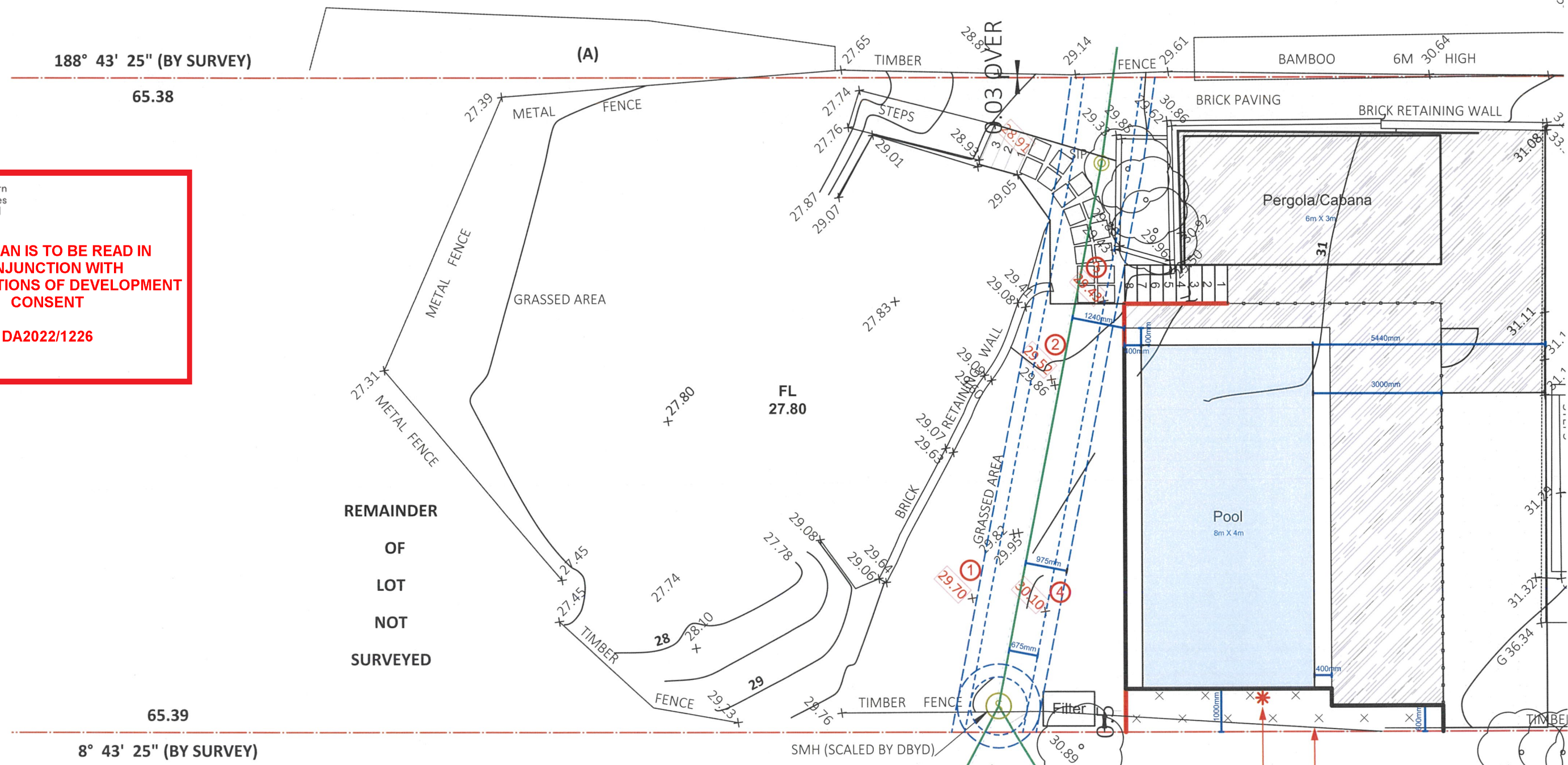


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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1226



- ① 31 - 29.70 = 1.30m H
- ② 31 - 29.52 = 1.48m H
- ③ 31 - 29.43 = 1.57m H
- ④ 31 - 30.10 = 0.90m H

1. No coping - to increase garden bed width.
2. Construct edge to retain garden soil.

Fence not on boundary.
Survey pegs before re-siting.

LEGEND:

	Boundary
	Sewer
	Sewer ZOI
	Paving
	Stepping stones - 400x400mm in gravel
	Turf
	Garden

NOTES:

