

R/135507

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 7222



Office Use Only:

C/C NO: CC6074/104

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT ☐ or PICK UP ☐

110/102/102/1

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.



THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No DA. N0833/02 Date 17-06-2003

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____



SITE DETAILS: (please print)

House No 1856 Street/Road PITTWATER ROAD Suburb CHURCH POINT

Postcode 2105 Lot 329 Section _____ Deposited Plan 46686

Description of Proposal FOUR ADDITIONAL WET BERTHS

VALUE OF DEVELOPMENT: \$ 50,000

Nominated Building Classification: Class(es) _____

CC - \$283.25

BS - \$198

hsl - \$100

\$581.25

☐ **APPLICANT: (please print)**
Name/Company EMERALD LOGIC Pty Ltd

Address 111 RILEY STREET EAST SYDNEY

Phone (02) 9356-4555 Daytime Contact No (02) 9356 4555

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature _____

Date _____

☐ **OWNER (please print)**

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s THE QUAYS Pty Ltd

Address 1856 PITTLWATER ROAD

CHURCH POINT

NSW

Postcode 2105

Signature(s) _____

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

☐ **BUILDER'S NAME AND ADDRESS**

(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No. No.....

Licensed Builder Details

Name/Company BELTINGHAM MARINO AUSTRALIA Pty Ltd

Address 2/29A LINES ROAD, GREENWICH, NSW 2065

Phone (02) 9439-9066 Daytime Contact No () 0407-627-462

Licence No N/A Insurance Policy No NW 1029703BFL

Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.

(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.

**S
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CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)

Construction materials

External walls N/A Roof N/A

Floor N/A Wall frames N/A

Details 2 Floating concrete piers and 2 piles

Current use of the land/building(s) _____

Site area _____ m²

Floor area - existing _____ m²

- proposed _____ m²

Total _____ m²

Number of Storeys _____

Number of dwellings to be demolished _____

Number of dwellings proposed _____

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

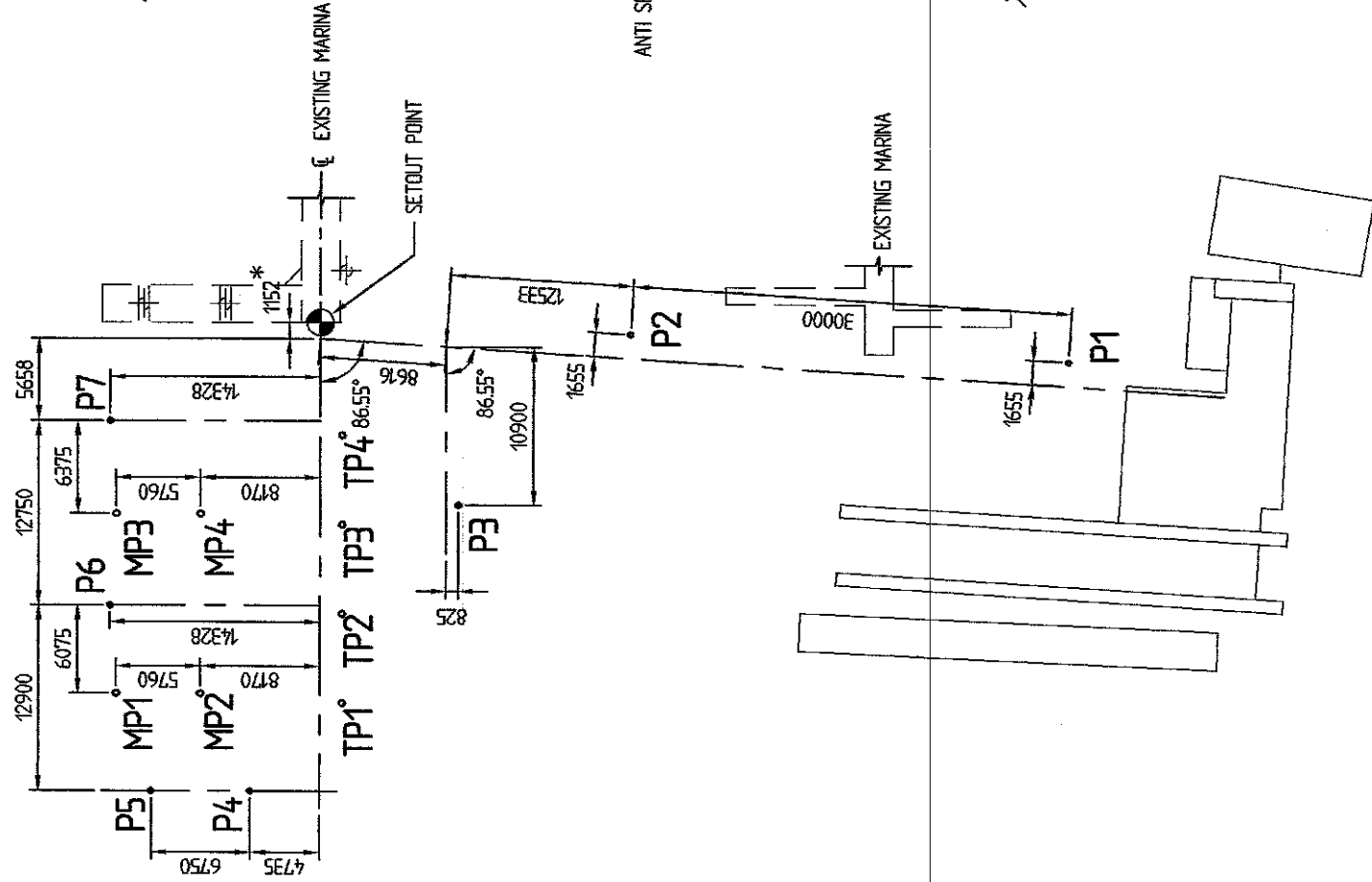
INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

