

MOD for alterations and additions to existing building at:
87 THE OUTLOOK, BILGOLA PLATEAU

PROJECT INFORMATION:

Client: Lara Natali
Address: 87 The Outlook, Bilgola Plateau, NSW, 2108
DP No. Lot 251 DP16902
SITE AREA: 628.7m²
FSR/GFA: N/A
LAND ZONING: C4 - Environmental Living
MIN. LOT SIZE: 700m²
ACID SULFATE SOILS: Class 5
HEIGHT OF BUILDING: 8.5 Max. Building Height
TERRESTRIAL BIODIVERSITY: Biodiversity
LANDSLIP RISK: N/A
SETBACKS: Side (1m & 2.5m), Rear (4.5m)
SIDE BOUNDARY ENVELOPE: YES (3.5m @ 45°)
BUSHFIRE PRONE LAND: NO
FLOOD HAZARD: NO
LANDSCAPED OPEN SPACE: min 60% (377.2m²)

PROJECT DESCRIPTION:

Proposed Alterations and Addition to an existing Residential building located at:
87 The Outlook, Bilgola Plateau.
The subject site is identified as being located within the Pittwater zone of the Northern Beaches Area.

The extent of the proposed works include:
- Demolition to internal & external structural walls
- Extension of ground and first floor
- New Swimming Pool & Spa
- New deck and pathway

The extent of the proposed works are illustrated on the Architectural Plans prepared by **Hot House Architects**.

00. SHEET LIST

COVER SHEET	MOD 001
SITE AND MANAGEMENT PLAN	MOD 009
SITE ANALYSIS	MOD 010
GROUND FLOOR PLAN	MOD 100
FIRST FLOOR PLAN	MOD 101
ROOF & DRAINAGE PLAN	MOD 110
ELEVATIONS	MOD 200
ELEVATIONS	MOD 201
SECTIONS	MOD 300
SECTIONS	MOD 301
SECTIONS	MOD 302
DRIVEWAY SECTION	MOD 303
AREA CALCULATION & LANDSCAPE PLAN	MOD 600
NOTIFICATION	MOD 700

01. Window ScheduleX									
Mark	Location	Window Style	Height	Width	Area	Sill Height	Frame Material	Glazing	Comments
W001	Indoor/Outdoor Lounge	Sliding	1350	3750	5.1 m ²	1050	Timber		
W002	Kitchen	Fixed	1050	550	0.6 m ²	1065	Timber		
W003	Kitchen	Sliding	1050	3044	3.2 m ²	1050	Timber	Single Polytec Low-E	
W004	Lounge	Fixed	1050	908	1.0 m ²	1050	Timber		
W005	Lounge	Fixed	1050	1418	1.5 m ²	1050	Timber		
W006	Laundry	Sliding	1200	1400	1.7 m ²	900	Timber		
W007	Bathroom	Louvre	484	1315	0.6 m ²	1616	Timber		
W008	Bar	Sliding	1350	1450	2.0 m ²	900	Timber		
W101	Ensuite	Sliding	1300	1000	1.3 m ²	800	Timber		
W102	Master Bedroom	Sliding	1300	2590	3.4 m ²	800	Timber		
W103	Master Bedroom	Bi-Fold	1800	4550	8.2 m ²	800	Timber		
W104	Master Bedroom	Bi-Fold	1800	3200	5.8 m ²	800	Timber	Single Clear	
W105	Ensuite	Fixed	1800	1000	1.8 m ²	800	Timber		
W106	Hallway	Louvre	1744	760	1.3 m ²	356	Timber		
W107	Bathroom	Louvre	1744	760	1.3 m ²	356	Timber		
W108	Hallway	Louvre	1744	600	1.0 m ²	356	Timber		
W109	Bedroom	Sliding	1300	1290	1.7 m ²	800	Timber		
W110	Bedroom	Sliding	1300	2500	3.3 m ²	800	Timber		
W111	Bedroom	Sliding	1300	2500	3.3 m ²	800	Timber		
W112	Bedroom	Sliding	1200	2110	2.5 m ²	800	Timber		

