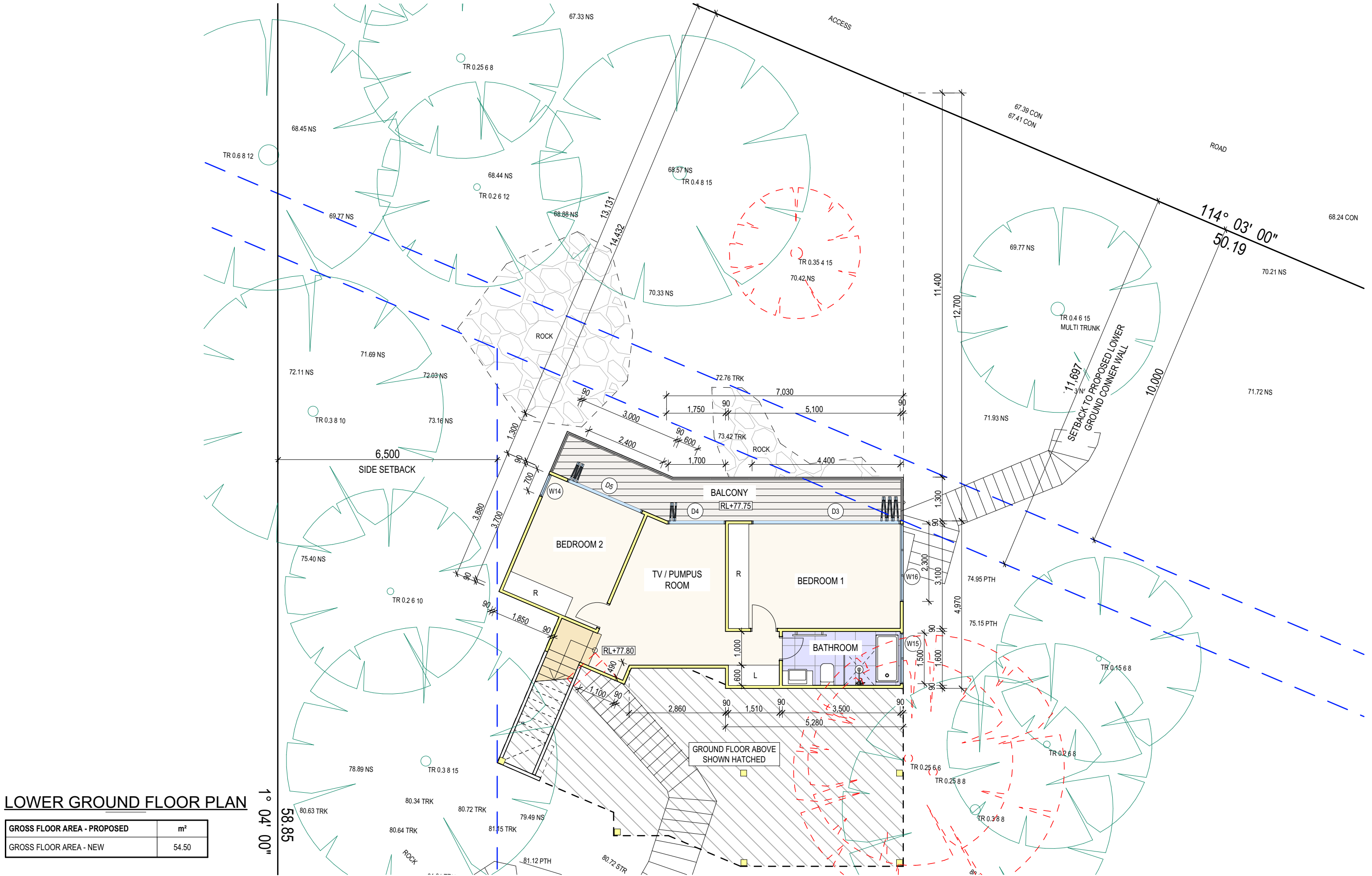
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TOP ROOF TERRACE PLAN

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1021/22	JJ	DA.03



LOWER GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	54.50

TRUE NORTH:

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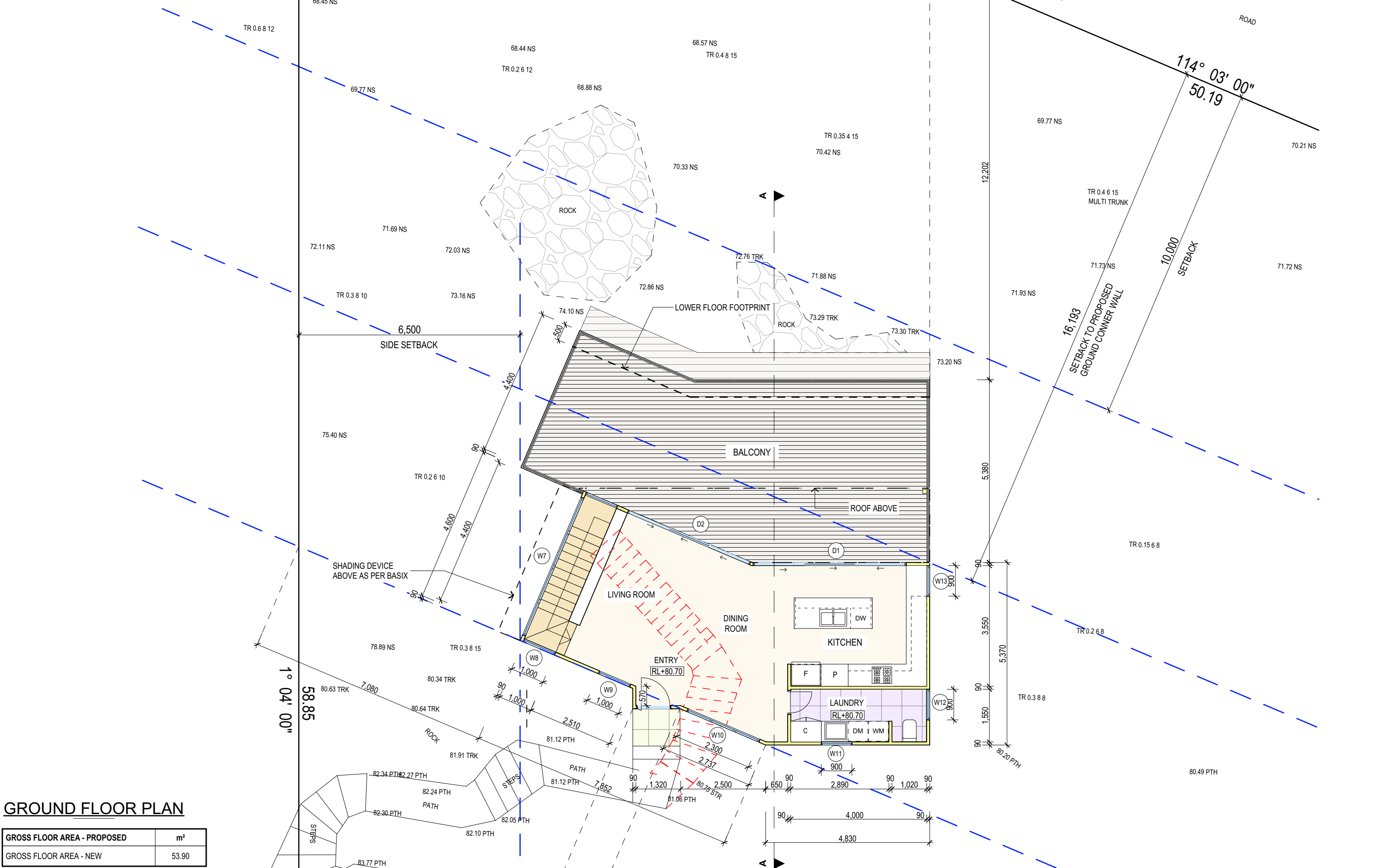
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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104
CLIENT:
Rex Pemberton