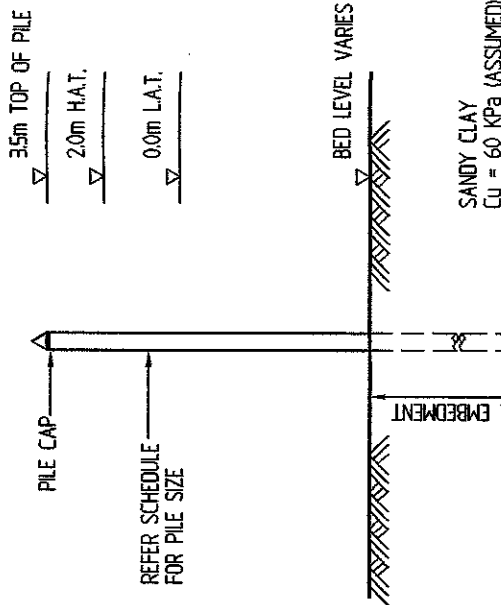
For Subdivision See Items A, B, C, F and J in the checklist.

YOUR USE	STAFF USE
A	COMPLIANCE WITH CONSENT CONDITIONS
	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.
B	COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.
	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.
C	SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200
	North point and all boundary dimensions of the block. All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured). The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors. Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses. Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.
D	ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100
	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified. Existing/proposed ground levels and all floor to ceiling heights. Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels. Roof profile, material, colour, reflectivity and eaves width are shown. The outline of buildings on the adjoining sites.

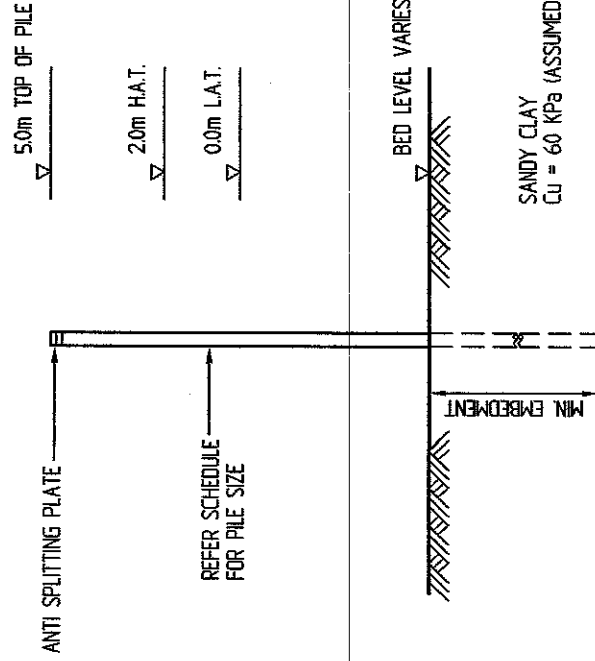
YOUR USE		STAFF USE
E	SECTIONS A cut through view of the building and site. Minimum scale 1:100	
	The outline of the existing and/or proposed building showing all dimensions including roof pitch. All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients). Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any). Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size Provisions made for Fire Safety and Fire Resistance.	
F	LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
	Details of driveways, vehicle crossing profiles and transitions. Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.	
G	FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
	North point shown. Room dimensions and use shown. The location and dimension of all windows, doors and walls (including wall thickness). Provisions made for Fire Safety and Fire Resistance	
H	BUILDING SPECIFICATION Details of construction.	
	Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length. Whether the material will be new or second hand. Give particulars of second hand materials. Details of drainage, effluent disposal, water supply, ventilation arrangements etc.	
Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.		
I	FIRE SAFETY PROVISIONS Class 2-9 buildings only	
	Details of the fire safety measures to be implemented.	
	Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.	
J	DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
	Earthworks, erosion control measures, elevations of retaining walls, etc.	
	Roadworks, road pavement details.	
	Stormwater drainage (including stormwater management details).	
	Water supply, effluent disposal.	
	Landscape construction works.	
Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.		
		Checked by:



PILE SETOUT
SCALE 1 : 500



MARINA PILE PROFILE
SCALE 1 : 200



MOORING PILE PROFILE
SCALE 1 : 200

NOTES:

1. ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
2. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES.
3. ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO I.S.L.W.
4. PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50mm MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 100 MAX. OUT OF PLUMB
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM DESIGN LEVEL BY MORE THAN 300 mm OR THE STRENGTHS OF BED MATERIALS DIFFER FROM THE DESIGN ASSUMPTIONS.
5. DIMENSIONS MARKED * TO BE CONFIRMED ON SITE.

LEGEND:

- MARINA PILE
- MOORING PILE

PILE SCHEDULE

PILE NUMBER	DESIGNED BED LEVEL (m I.S.L.W.)	PILE SIZE & CAPACITY	MINIMUM EMBEDMENT (m)
P1	-15	400Ø HOLLOW SPUN CONCRETE PILE Mu = 275kNm	4.5
P2	-37	400Ø HOLLOW SPUN CONCRETE PILE Mu = 375kNm	5.7
P3	-50	400Ø HOLLOW SPUN CONCRETE PILE Mu = 375kNm	5.5
P4	-50	450Ø HOLLOW SPUN CONCRETE PILE Mu = 425kNm	6.0
P5	-50	450Ø HOLLOW SPUN CONCRETE PILE Mu = 425kNm	6.0
P6	-50	400Ø HOLLOW SPUN CONCRETE PILE Mu = 375kNm	5.5
P7	-50	400Ø HOLLOW SPUN CONCRETE PILE Mu = 375kNm	5.2
MP1 & MP3	-50	350Ø TOE KOPPERS TIMBER MOORING PILE OR EQUIVALENT	4.7
MP2 & MP4	-50	350Ø TOE KOPPERS TIMBER MOORING PILE OR EQUIVALENT	4.7
TP1 TO TP4	-50	350Ø TOE KOPPERS TIMBER MOORING PILE OR EQUIVALENT	4.7

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.
I hold the following qualifications or licence No. **BSC (Eng), ACGI, MICE, FIE Aust, NPER 154325**
Further I am appropriately qualified to certify this component of the project
I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.

Name **C.H. ABRAHAM** Date **21.11.03** Signature *C.H. Abraham*

BED LEVELS TO BE CONFIRMED
PRIOR TO PILE INSTALLATION

Bellingham
MARINE
Innovative harbour
and waterfront solutions
22 Shuman Road
Seventeen Mile Rocks NSW 4073
Australia
Phone: (07) 3376 6955
Fax: (07) 3376 7955
Email: sales@bellingham-marine.com.au

UNIFLOAT®
Precision engineering flotation systems

C 5/09/01 GENERAL REVISION
B 7/08/01 SETOUT DIMENSION FOR P4, P5 & P7 REVISED
A 30/7/01 SETOUT DIMENSION FOR P3 REVISED
Revisions

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International Marina Consultants
Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481
Suite 305 "Taowang Tower"
9 Sherwood Road Taowang 4066 Australia
Phone: (07) 3371 1711 Fax: (07) 3371 1722
Email: imc@imc-marinas.com

CLIENT:
BELLINGHAM MARINE AUSTRALIA PTY. LTD.

PROJECT:
THE QUAY'S MARINA CHURCH POINT

TITLE:
MARINA EXTENSION - PILE SETOUT, PROFILE AND SCHEDULE

Date: 7/6/2001
Drawing No.: 2025-107/C
Scale: 1 : 500
Drawn By: W.L. Designed By: K.C.
Approved By: C.H.A.

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Precision engineering flotation systems

	24/09/01	PONTON TYPE ADDED
B	18/09/01	TRENCH F TYPE TIMBER REVISED
A	05/09/01	GENERAL REVISION
		Revisions

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**International
Marina
Consultants**
Consultants to the Marina Industry.

**International Marina
Consultants Pty. Ltd.**
A.C.N. 079 905 481

Suite 305 "Taowong Tower"
9 Sherwood Road Taowong 4066
Australia

Phone (07)3571 1711 Fax (07)3571 4722
Email : imc@imc-marinas.com

CLIENT: BELLINGHAM MARINE AUSTRALIA PTY. LTD.