02. Door ScheduleX									
Mark	Location	Style	Height	Width	Area	Sill Height	Frame Material	Finish	Comments
D001	Indoor/Outdoor Dining	Bi-fold	2400	4000	9.6 m ²	0	Timber		
D002	Entry	Hinged	2400	1430	3.4 m ²	0	Timber		
D003	Lounge	Bi-fold	2400	1437	10.6 m ²	0	Timber	Single Clear	
D005	Study	Sliding	2100	2275	4.8 m ²	0	Timber		
D006	Kitchen	Hinged	2400	750	1.8 m ²	0	Timber		
D007	Indoor/Outdoor Dining	Bi-fold	2400	3000	7.2 m ²	0	Timber		
D008	Living	Bi-fold	2400	3500	8.4 m ²	0	Timber		
D009	Bathroom	Hinged	2250	750	1.7 m ²	0	Timber		
D101	Bedroom	Sliding	2100	4000	8.4 m ²	0	Timber		
D102	Hallway	Hinged	2400	1500	3.6 m ²	0	Timber		
D103	Bedroom	Sliding	2100	2400	5.0 m ²	0	Timber		
D104	Bedroom	Sliding	2100	2400	5.0 m ²	0	Timber		

03. Skylights ScheduleX									
Mark	Location	Window Style	Height	Width	Area	Sill Height	Frame Material	Glazing	Comments