DRAWING TITLE:
LOWER GROUND FLOOR PLAN

DATE: April/22	DRAWN BY: LB	SCALE: 1:100 @ A3
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GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	53.90

TRUE NORTH:



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CLIENT:
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DRAWING TITLE:
GROUND FLOOR PLAN

DATE:
April/22

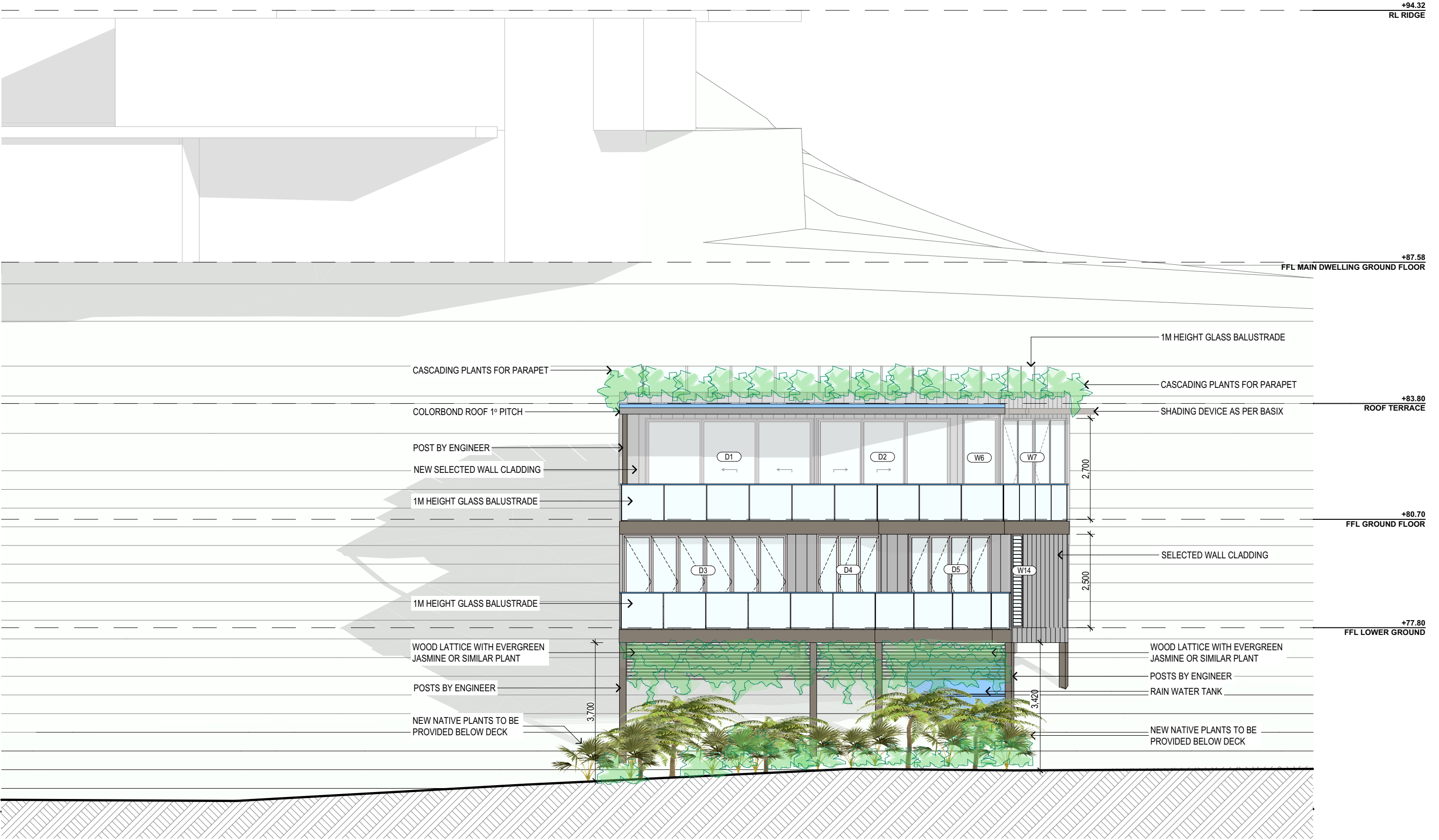
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DA.05



NORTH ELEVATION

<div>NOTES (E & OE)</div> <div><ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</div>	<div>JJ Drafting</div> <div>Division of JJ DRAFTING AUSTRALIA PTY LTD</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541 / Email:enquiries@jjdrafting.com.au</div> <div>www.jjdrafting.com.au</div> <div>ACN 651 693 346</div>	REV:	DATE:	DESCRIPTION:	PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104 CLIENT: Rex Pemberton	DATE:	DRAWN BY:	SCALE:
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		D	18/08/23	NCC NOTES UPDATED				
					DRAWING TITLE: NORTH ELEVATION	CHECKED BY: JJ	DRAWING No: DA.06	

87.58
FL MAIN DWELLING GROUND FLOOR

83.80
TOOF TERRACE

80.70
FL GROUND FLOOR

77.80
FL LOWER GROUND



EAST ELEVATION

=

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CLIENT:
Rex Pemberton

DRAWING TITLE:
EAST ELEVATION

DATE:
April/22

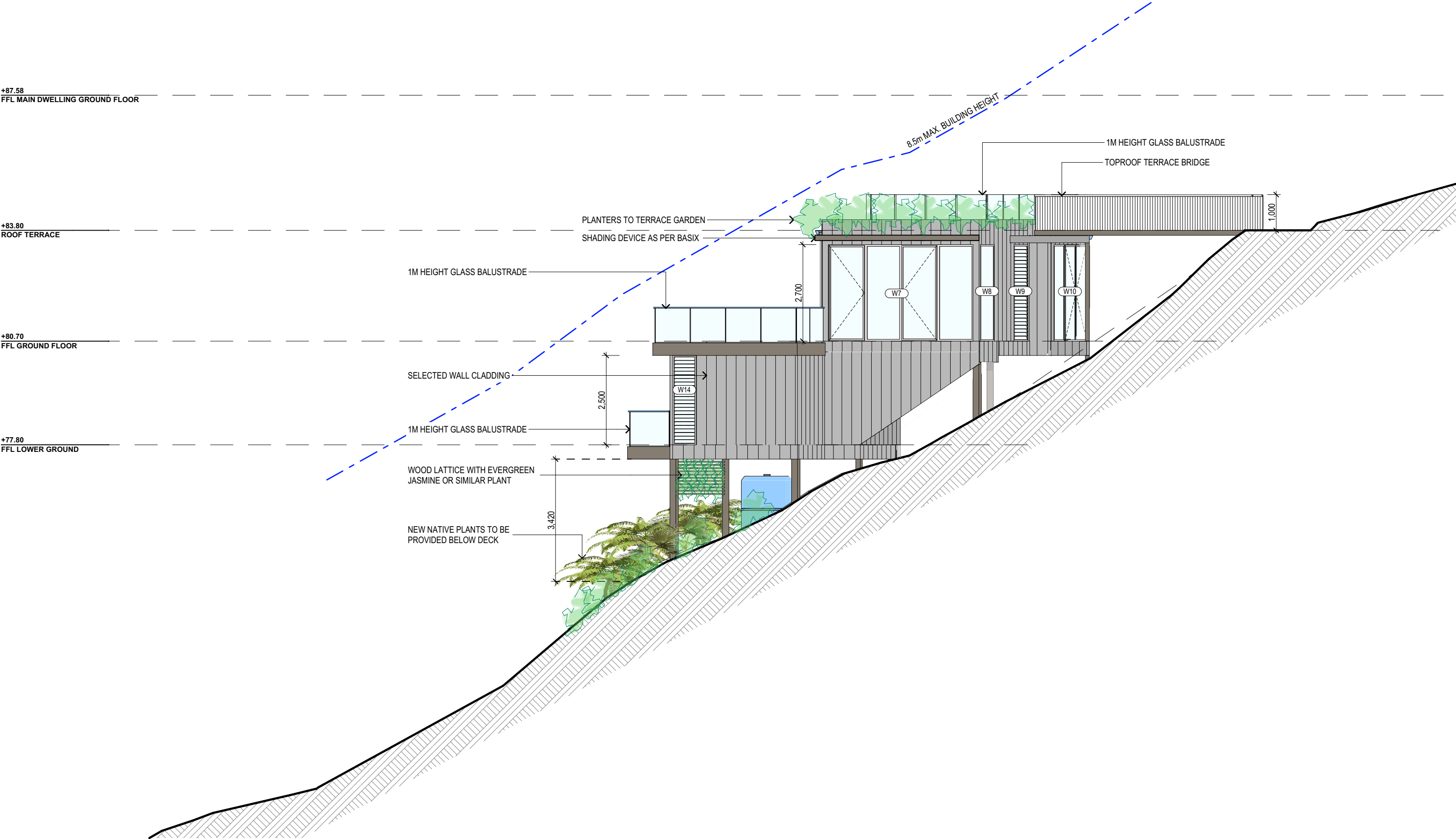
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DRAWING No:
DA.07