PROJECT:
THE QUAY'S MARINA
CHURCH POINT

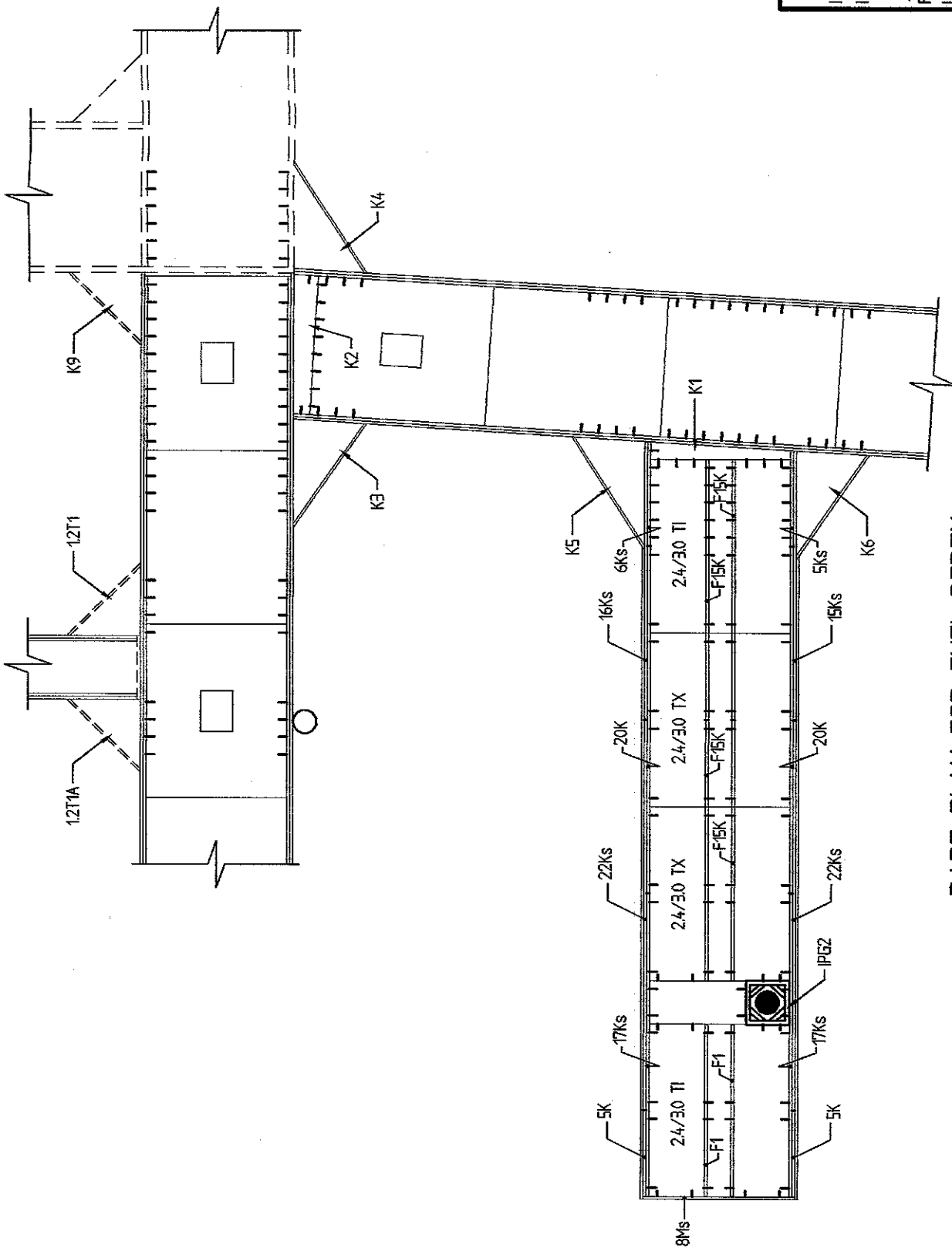
TITLE: PONTON LAYOUT FOR FUEL BERTH AND GANGWAY LANDING

Date:	23/7/2001
Drawing No.:	2025-108/C
Scale:	AS SHOWN
Drawn By:	J.C.
Designed By:	K.C.
Approved By:	JML

20K	WATER TYPE
	PILE LOCATION
	THROUGH-ROD/BOLT LOCATION
	JUNCTION BOX

I am a qualified Engineer,
I hold the following qualifications or licence No.
BSC (Eng), ACGL, MICE, FIE Aust, NPER 154325
Further I am appropriately qualified to certify this component of the project
I hereby state that these plans or details comply with the conditions of
development consent the provisions of the Building Code of Australia
and/or relevant Australian/Industry Standards.