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- VTA method used for Tree Assessment
- ©copyright of Urban & Rural Design
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- When rear retaining wall removed for pool demolition, wall to front and around trees may fail.
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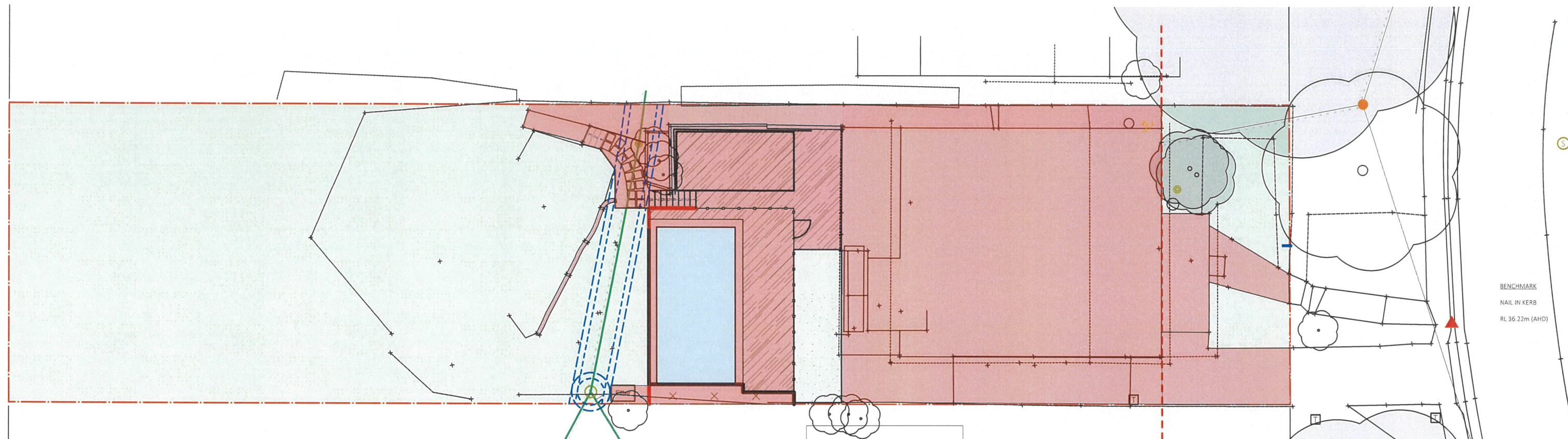
Client: Mr & Mrs Johnson
Site: 26 Orlando Road
CROMER NSW 2099

URBAN & RURAL
DESIGN | LANDSCAPE ARCHITECTS
Horticulture - Design - Consultation

PO Box 56
GALSTON NSW 2159
ABN: 97 003 499 438
MOB: 0416 397 258

Drawing Purpose: Rear Levels Plan
Date: 21 March 2022
Scale: 1:100 @ A3
Drawn By: IF
Checked By: AM
Plan No: Job No: 20211112





DA CALCULATIONS:		
	TOTAL AREA	992.70
MAX ALLOWABLE BUILT UPON AREA (BUA)	60%	
MIN ALLOWABLE LANDSCAPED OPEN SPACE (LOS)	40%	
	100%	
BUA:		
House incl. deck, patio, porch	205.21	
Concrete driveway	60.34	
Front concrete path and step	8.99	
Side concrete path	30.03	
Pool Coping	8.32	
Paving	68.43	
Pool garden and filter	8.21	
Retaining walls and gardens	15.45	
Steps	5.98	
TOTAL BUILT UPON AREA (BUA)	410.96	
TOTAL BUA AS % OF TOTAL AREA	41.4%	
TOTAL LANDSCAPED OPEN SPACE (LOS)	581.75	
TOTAL LOS AS % OF TOTAL AREA	58.6%	Complies with 1.
Warringah Council DCP		
1. D1 Minimum area of Landscaped Open Space (LOS): 40% of total lot area	Complies.	
2. D1 (1) (a) Any open space areas with a dimension of less than 2m is excluded from the calculation of LOS	Complies.	
3. D1 (1) (b) The water surface of pools is included in the calculation of LOS	Complies.	
4. D1 (1) (c) LOS must be at ground level (finished)	Complies.	
5. D1 (1) (d) The min. soil depth of land that can be included in LOS is 1m	Complies.	

LEGEND:	
	Boundary
	Sewer
	Sewer ZOI
	Landscaped Open Space
	Built Up Area (BUA)

NOTES:

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- VTA method used for Tree Assessment
- ©copyright of Urban & Rural Design
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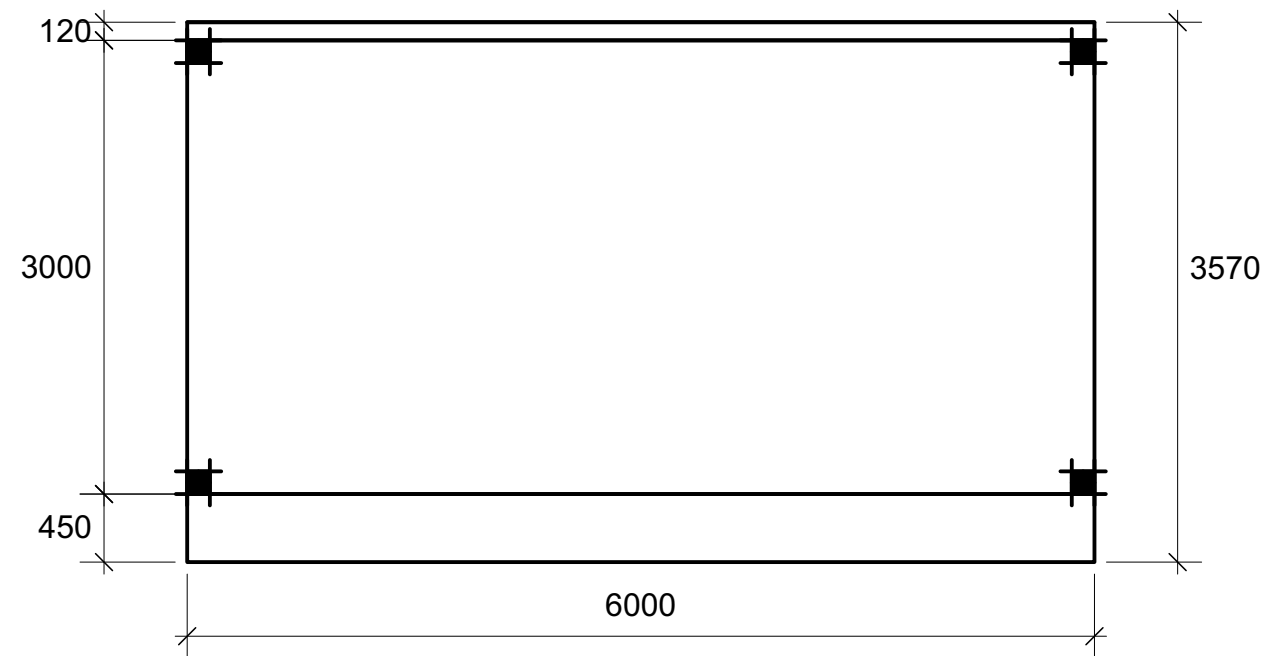


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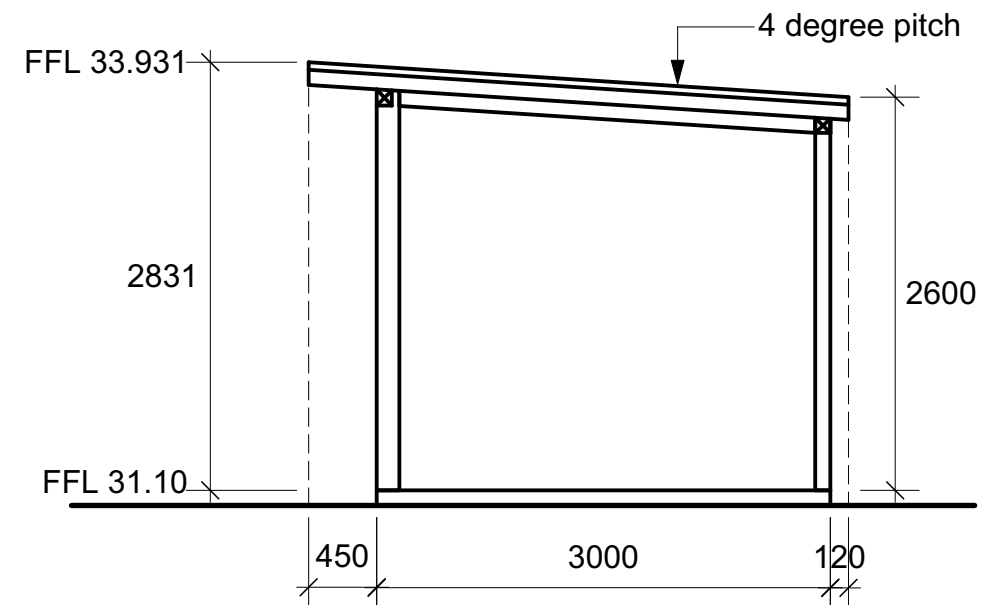
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1226

Client:	Mr & Mrs Johnson
Site:	26 Orlando Road CROMER NSW 2099
URBAN & RURAL DESIGN LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
Drawing Purpose:	D.A. BUA
Date:	21 March 2022
Scale:	1:200 @ A3
Drawn By:	IF
Checked By:	AM
Plan No:	Job No: 20211112