WEST ELEVATION

=

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CLIENT:
Rex Pemberton

DRAWING TITLE:
WEST ELEVATION

DATE:
April/22

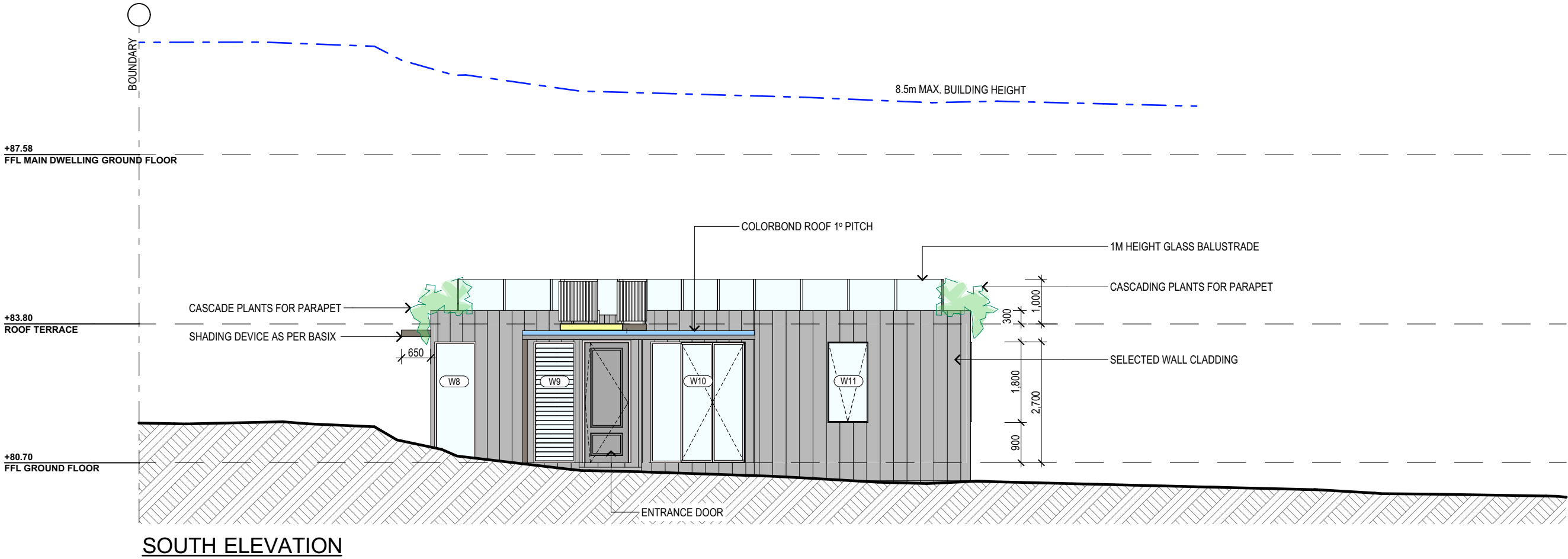
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SOUTH ELEVATION

BASIX REQUIREMENT:

BASIX INCLUSIONS FOR 13 ILYAAVENUE - BAYVIEW

External walls

Lightweight cladding on framed walls with R2.5 insulation (insulation only value)
External colour:
Medium (0.475 < SA < 0.7)

Walls within dwellings

Plasterboard on studs, no insulation required
Plasterboard on studs with R2.5 insulation on the internal walls of bathroom and laundry and habitable areas

Glazing doors/windows

Glazed windows and doors:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)

Group B - sliding doors/windows + fixed glazing + louvred windows

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Upgrades as per NatHERS certificate:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 2.20 (equal to or lower than) SHGC: 0.32 (±10%)

Group B - sliding doors/windows

U-value: 3.60 (equal to or lower than) SHGC: 0.54 (±10%)

Group B - Fixed glazing

U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%)

Group B - Louvred windows

U-value: 4.90 (equal to or lower than) SHGC: 0.33 (±10%)

Given values are AFRC total window system values (glass and frame)

External colour:

Medium (0.475 < SA < 0.7)

Floors

Suspended timber floor with R4.0 insulation (insulation only value) to open and enclosed suspended areas

Roof and ceilings

Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above

External colour

Medium (0.475 < SA < 0.7)

Ceiling penetrations

Sealed LED downlights, as per electrical plan, modelled as 150mm diameter.

Sealed externally ducted exhaust fans, modelled as 200mm diameter

Ceiling fans 1300mm diameter to bedrooms, living room and rumpus

Penetrations not to exceed NatHERS certificate

Floor coverings

Tiles to wet areas; carpet with rubber underlay to bedrooms and rumpus; timber elsewhere

External shading

Shading as per stamped drawings

Ventilation

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights will be sealed.

BASIX Water Commitments

Fixtures

Install showerheads minimum rating of 3 stars - High flow (>7.5 and <= 9 litres/min)

Install toilet flushing system with a minimum rating of 4 stars in each toilet

Install tap with a minimum rating of 3 stars in the kitchen

Install taps with a minimum rating of 3 stars in each bathroom

Alternative water

Install rainwater tank, minimum 3,000L capacity collected from min. 150m² roof area.

Tank connected to - at least one outdoor tap, and all toilets

BASIX Energy Commitments

Hot water system

Gas instantaneous - 6 Stars

Cooling system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Heating system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Ventilation

Bathrooms - individual fan, externally ducted to roof or façade, manual on/off switch

Kitchen - individual fan, not ducted, manual on/off switch

Laundry - individual fan, externally ducted to roof or façade, manual on/off switch

Other

Electric cooktop & electric oven

Outdoor clothes drying line

Alternative Energy

1kW PV System

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SOUTH ELEVATION / BASIX NOTES