C.H. ABRAHAM 21.11.03
Name Date Signature



PART PLAN FOR GANGWAY LANDING

Bellingham Bellingham
Marine Australia Pty. Ltd.
ACN 074 864 887
Innovative harbour
and waterfront solutions
22 Shannan Road
Sevenleas Me Rocks Bld 4073
Australia
Phone (07) 3276 6955
Fax (07) 3276 7955
Email sales@bellingham-marine.com.au

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Precision engineering flotation systems

A	05/09/01	GENERAL REVISION
Revisions		

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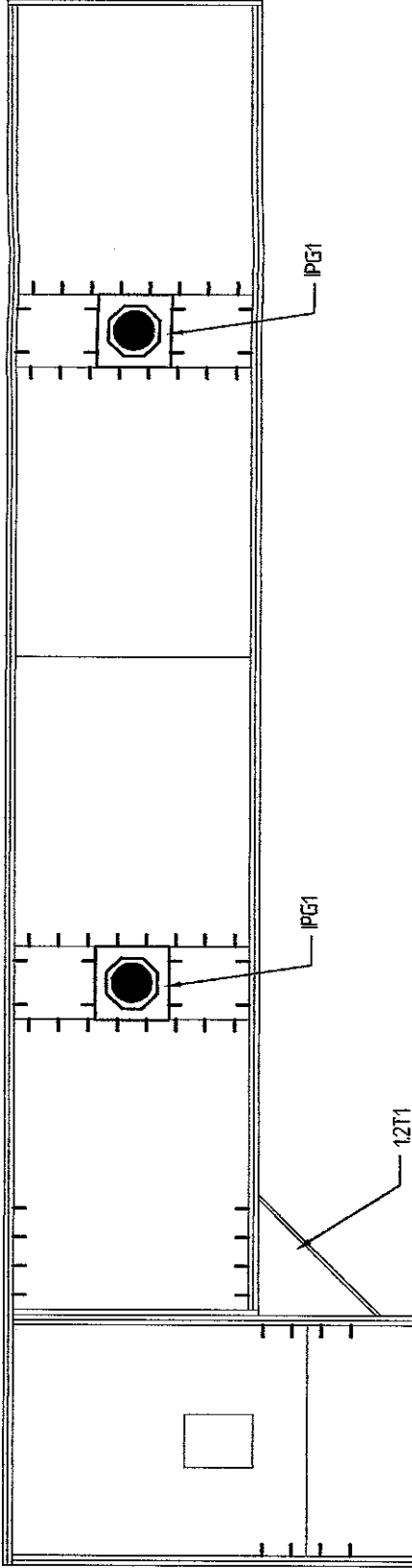
International Marina Consultants
Consultants to the Marina Industry.
International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481
Suite 305 "Toowong Tower"
9 Sherwood Road Toowong 4066 Australia
Phone (07)3371 4711 Fax (07)3371 4722
Email : imc@inc-marinas.com

CLIENT:
BELLINGHAM MARINE AUSTRALIA PTY. LTD.

PROJECT:
THE QUAY'S MARINA CHURCH POINT

TITLE:
PONTON LAYOUT FOR 'L' HEAD

Date:	2/08/2001
Drawing No.:	2025-109/A
Scale:	AS SHOWN
Drawn By:	J.C.
Designed By:	K.L.
Approved By:	J.M.L.



NOTES:

- 1 THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWING No. 2025-106

LEGEND

PILE LOCATION

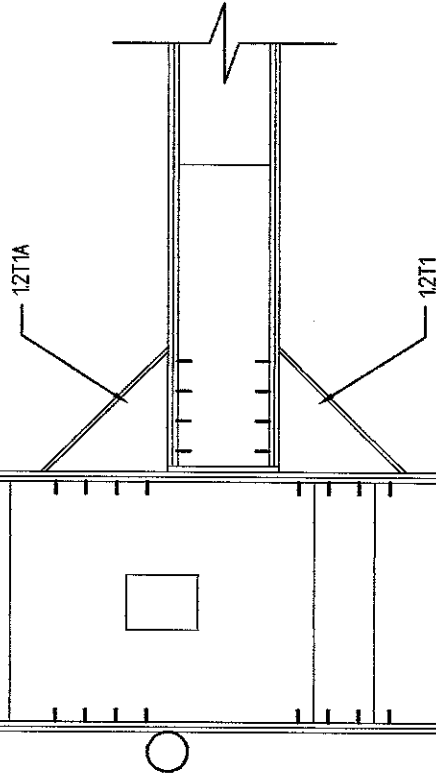
MOORING PILE LOCATION

JUNCTION BOX LOCATION



PART PLAN FOR 'L' HEAD

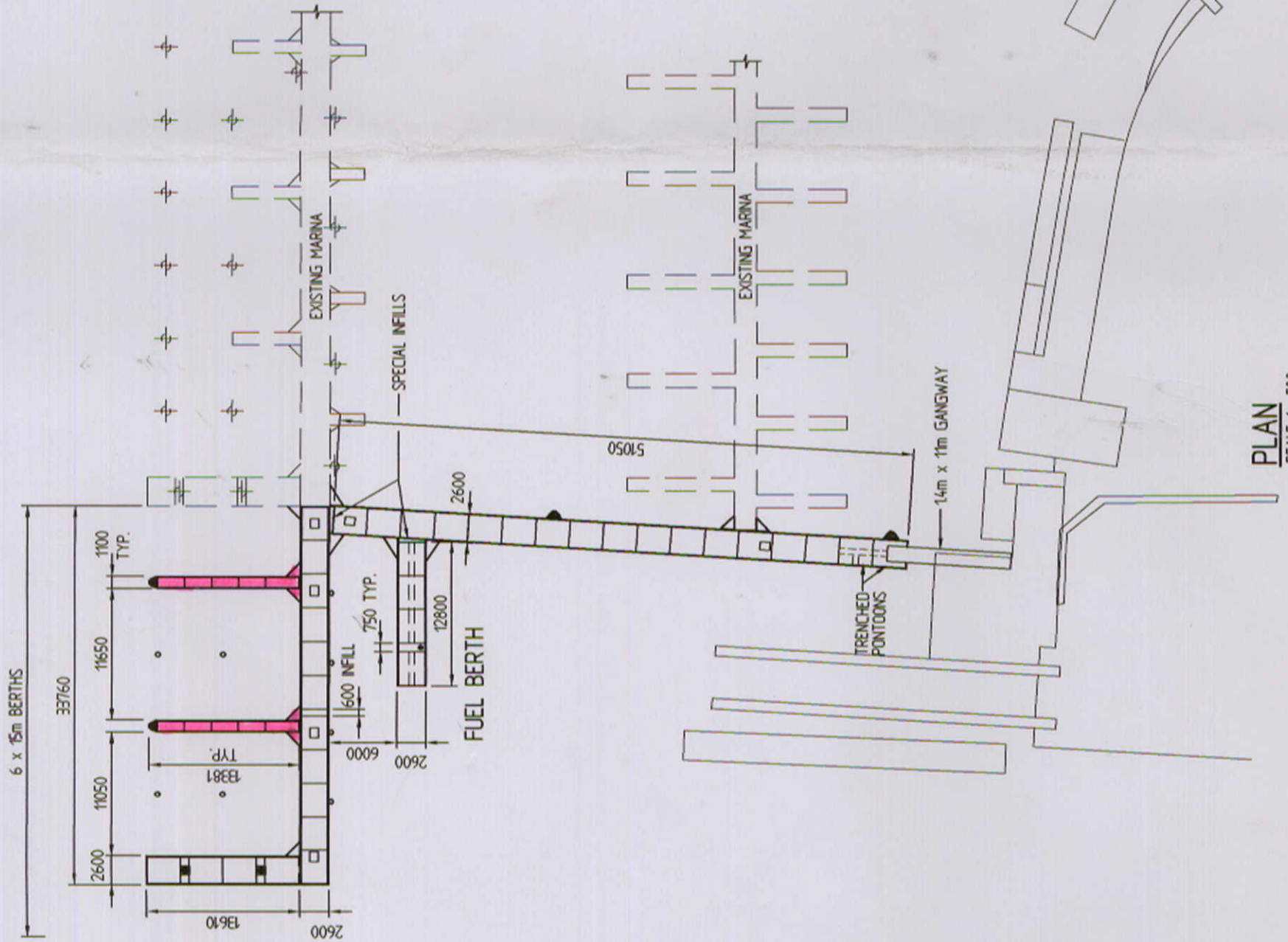
SCALE 1 : 75



PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.
I hold the following qualifications or licence No.
BSc (Eng), ACGI, MICE, FIE Aust, NPER 154325
Further I am appropriately qualified to certify this component of the project
I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

CH. ABRAHAM 26.11.03
Name Date
Signature



PLAN
SCALE 1 : 500

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. PONTON DIMENSIONS ARE NOMINAL
- DIMENSIONS ARE MEASURED TIMBER TO TIMBER.
3. MARINA STRUCTURAL COMPONENTS ARE SUBJECT TO DETAILED DESIGN.
4. THE ON-SHORE STRUCTURES ARE DIGITISED FROM DRAWING AND ARE SUBJECT TO SURVEY.
5. DESIGN PARAMETERS