FLOOR PLAN



SIDE ELEVATION



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

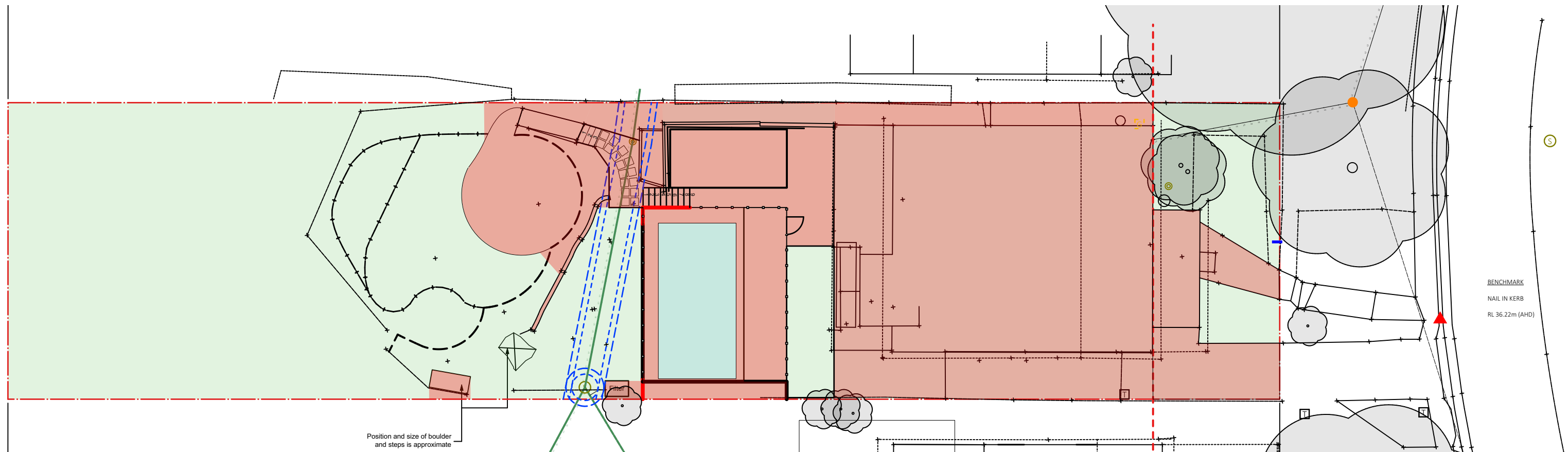
DA2022/1226

NOTES:

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7. All hard landscaping structures to be to Engineer's specifications
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10. Services to be located before excavation
11. VTA method used for Tree Assessment
12. ©copyright of Urban & Rural Design
13. Surveyor's pegs to be installed before any built structures eg. retaining walls/pool constructed on boundaries/fences
- 14a. Pool location, Sewerage ZOI and coping height as per Engineers Drawing by J. Cavasinni & Assoc. Drawing No. 2022PR1500 dated March 2022 for Pacific Pools
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15. When rear retaining wall removed for pool demolition, wall to front and around trees may fail.
16. All work to be done according to best practice guidelines, N.C.C., Australian Standards, manufacturers' specifications, Local Council and State Legislations
17. Australian Standard AS 1926 2012 applies for NCZ (Non Climbable Zone) to pool, to be maintained by client
18. Cubby and trampoline to be finally located as per manufacturer's safety instructions
19. Plant 'where able' on boundary and slopes
20. Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022

Client:	Mr & Mrs Johnson
Site:	26 Orlando Road CROMER NSW 2099
URBAN & RURAL DESIGN LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
Drawing Purpose:	Pergola Detail
Date:	20 April 2022
Scale:	1:50 @ A3
Drawn By:	IF
Checked By:	AM
Plan No:	Job No: 20211112



CALCULATIONS:

TOTAL AREA	992.70	
MAX ALLOWABLE BUILT UPON AREA (BUA)	60%	
MIN ALLOWABLE LANDSCAPED OPEN SPACE (LOS)	40%	
	100%	
BUA:		
House incl. deck, patio, porch	205.21	
Concrete driveway	60.34	
Front concrete path and step	8.99	
Side concrete path	30.03	
Pool Coping	14.54	
Paving	61.65	
Pool garden and filter	8.48	
Retaining wall, gardens and stepping stones	30.48	
Rear steps	6.17	
Paved Fire Pit Area	31.90	
TOTAL BUILT UPON AREA (BUA)	457.79	
TOTAL BUA AS % OF TOTAL AREA	46.1%	
TOTAL LANDSCAPED OPEN SPACE (LOS)	534.91	
TOTAL LOS AS % OF TOTAL AREA	53.9%	Complies with 1.
Warringah Council DCP		
1. D1 Minimum area of Landscaped Open Space (LOS): 40% of total lot area		Complies.
2. D1 (1) (a) Any open space areas with a dimension of less than 2m is excluded from the calculation of LOS		Complies.
3. D1 (1) (b) The water surface of pools is included in the calculation of LOS		
4. D1 (1) (c) LOS must be at ground level (finished)		Complies.
5. D1 (1) (d) The min. soil depth of land that can be included in LOS is 1m		Complies.

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- Australian Standard AS 1926 2012 applies for NCZ (Non Climbable Zone) to pool, to be maintained by client
- Cubby and trampoline to be finally located as per manufacturer's safety instructions
- Plant 'where able' on boundary and slopes
- Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022

LEGEND:

	Boundary
	Sewer
	Sewer ZOI
	Landscaped Open Space (LOS)
	Built Upon Area (BUA)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2022/1226