DATE:
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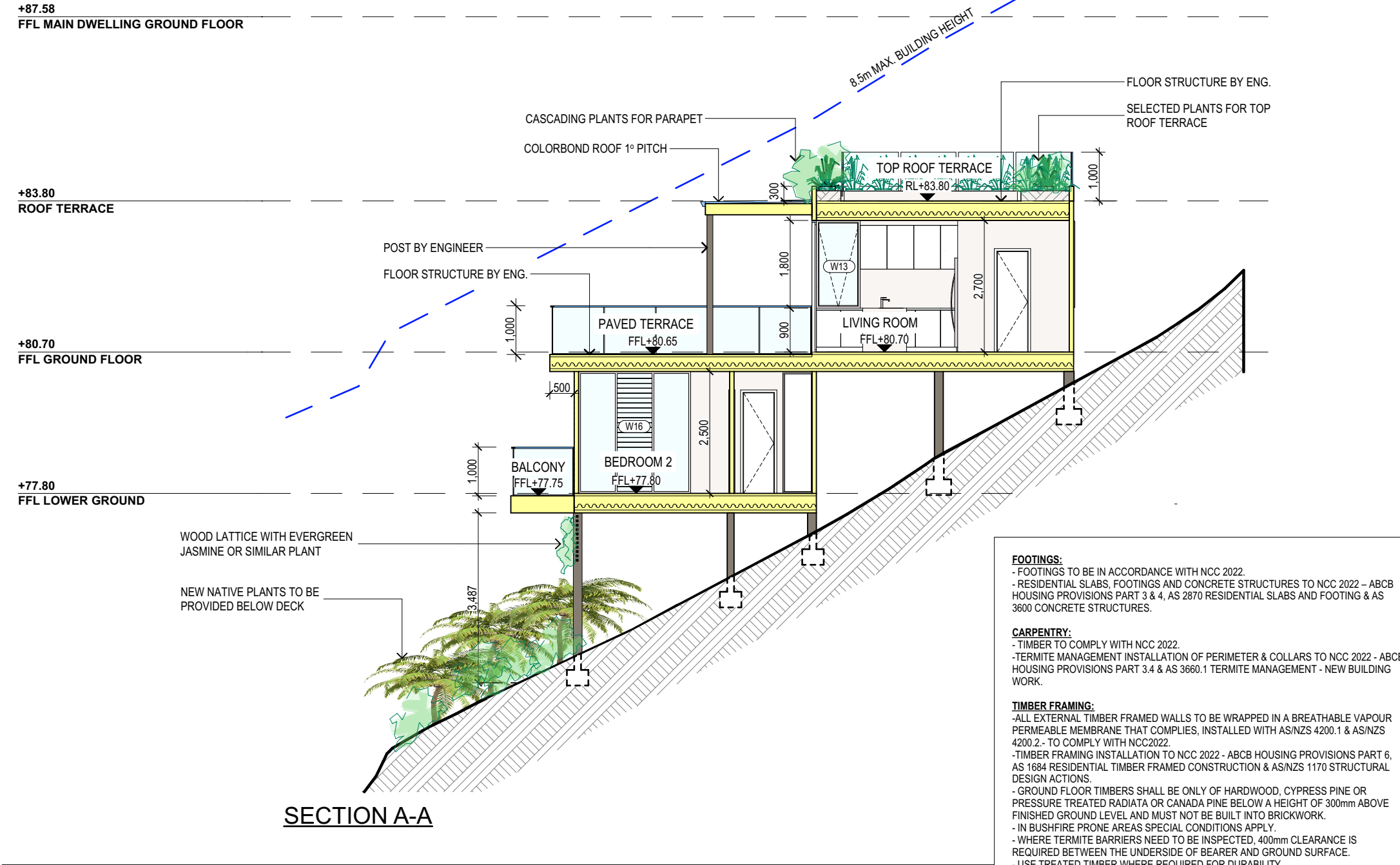
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DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC2022 - ALUMINIUM WINDOWS AND TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:

- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN NCC2022.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN NCC2022.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWNPIPES

- IN ACCORDANCE WITH NCC 2022
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:

- ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3.7.5
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1a AND 1b MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SECTIONS 3.7.5.3 and 3.7.5.4.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

SWIMMING POOLS & SAFETY:

- POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 – 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS NCC2022 – LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH NCC2022 – SAFETY GLASS,
- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.

EXTERNAL WALLS:

- LIGHTWEIGHT METAL WALL CLADDING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:

- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 – HOUSING PROVISIONS PART 10.8.

FLOOR:

- GROUND FLOOR TO BE SUSPENDED TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO NCC 2022 – ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:

- NCC VOL.2 PART 3.5.2.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:

- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH NCC 2022.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:

- TIMBER TO COMPLY WITH NCC 2022.
- TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:

- ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2- TO COMPLY WITH NCC2022.
- TIMBER FRAMING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:

- ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO NCC2022.

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:

- TO COMPLY WITH TO NCC2022

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH NCC2022

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B	06/09/22	PRELIM. DRAWINGS UPDATED
C	30/01/23	LANDSCAPE CONCEPT PLAN DRAWING
D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SECTION AA / SPECIFICATION NOTES