WIND
- BASIC WIND SPEEDS
 $V_u = 50 \text{ m/s}$
 $V_s = 38 \text{ m/s}$
- TERRAIN CATEGORY TC2
WAVE
 $H_s = 0.8 \text{ m}$ $T = 2.2 \text{ sec}$
LIVE LOAD ON PONTONS
- MAX. UNIFORM LIVE LOAD 3 kPa
- FREEBOARD UNDER DEAD LOAD 400mm $\pm$ 25mm
BERTHING IMPACT
- APPROACHING VELOCITY
 $v = 0.3 \text{ m/s}$
VESSELS
- ALL VESSELS ASSUMED TO BE POWER BOATS.
- NO PERMANENT BERTHING IS ALLOWED AT FUEL BERTH

LEGEND:

- EXISTING PILE
- MARINA PILE
- MOORING PILE

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.
I hold the following qualifications or licence No.
BSc (Eng), ACGL, MICE, FIE Aust, NPER 154325
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

C.H. ABRAHAM
Name
21.11.03
Date
C.H. Abraham
Signature



E	3/09/01	FUEL BERTH RELOCATED
D	7/08/01	T-HEAD LAYOUT REVISED
C	30/7/01	FUEL BERTH RELOCATED, STRONGBACK ADDED
B	7/6/01	STAGES 1 & 2 COMBINED, MARINA PILES ADDED
A	21/5/01	GENERAL REVISION

Revisions

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CLIENT:

**BELLINGHAM MARINE
AUSTRALIA PTY. LTD.**

PROJECT:

**THE QUAY'S MARINA
CHURCH POINT**

TITLE:

**MARINA EXTENSION
- LAYOUT**

Date: 9/5/2001

Drawing No.: 2025-106/E

Scale: 1 : 500

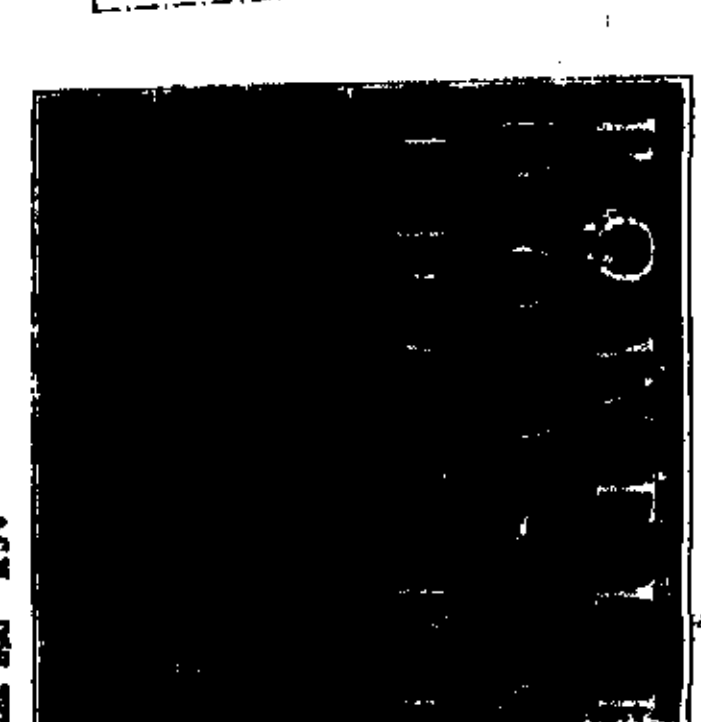
Drawn By: J.C. Designed By: K.C.

Approved By: C.H.A.

APPROVED DATE: 5/28/01 BY: [Signature]			
DRAWING REVIEW DATE: 5/28/01 BY: [Signature]			
DIMENSIONS DATE: 5/28/01 BY: [Signature]			
AGREEMENTS DATE: 5/28/01 BY: [Signature]			