1 Materials & Finishes



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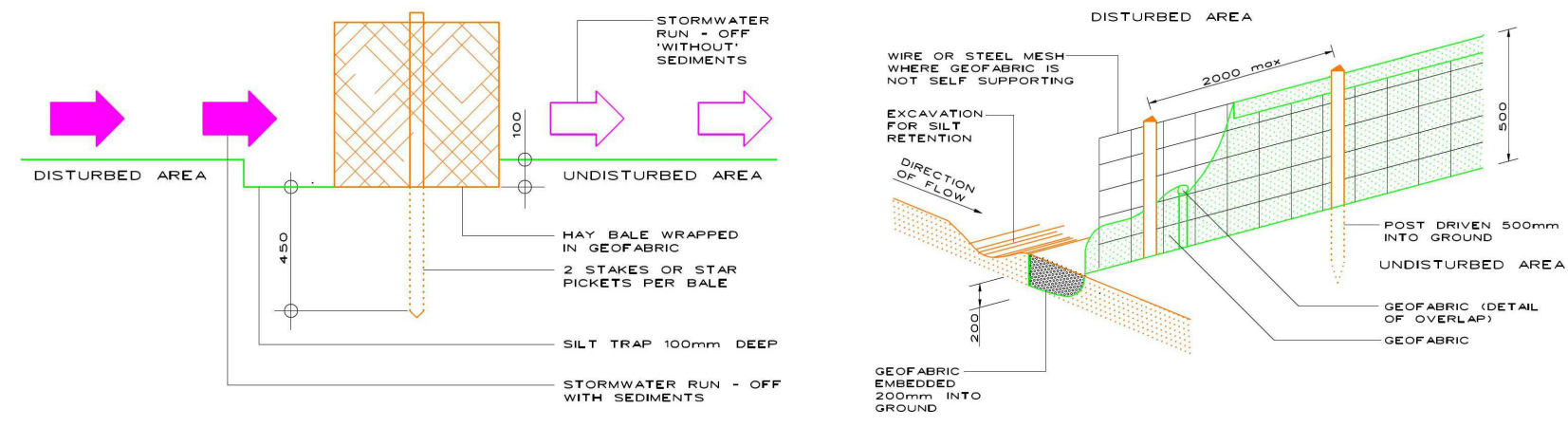
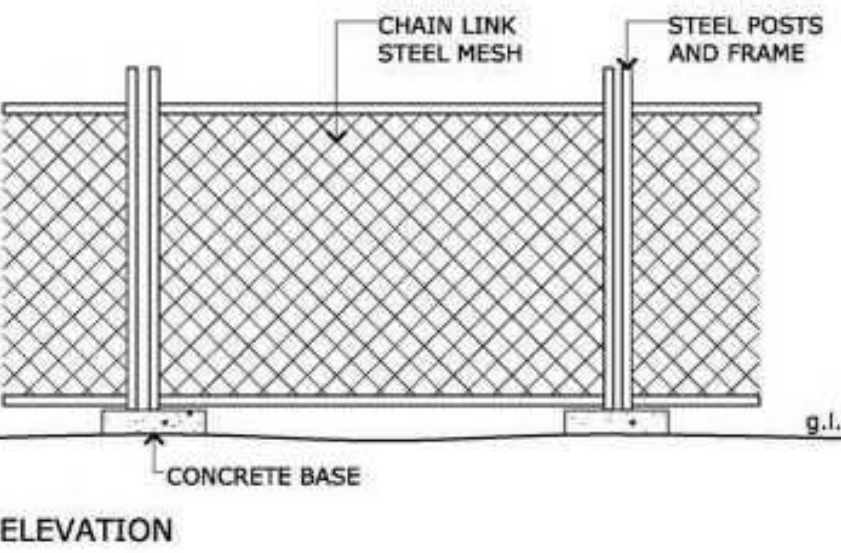
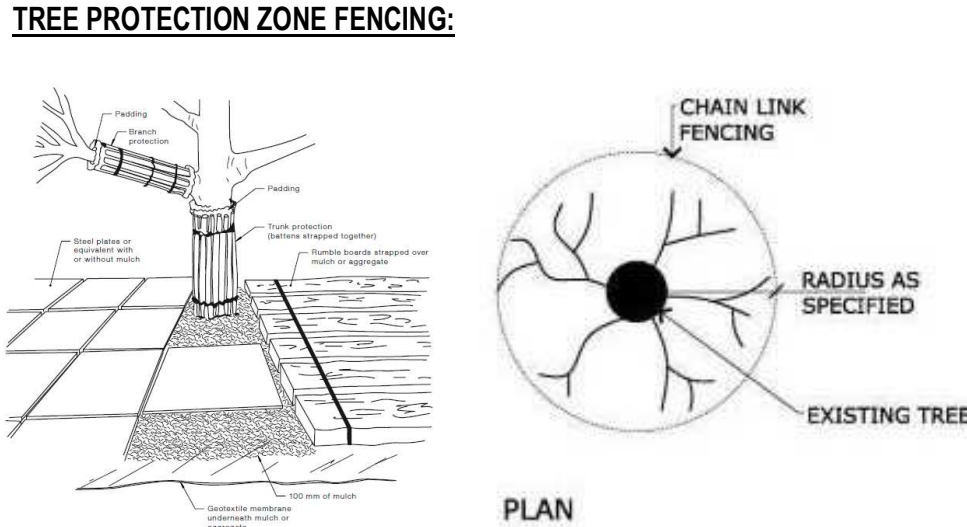
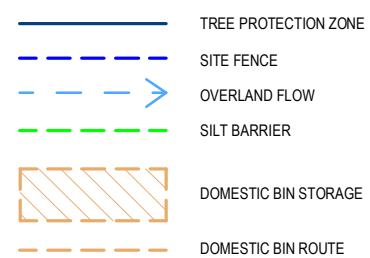
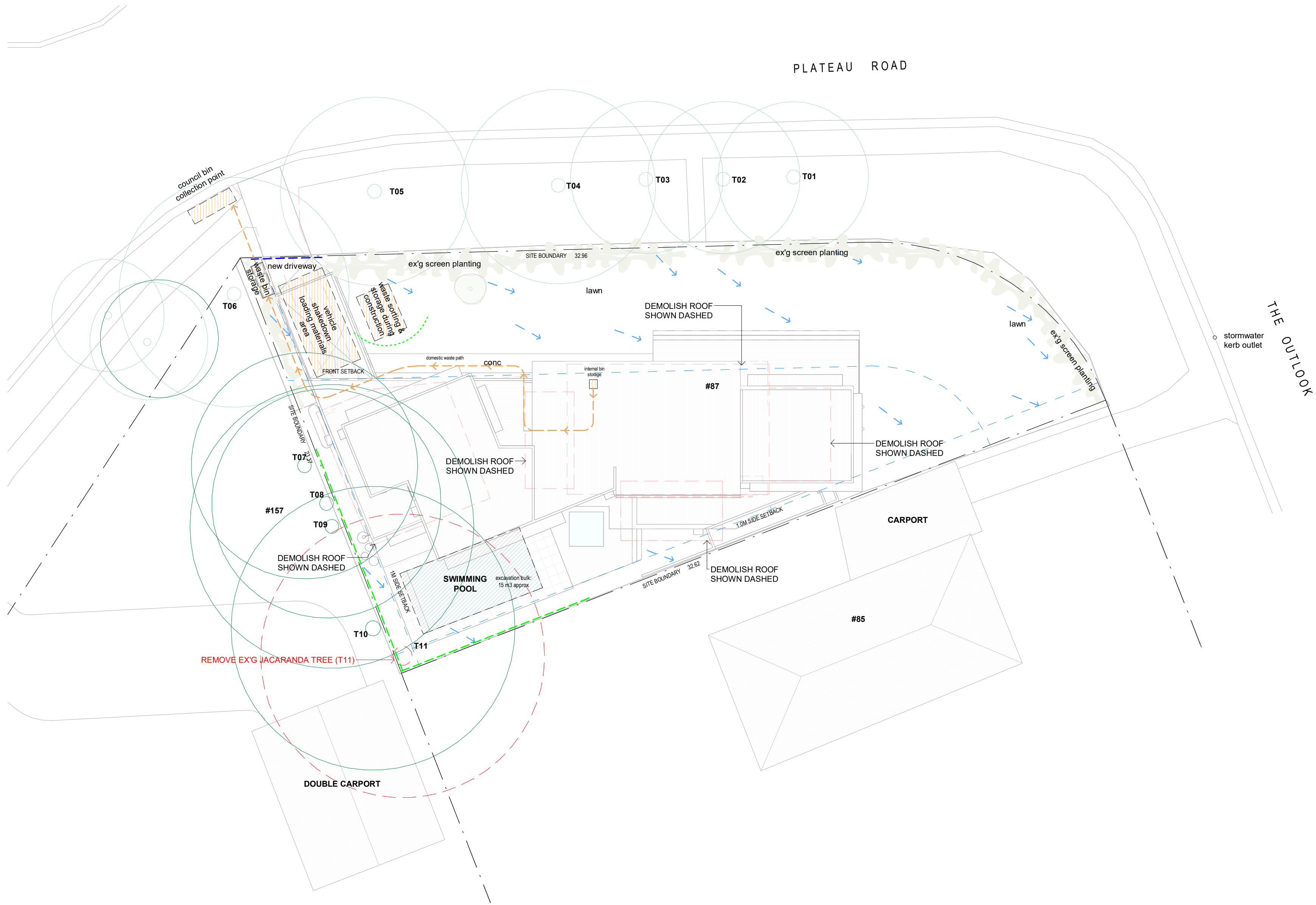
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MOD - Issue
DATE
20-05-24
03-06-24
21-10-25