DATE:
April/22

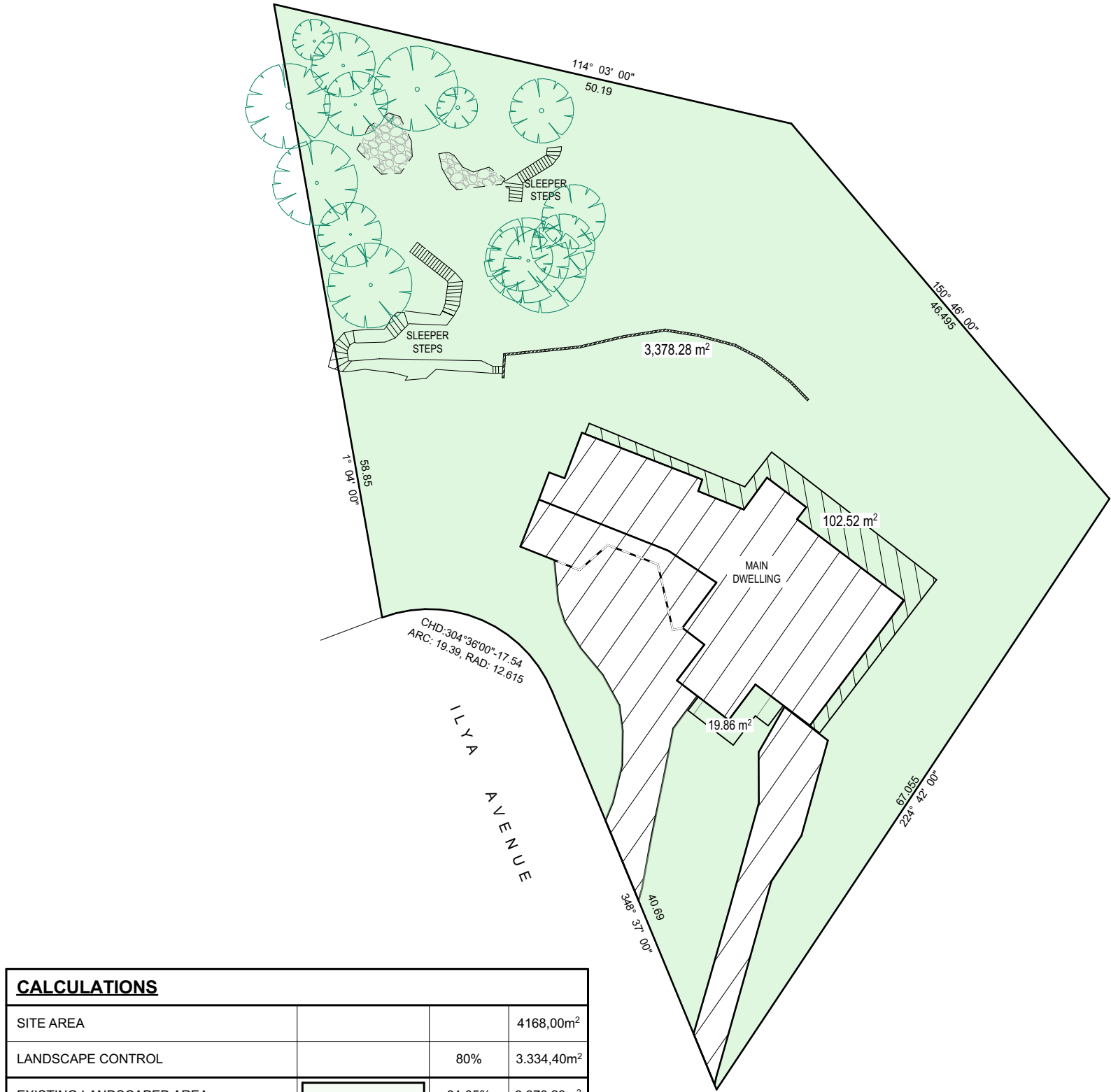
JOB No:
1021/22

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LB

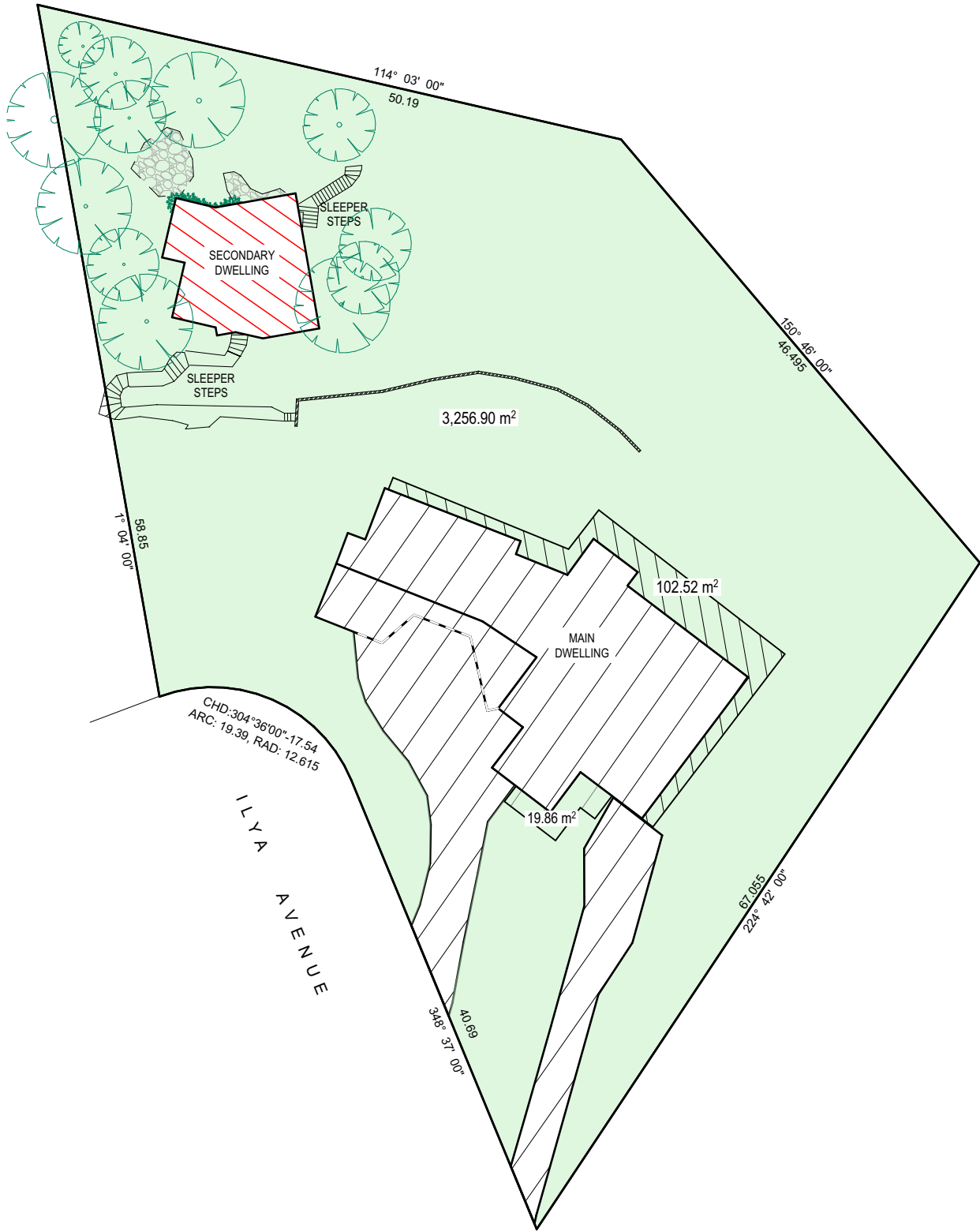
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JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.10



EXISTING LANDSCAPE CALCULATION PLAN



PROPOSED LANDSCAPE CALCULATION PLAN

CALCULATIONS			
SITE AREA			4168,00m ²
LANDSCAPE CONTROL		80%	3.334,40m ²
EXISTING LANDSCAPED AREA		81.05%	3.378,28m ²
OUTDOOR RECREATIONAL AREA (6%)			122.38m ²
TOTAL NEW LANDSCAPED AREA		78.14%	3256,90m ²
EXISTING HARD SURFACE AREA			789,72m ²
NEW HARD SURFACE AREA			121,38m ²
TOTAL HARD SURFACE AREA		21.86%	911,10m ²

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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104
CLIENT:
Rex Pemberton

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE: April/22	DRAWN BY: LB	SCALE: 1:500 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.11



EVERGREEN JASMINE



KANGAROO PAW



LOMANDRA CONFERTIFOLIA



EMU BUSH



PHILODENDRON 'XANADU'



SILVER FALLS

P L A N T S T A B L E - L E G E N D :					
SYMBOL	COMMON NAME		SCIENTIFIC NAME	HEIGHT	SPREAD
	NEW TREE SELECTED BY CLIENT FROM NORTHERN BEACHES NATIVE TREE BOOKLET			MIN. 8.5m	
	NATIVE PLANTS - LOMANDRA CONFERTIFOLIA		Seascape	0.6 m	0.6m
	NATIVE PLANTS - EMU BUSH		Eremophila Maculate	1.0 m	1m
	NATIVE PLANTS - KANGAROO PAW or SIMILAR		Anigozanthos	1.5 m	3m
	PHILODENDRO 'XANADU' or SIMILAR		Thaumatophyllum Xanadu	1.5 m	2m
	SELECTED CASCADE	SILVER FALLS	Dichondra	1.0 m	0.5m
	PLANTS (EXAMPLES):	TRAILING ROSEMARY	Anigozanthos	0.5 m	3m
	SELECTED PLANTS BY CLIENT		-	-	-
	EXISTING TREE TO REMAIN		-	-	-
	EXISTING PALM TREE TO REMAIN		-	-	-
	EXISTING TREE TO BE REMOVED		-	-	-

TRUE NORTH:

NOTES (E & OE)