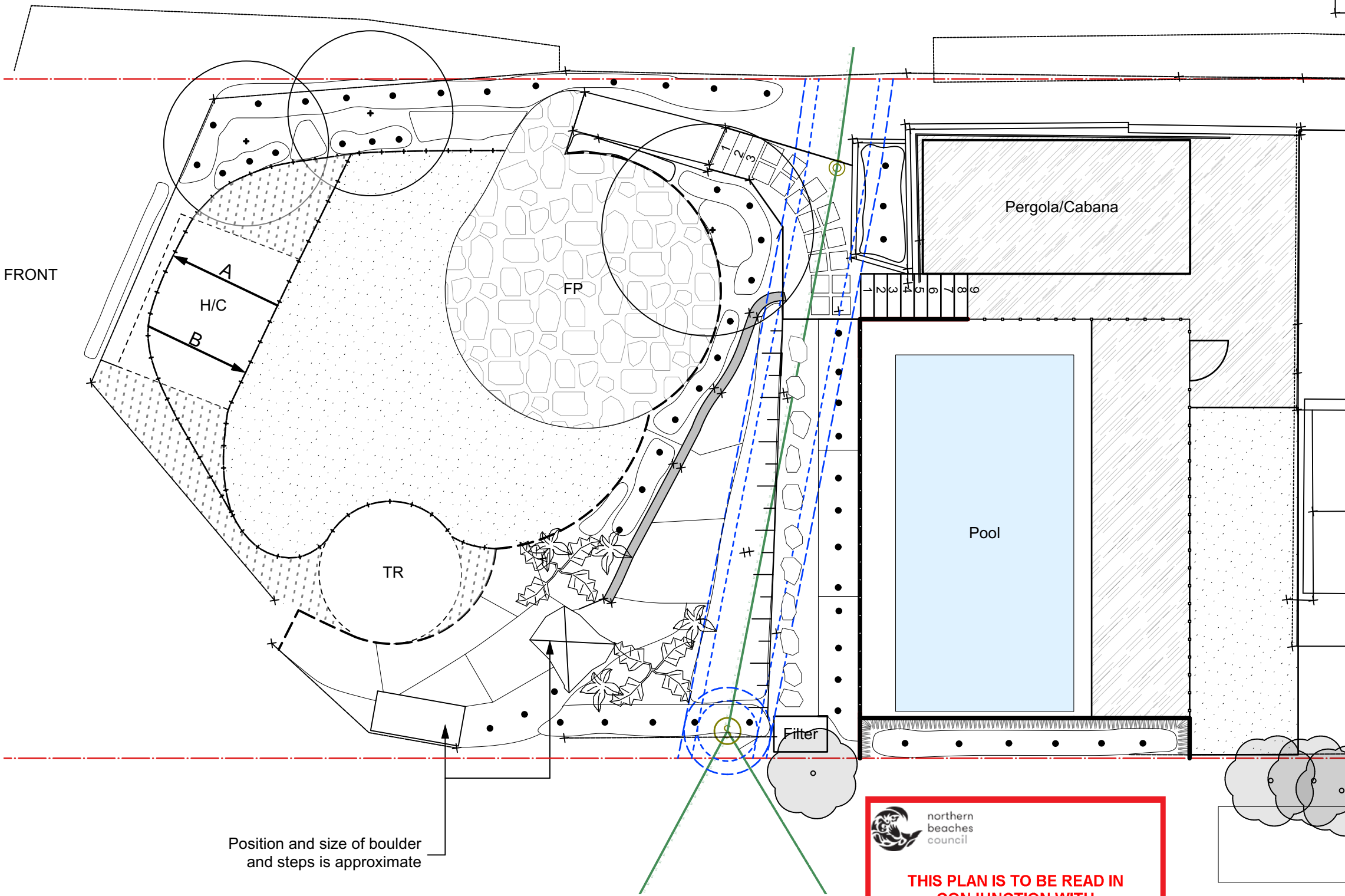
Client:	Mr & Mrs Johnson
Site:	26 Orlando Road CROMER NSW 2099
URBAN & RURAL DESIGN LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
Drawing Purpose:	BUA Plan
Date:	28 April 2022
Scale:	1:200 @ A3
Drawn By:	IF
Checked By:	AM
Plan No:	Job No: 2021112

A : NO CUBBY, LAWN TO EXTEND

B : WITH CUBBY, LAWN AND EDGING TO FRONT OF CUBBY

LEGEND:

	Boundary
	Sewer
	Sewer ZOI
	Paving
	Crazy Paving
	Mulch
	Turf - Sir Walter Buffalo
	Edging - Corten 200mm high
	Edging - 400mm high
	Pool Fence
	Stepping stones - 400x400mm with Dichondra repens between
	Existing Retaining Wall
TR	Trampoline
FP	Fire Pit
H/C	Herbs or Cubby



Position and size of boulder and steps is approximate

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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/1226