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87 The Outlook, Bilgola Plateau

DRAWING TITLE:			
COVER SHEET			
PROJECT NO.	DRAWN	CHECKED	
1039HHA	JG	WC	
DATE	21 October 2025	DRAWING NO	REVISION NO
SIZE	A1	MOD 001	03



WASTE MANAGEMENT:

- WASTE MATERIALS ARE TO BE STOCKPILED AND LOADED INTO BINS
- ALL PROTECTION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL SITE MANAGEMENT DCP

SOIL & WATER MANAGEMENT:

- INSTALL A SILT FENCE AS SHOWN ON PLAN PRIOR TO THE COMMENCEMENT OF ANY ON SITE EARTHWORKS.
- INSTALL A TEMPORARY SEDIMENT BARRIER TO ALL INLET PITS LIKELY TO COLLECT SILT-LADEN WATER UNTIL REGRESSED.
- ALL SILT FENCES AND BARRIERS ARE TO BE MAINTAINED IN GOOD CONDITION AND TO BE DESILTED DURING CONSTRUCTION.
- WHEREVER POSSIBLE, EXISTING VEGETATION & GRASS COVER IS TO BE LEFT UNDISTURBED.
- REMOVAL OR DISTURBANCE OF VEGETATION & TOP SOIL SHALL BE CONFINED TO WITHIN 3M OF THE APPROVED BUILDING AREA.