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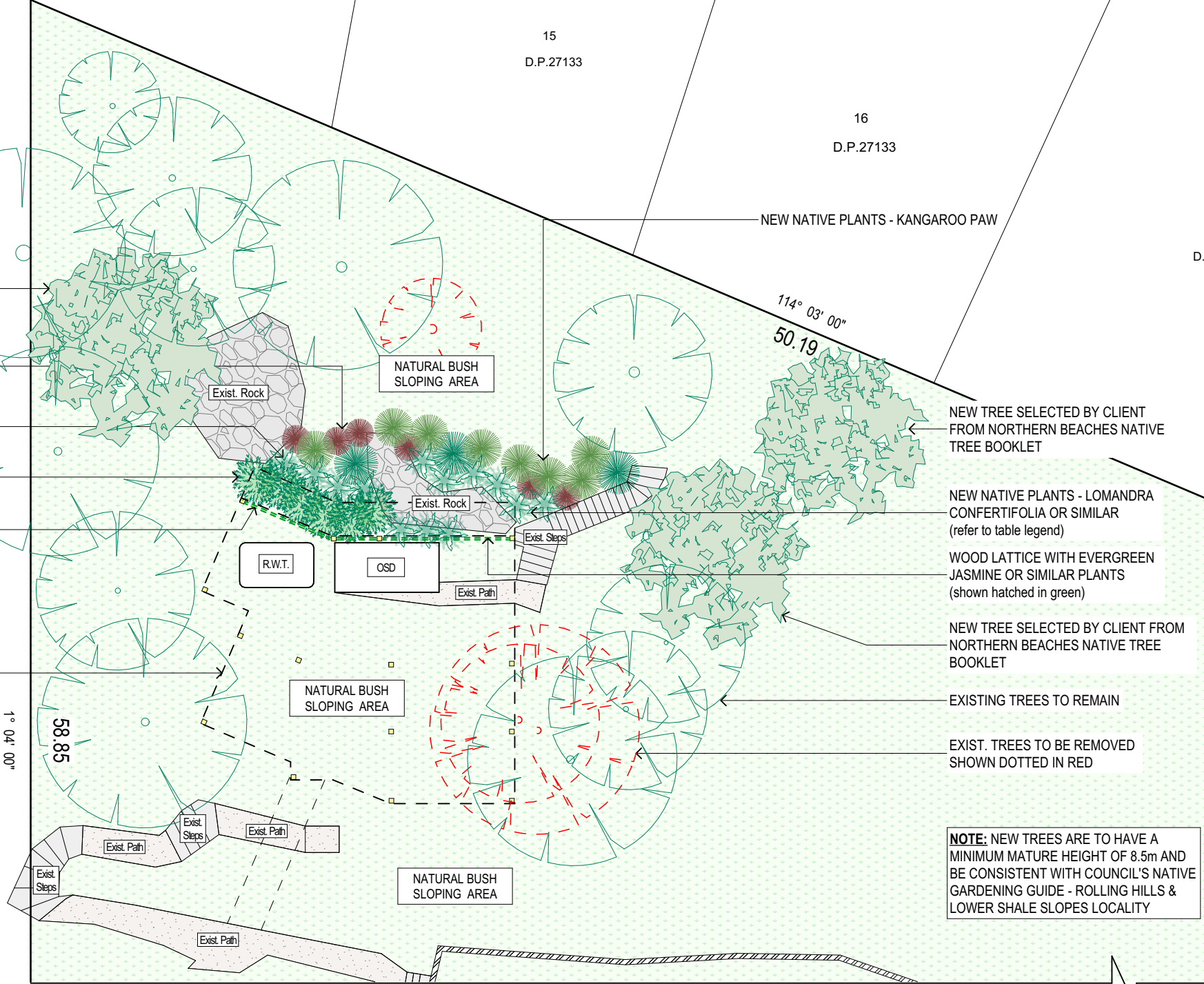
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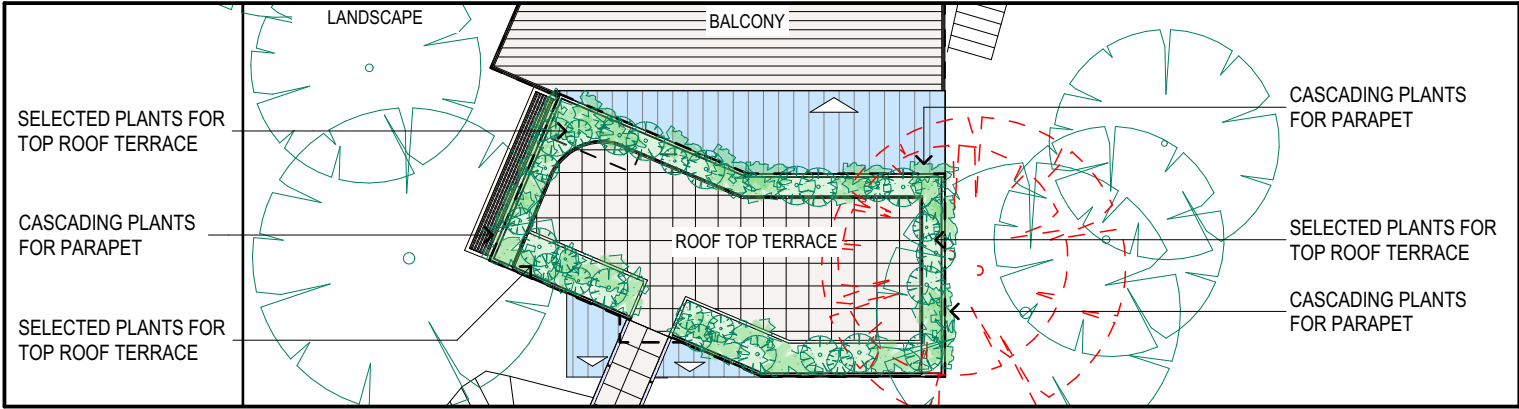
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D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104 CLIENT: Rex Pemberton	DATE: April/22	DRAWN BY: LB	SCALE: 1:200 @ A3
DRAWING TITLE: LANDSCAPE CONCEPT PLAN	JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.12



LANDSCAPE CONCEPT PLAN



LANDSCAPE CONCEPT PLAN - ROOF TERRACE

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

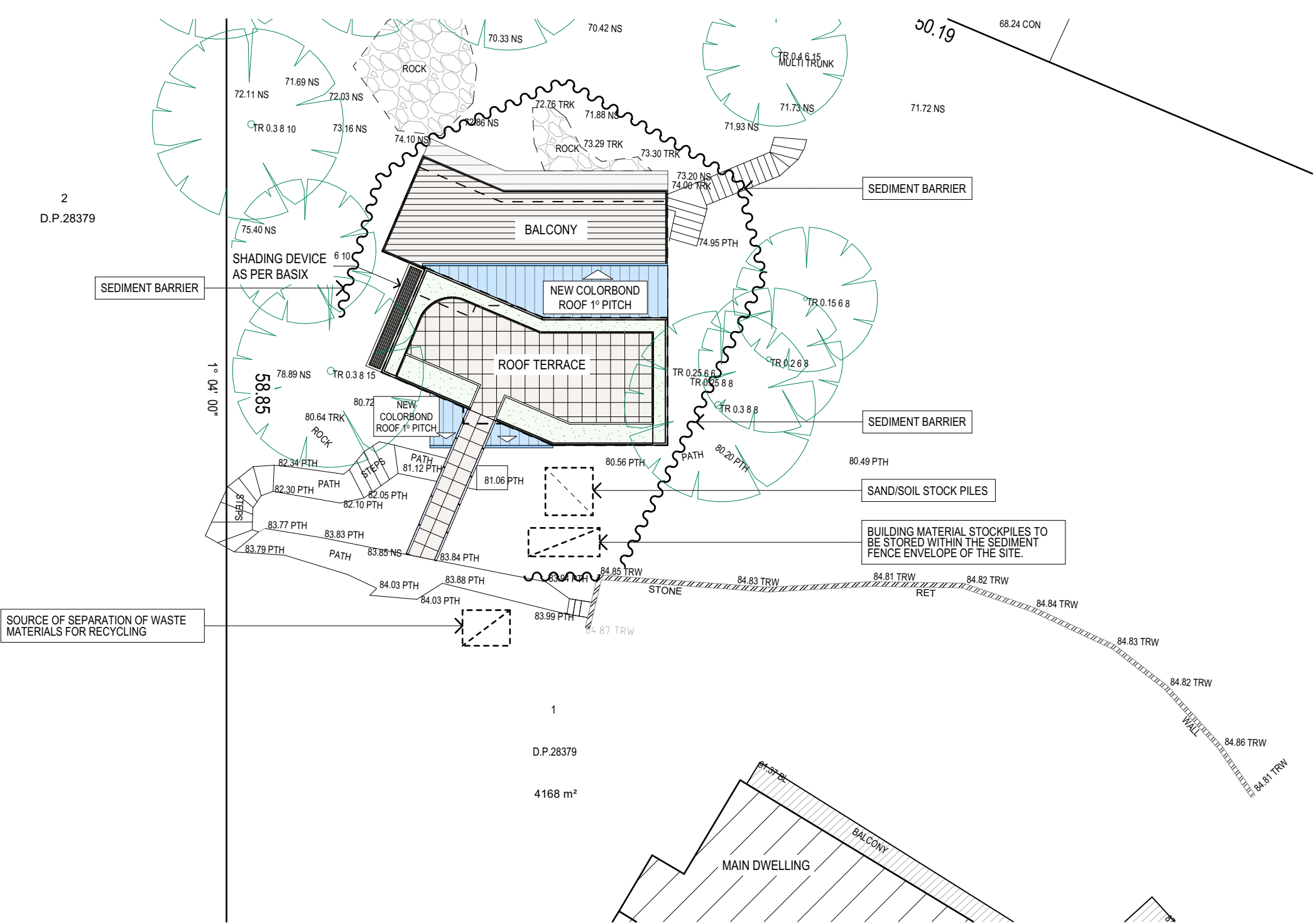
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