Client: Mr & Mrs Johnson
Site: 26 Orlando Road
CROMER NSW 2099

URBAN
RURAL &
DESIGN | LANDSCAPE ARCHITECTS
Horticulture - Design - Consultation
PO Box 56
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ABN: 97 003 499 438
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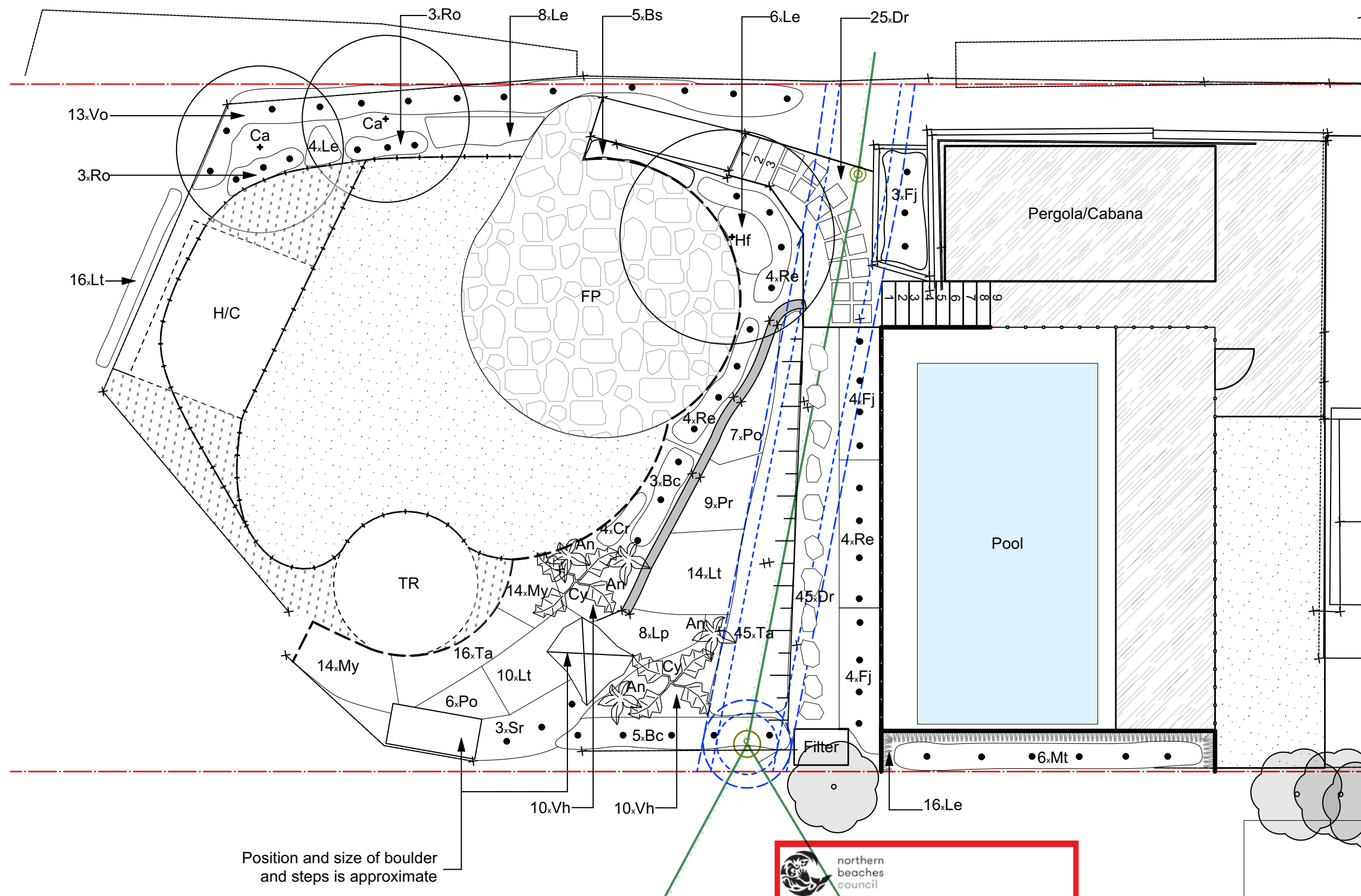
Drawing Purpose: Concept Plan