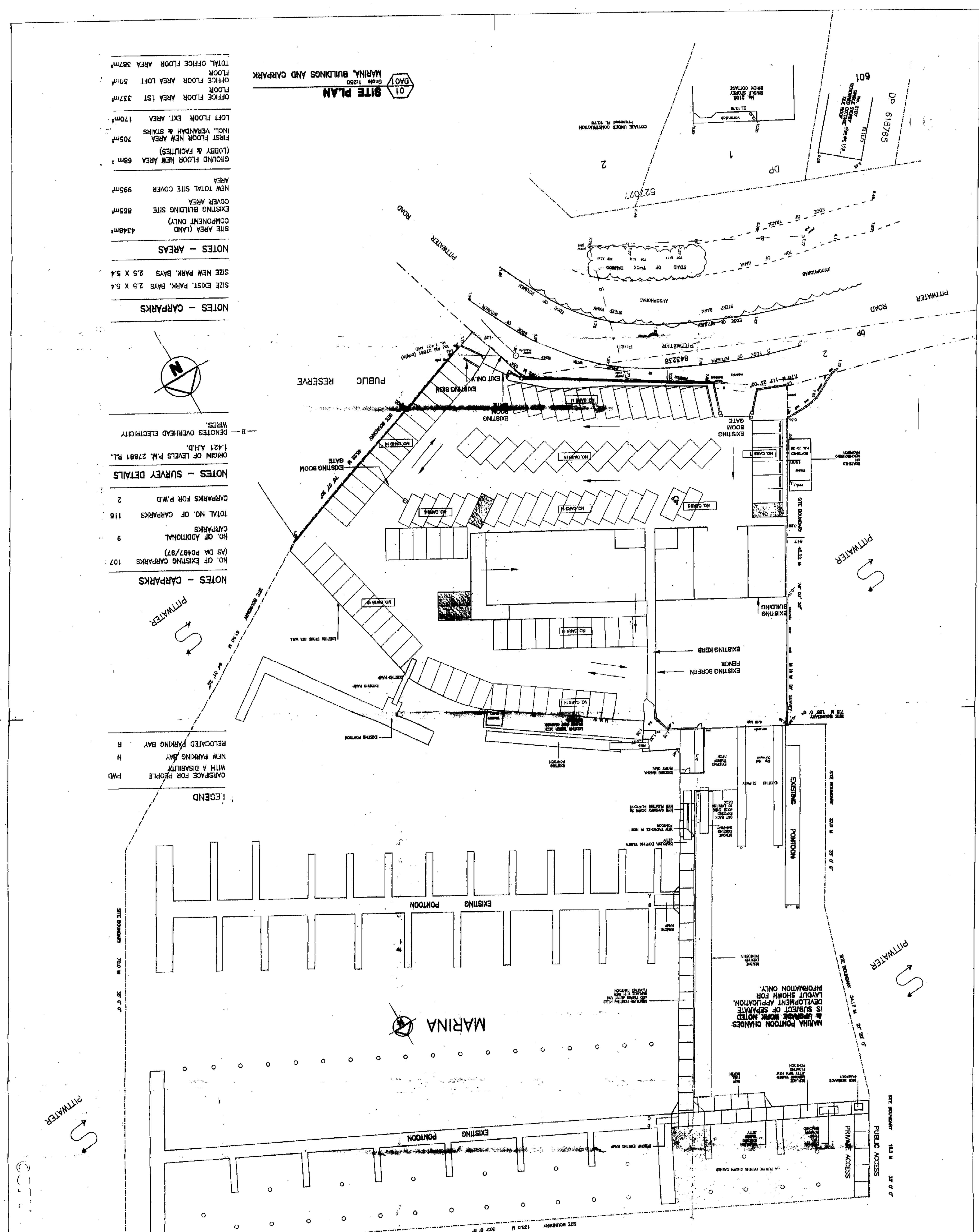
THIS IS A TRUE COPY OF THE PLAN.
 PREPARED BY: [Signature]
 DATE: 5/28/01

QUAYS MARINA
MAINTENANCE
ALTERATIONS TO
MARINA BUILDING
SITE PLAN



APPROVED
 DATE: 5/28/01
 BY: [Signature]

THE COUNCIL OF PITTPATER
 DEVELOPMENT COMMITTEE



NOTES - CARPARKS	
SIZE EXIST. PARK. BAYS	2.5 X 5.4
SIZE NEW PARK. BAYS	2.5 X 5.4
NOTES - AREAS	
SITE AREA (LAND COMPONENT ONLY)	4348m ²
EXISTING BUILDING SITE COVER AREA	865m ²
NEW TOTAL SITE COVER AREA	995m ²
GROUND FLOOR NEW AREA (LOBBY & FACILITIES)	68m ²
FIRST FLOOR NEW AREA (LOBBY & FACILITIES)	705m ²
LOFT FLOOR EXT. AREA	170m ²
OFFICE FLOOR AREA 1ST FLOOR	337m ²
OFFICE FLOOR AREA LOFT FLOOR	50m ²
TOTAL OFFICE FLOOR AREA	387m ²

NOTES - SURVEY DETAILS	
NO. OF EXISTING CARPARKS	107
NO. OF ADDITIONAL CARPARKS	9
TOTAL NO. OF CARPARKS	116
CARPARKS FOR P.W.D.	2
NOTES - SURVEY DETAILS	
ORIGIN OF LEVELS P.M. 27881 R.L.	1.421 A.M.D.
NOTES - SURVEY DETAILS	
WIRING	—

LEGEND	
P.W.D.	CARPARK FOR PEOPLE WITH A DISABILITY
N	NEW PARKING BAY
R	RELOCATED PARKING BAY