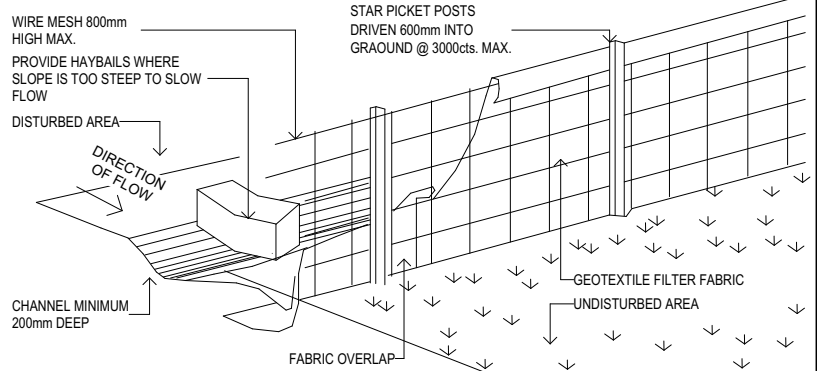
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

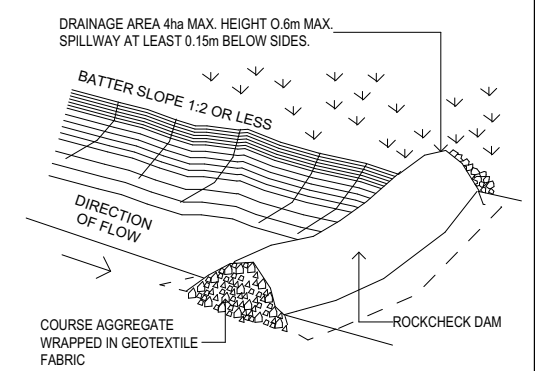


EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



TRUE NORTH:



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D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE
MANAGFMFNT PI AN

DATE:
April/22

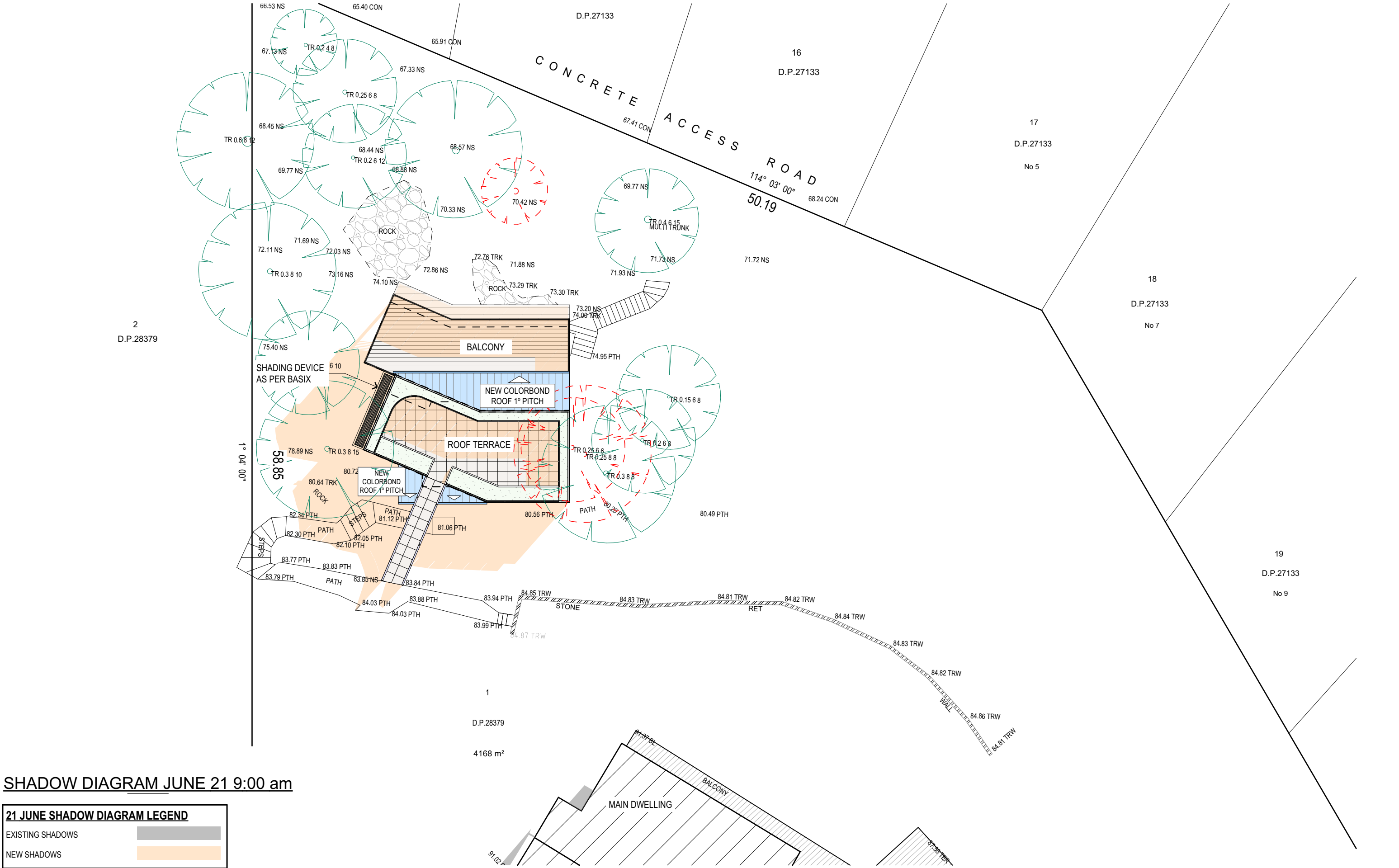
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JOB No:
1021/22

CHECKED BY:
JJ

DRAWING No:
DA.13



SHADOW DIAGRAM JUNE 21 9:00 am

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

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PROPOSED NEW SECONDARY DWELLING