Date: 28 April 2022

Scale: 1:100 @ A3 Drawn By: IF
Checked By: AM

Plan No: Job No: 20211112





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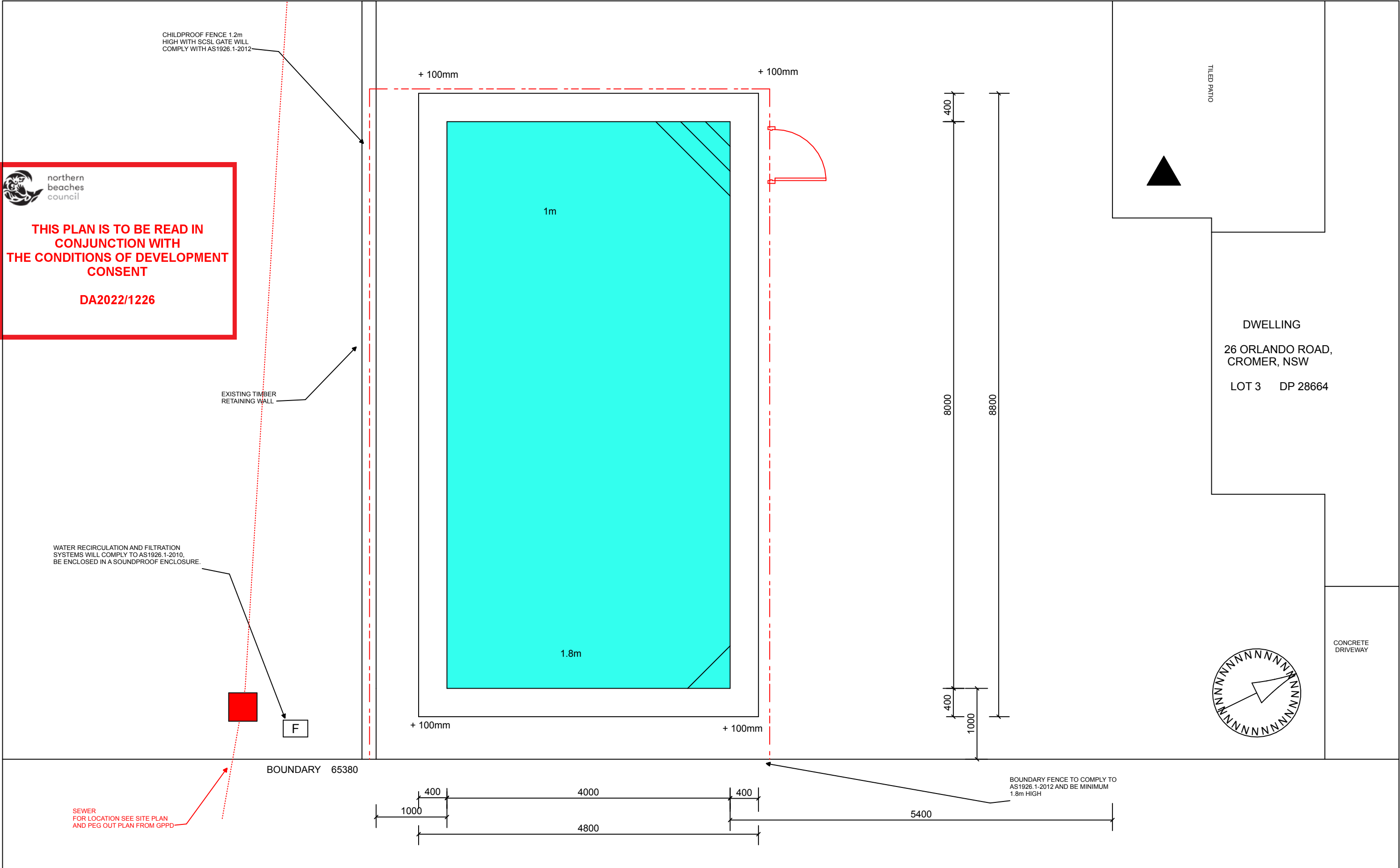
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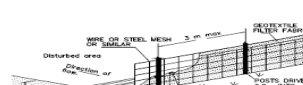
DA2022/1226

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20. Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022



Client:	Mr & Mrs Johnson		
Site:	26 Orlando Road CROMER NSW 2099		
 Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258			
Drawing Purpose: Rear Planting Plan			
Date:	28 April 2022		
Scale:	1:100 @ A3	Drawn By:	IF
		Checked By:	AM
Plan No:	Job No: 20211112		



 PACIFIC POOLS P/L 84 Third road, Berkshire Park License no. 62686C Ph 9897 5566	BOUNDARY NOTE: BOUNDARY INFORMATION SUPPLIED BY OWNER. CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK. COUNCIL NOTES: - NO EXISTING STORMWATER ON ALLOTMENT. - NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS. - EASMENTS SHOWN ON SITE PLAN. - SEDIMENT DISPOSED OF TO COUNCIL'S REQUIREMENTS. CONCRETE SLAB IN ACCORDANCE WITH CODE OF AUSTRALIA.	SEDIMENT CONTROL NOTES: 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW. 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT. 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH. 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD. 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.	6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE. 7. FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE. 	BASIX NOT REQUIRED. POOL CAPACITY 44.8KL	PROPOSED POOL LAYOUT PLAN PROPOSED DEVELOPMENT: REINFORCED CONCRETE SWIMMING POOL 26 ORLANDO ROAD, CROMER , NSW 2099 Lot 3 DP 28664	CLIENT JOHNSON	SCALE 1:50 @ A3								
	DATUM POINT  TOP OF TILED PATIO POOL TO BE FINISHED LEVEL WITH DATUM	DATE JANUARY '22	PLAN NO. 2022JW02.1												
	SITE DETAILS: <table><tr><td>SITE AREA</td><td>992.7 SQ. M.</td></tr><tr><td>BLOCK WIDTH</td><td>15.24 M.</td></tr><tr><td>PROPOSED POOL</td><td>32 SQ. M.</td></tr><tr><td>EXISTING DWELLINGS</td><td>222 SQ. M.</td></tr><tr><td>EXISTING HARD SURFACES</td><td>170 SQ. M.</td></tr><tr><td>LANDSCAPED AREA</td><td>600.7 SQ. M.</td></tr><tr><td>MIN. LANDSCAPED REQUIRED</td><td>397 SQ. M. (40%)</td></tr></table>	SITE AREA	992.7 SQ. M.	BLOCK WIDTH		15.24 M.	PROPOSED POOL	32 SQ. M.	EXISTING DWELLINGS	222 SQ. M.	EXISTING HARD SURFACES	170 SQ. M.	LANDSCAPED AREA	600.7 SQ. M.	MIN. LANDSCAPED REQUIRED
SITE AREA	992.7 SQ. M.														
BLOCK WIDTH	15.24 M.														
PROPOSED POOL	32 SQ. M.														
EXISTING DWELLINGS	222 SQ. M.														
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LANDSCAPED AREA	600.7 SQ. M.														
MIN. LANDSCAPED REQUIRED	397 SQ. M. (40%)														