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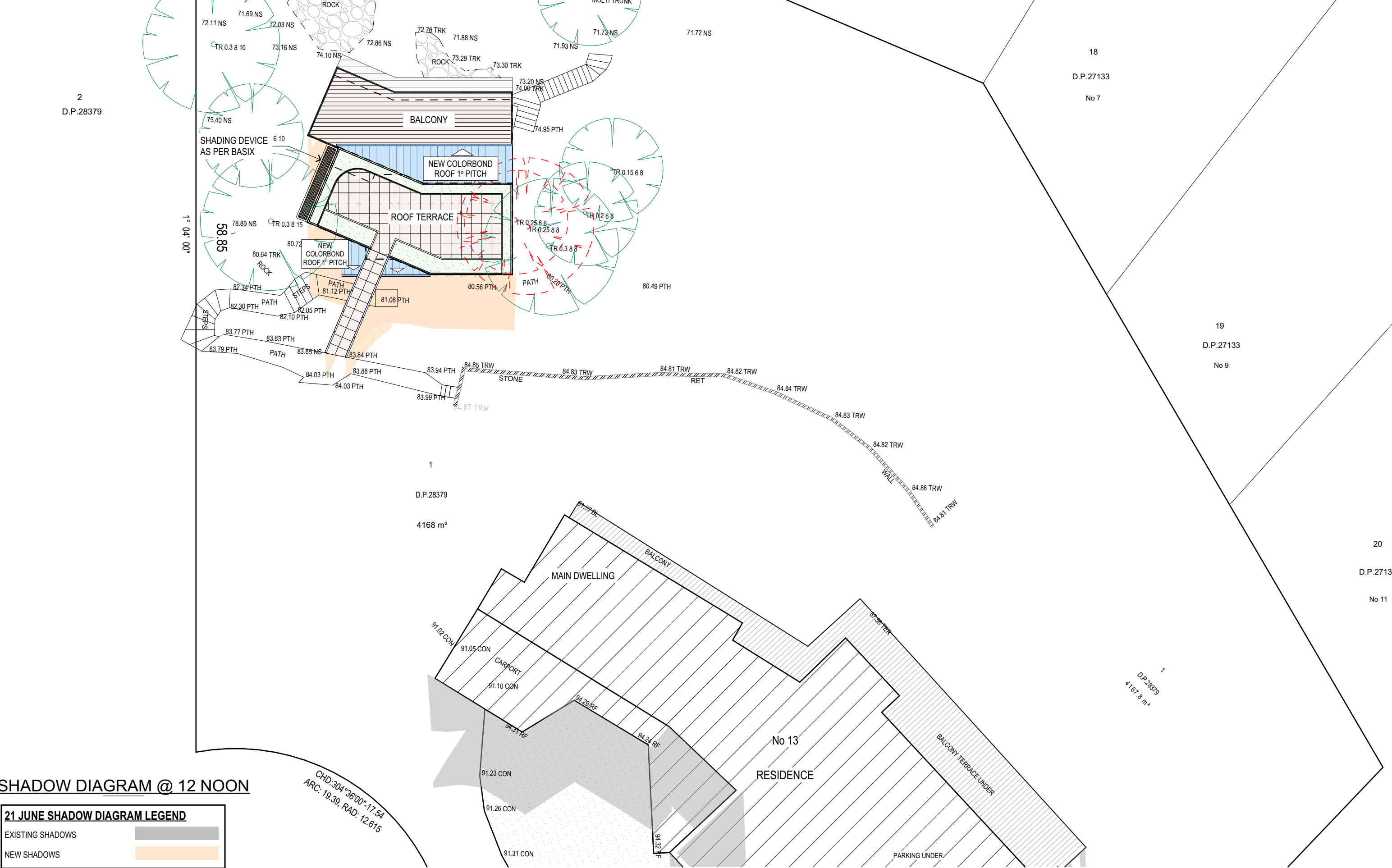
CLIENT:

Rex Pemberton

DRAWING TITLE:

SHADOW DIAGRAM JUNE 21 9:00 am

DATE:	DRAWN BY:	SCALE:
April/22	LB	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1021/22	JJ	DA.14



TRUE NORTH:

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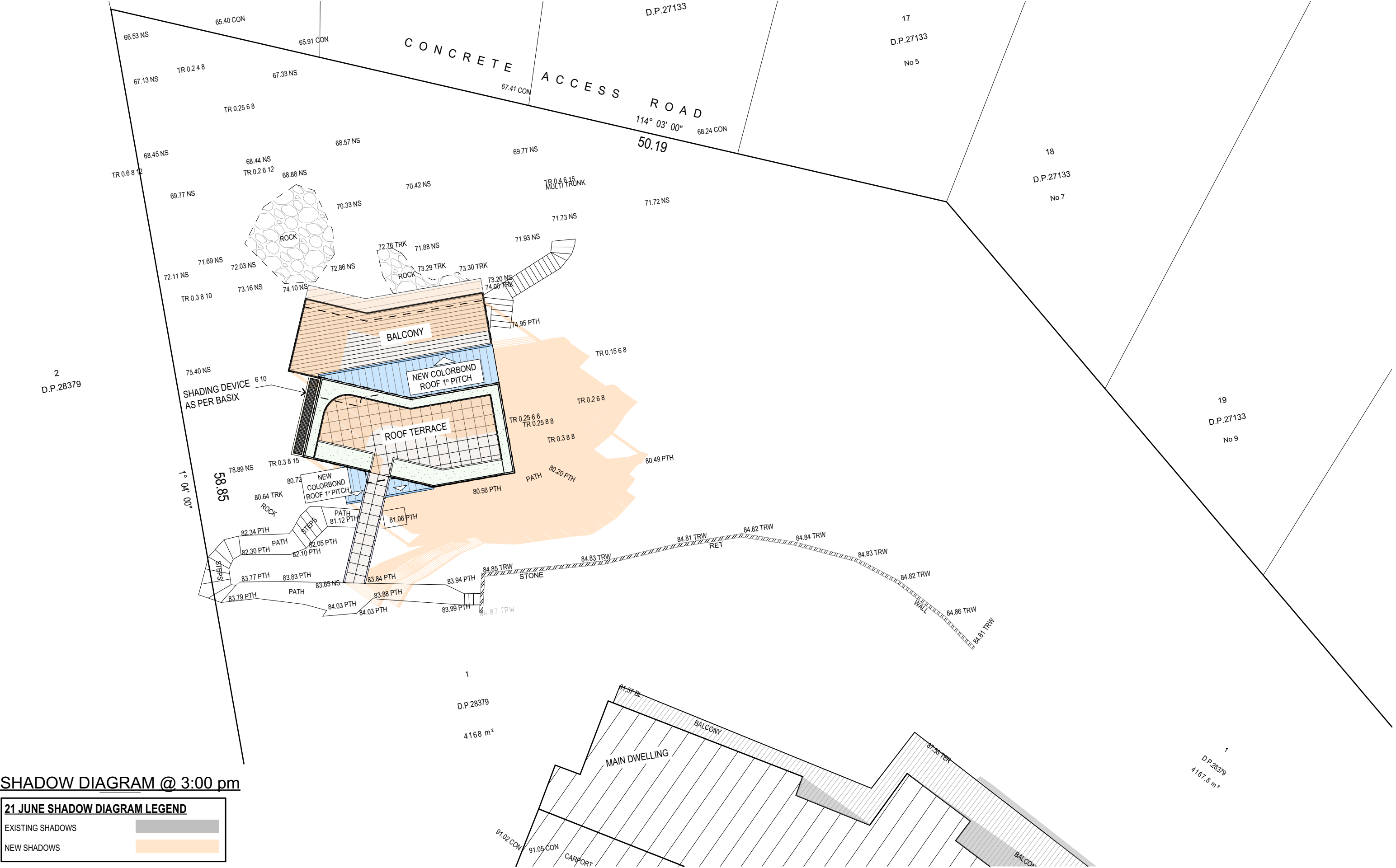
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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104
CLIENT:
Rex Pemberton

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SHADOW DIAGRAM JUNE 21 12 noon

DATE: April/22	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.15



SHADOW DIAGRAM @ 3:00 pm

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

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ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	01/09/22	PRELIM. DRAWINGS UPDATED
B	06/09/22	PRELIM. DRAWINGS UPDATED
C	30/01/23	LANDSCAPE CONCEPT PLAN DRAWING
D	18/08/23	NCC NOTES UPDATED

PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104 CLIENT: Rex Pemberton	DATE: April/22	DRAWN BY: LB	SCALE: 1:200 @ A3
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 3:00 pm	JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.16