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/1226

ORLANDO ROAD

SEWER:

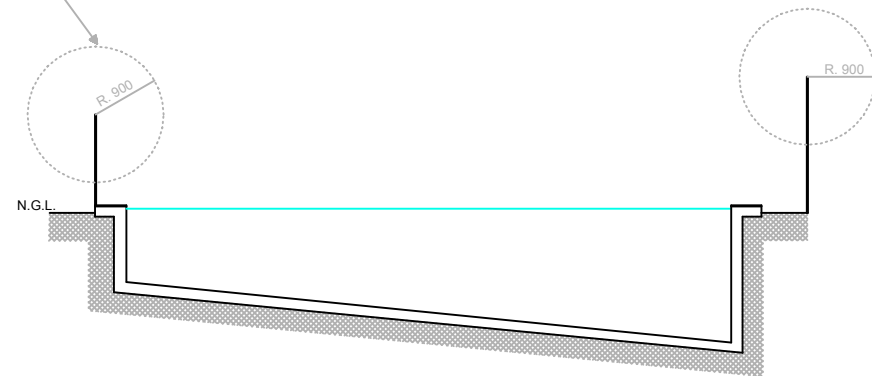
Location:
Western boundary 31.44m from back boundary to centre of sewer.
Invert: 1.46m
Eastern boundary 29.90m from back boundary to centre of manhole.
Manhole location from side boundary to centre: 0.90m.
1.04m to invert.

WATER RECIRCULATION AND FILTRATION SYSTEMS WILL COMPLY TO AS1926.1-2010, BE ENCLOSED IN A SOUNDPROOF ENCLOSURE.

EXISTING TIMBER RETAINING WALL

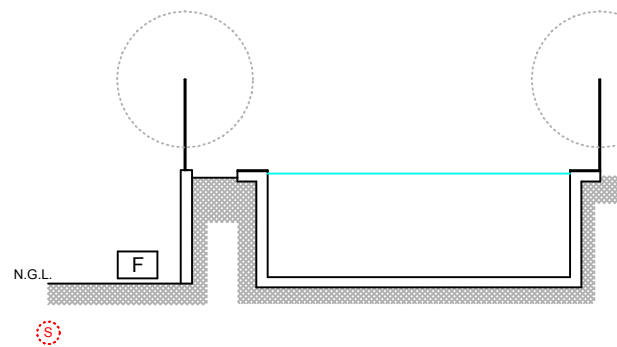
BOUNDARY FENCE TO COMPLY TO AS1926.1-2012 AND BE MINIMUM 1.8m HIGH

NO CLIMB ZONE

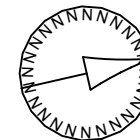


1 . 1
PROPOSED POOL LENGTH SECTION
NOT TO SCALE

NO CLIMB ZONE



2 . 2
PROPOSED POOL CROSS SECTION
NOT TO SCALE
CHILDPROOF FENCE TO BE MINIMUM 1.2m
SPECIFIC LOCATION TBD BY OWNER AND
INSTALLED TO AS1926.1-2012



POOL LEVELS:

- A +100mm ABOVE N.G.L.
B +100mm ABOVE N.G.L.
C +100mm ABOVE N.G.L.
D +100mm ABOVE N.G.L.



PACIFIC POOLS P/L
84 Third road, Berkshire Park
License no. 62686C Ph 9897 5566

BOUNDARY NOTE:

BOUNDARY INFORMATION SUPPLIED BY OWNER.
CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

COUNCIL NOTES:

- NO EXISTING STORMWATER ON ALLOTMENT.
- NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS.
- EASMENTS SHOWN ON SITE PLAN.
- SEDIMENT DISPOSED OF TO COUNCIL'S REQUIREMENTS.

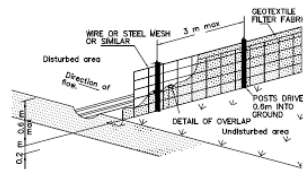
CONCRETE SLAB IN ACCORDANCE WITH CODE OF AUSTRALIA.

SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.

7. FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



BASIX

NOT REQUIRED.
POOL CAPACITY 44.8KL

DATUM POINT



TOP OF TILED PATIO
POOL TO BE FINISHED
LEVEL WITH DATUM

SITE DETAILS:

SITE AREA	992.7 SQ. M.
BLOCK WIDTH	15.24 M.
PROPOSED POOL	32 SQ. M.
EXISTING DWELLINGS	222 SQ. M.
EXISTING HARD SURFACES	170 SQ. M.
LANDSCAPED AREA	600.7 SQ. M.
MIN. LANDSCAPED REQUIRED	397 SQ. M. (40%)

POOL AND SITE LAYOUT PLAN

PROPOSED DEVELOPMENT:
REINFORCED CONCRETE SWIMMING POOL

26 ORLANDO ROAD,
CROMER, NSW 2099
Lot 3 DP 28664

CLIENT

JOHNSON

SCALE

1:200 @ A3

DATE

JANUARY '22

PLAN NO.

2022JW02

Drawn by:

JWConcepts&Design