CONSTRUCTION MANAGEMENT NOTES:

- NO VEGETATION OR GRASS COVER IS TO BE REMOVED EXCEPT WITHIN AREAS OF NEW CONSTRUCTION.
- INSTALL HAY BALES OR SEDIMENT CONTROL FENCING AS NECESSARY TO ENSURE THAT SILT FROM ANY DISTURBED AREAS IS TRAPPED ON SITE.
- PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORK ON THE FOOTPATH AREA TO PROVIDE SAFE ALTERNATIVE ACCESS FOR PEDESTRIANS.
- ALL WASTE MATERIALS ARE TO BE REMOVED FROM SITE OR STOCKPILED WITHIN THE SITE PRIOR TO REMOVAL.
- ALL CONSTRUCTION MATERIALS & SITE SHEDS ARE TO BE KEPT WITHIN THE SITE AT ALL TIMES.

ONGOING MANAGEMENT OF WASTE:

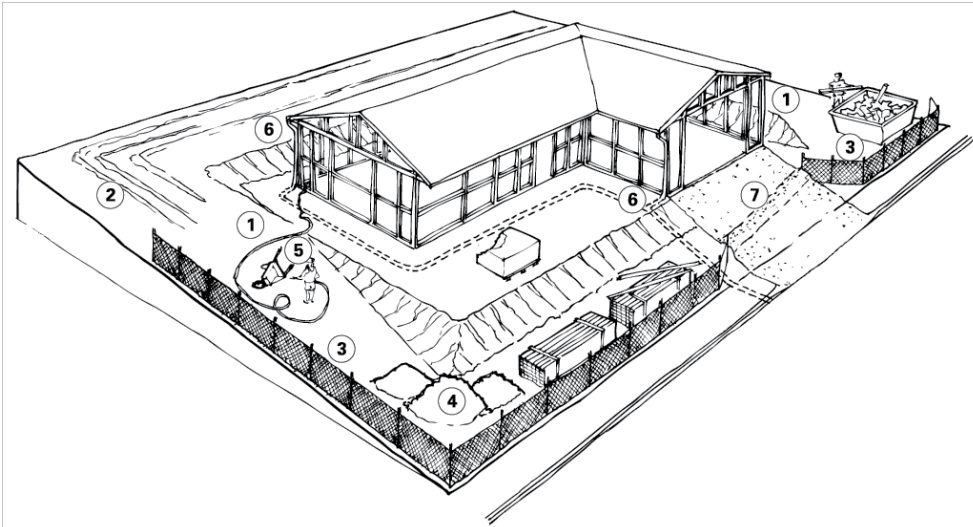
THE OWNER OCCUPIER WILL CONTINUE TO STORE WASTE AND RECYCLABLE MATERIALS IN THE BINS PROVIDED BY COUNCIL AND MOVE THE BINS TO THE KERBSIDE FOR COLLECTION BY NORTHERN BEACHES COUNCIL CONTRACTORS IN ACCORDANCE WITH THE EXISTING PROCEDURE

TREE PROTECTION NOTES:

- NO TREE ROOTS GREATER THAN 25MM DIAMETER ARE TO BE CUT FROM EXISTING TREES UNLESS AUTHORISED BY A QUALIFIED ARBORIST ON SITE.
 - EXISTING GROUND LEVELS SHALL BE MAINTAINED WITHIN THE TREE PROTECTION ZONE OF TREES TO BE RETAINED, UNLESS AUTHORISED BY A QUALIFIED ARBORIST.
 - ALL STRUCTURES ARE TO BRIDGE TREE ROOTS GREATER THAN 25MM DIAMETER UNLESS DIRECTED OTHERWISE BY A QUALIFIED ARBORIST ON SITE.
 - ALL TREE PROTECTION TO BE IN ACCORDANCE WITH AS4970-2009 PROTECTION OF TREES ON DEVELOPMENT SITES, WITH PARTICULAR REFERENCE TO SECTION 4 TREE PROTECTION MEASURES.
 - EXCAVATION FOR STORMWATER LINES AND ALL OTHER UTILITY SERVICES IS NOT PERMITTED WITHIN THE TREE PROTECTION ZONE, WITHOUT CONSULTATION WITH A QUALIFIED ARBORIST.
 - ALL TREE PRUNING WITHIN THE SUBJECT SITE SHALL NOT EXCEED 10% OF ANY TREE CANOPY AND IS TO BE IN ACCORDANCE WITH WDCP2011 CLAUSE E1 PRIVATE PROPERTY TREE MANAGEMENT AND AS4373 PRUNING OF AMENITY TREES
 - ALL TREE PROTECTION MEASURES, INCLUDING FENCING, ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF WORKS.
- THE ACTIVITIES LISTED IN SECTION 4.2 OF AUSTRALIAN STANDARD 4970-2009 PROTECTION OF TREES ON DEVELOPMENT SITES DO NOT OCCUR WITHIN THE TREE PROTECTION ZONE OF ANY TREE AND ANY TEMPORARY ACCESS TO OR LOCATION OF SCAFFOLDING WITHIN THE TREE PROTECTION ZONE OF A PROTECTED TREE OR ANY OTHER TREE TO BE RETAINED ON THE SITE DURING THE CONSTRUCTION IS UNDERTAKEN USING THE PROTECTION MEASURES SPECIFIED IN SECTIONS 4.5.3 AND 4.5.6 OF THAT STANDARD.

EROSION AND SEDIMENT CONTROL MEASURES:

- MINIMISE DISTURBANCE.
- DIVERSION DEVICES.
- SEDIMENT BARRIERS.
- SECURE STOCKPILES.
- OTHER CONTAINMENTS.
- EARLY STORMWATER CONNECTION.
- CONTROLLED ACCESS POINT



FOR S4.55 ONLY											
ACR	ACRYLIC RENDER	FCL	FINISHED CEILING LEVEL	RWT	RAIN WATER TANK						
ABP	ARCHITECTIVE TYPE	FD	FRONT DOOR	SC	STEEL COLUMN						
BF	BAULTRADE TYPE	FFL	FINISHED FLOOR LEVEL	SK	SKIRTING TYPE						
BBC	BOARD BATTENS	FG	FIXED GLASS	SL	SKYLIGHT						
CLD	CLADDING	FP	FIREPLACE	SSL	STRUCTURAL SLAB LEVEL						
BG	BON GUETER	GD	GRADED GROUND	STP	STONE PAVING TYPE						
BWR	RECYCLED BRICKWORK	GO	GRATED GROUND	TB	TIMBER BATTENS						
CI	CORNER TYPE	HW	HAND WASH	TC	TIMBER CLADDING						
CB	CONCRETE BLOCK	INS	INSULATION	TD	TIMBER DECKING BOARDS						
CONC	CONCRETE	J#	JUNCTION OF FLOORS	TF	TIMBER FLOOR						
CONC	CONCRETE	MCP	METAL CAPPING	TJ	TIMBER JOINERY						
COS	CHECK ON SITE	MS	METAL ROOF	TOW	TIMBER TREAD TYPE						
CPT	CEMENT TYPE	NOL	NATURAL GROUND LEVEL	TP	TIMBER POST						
CR	CEMENT RENDER	OG	OVERHANG	TR	TIMBER TREAD TYPE						
CS	CONCRETE SLAB	OP	OVERHANG	UP	UPPER PANEL						
CTF	CEILING TYPE	PC	POLISHED CONCRETE	WR	WALK IN ROBE						
CP	DOWN PIPE	PV	PAVER	WTB	WALL TYPE						
EG	EAVES GUTTER	RW	RETAINING WALL								
EXG	EXISTING										
FC	FIBER CEMENT										

1 SITE MANAGEMENT PLAN

1:150



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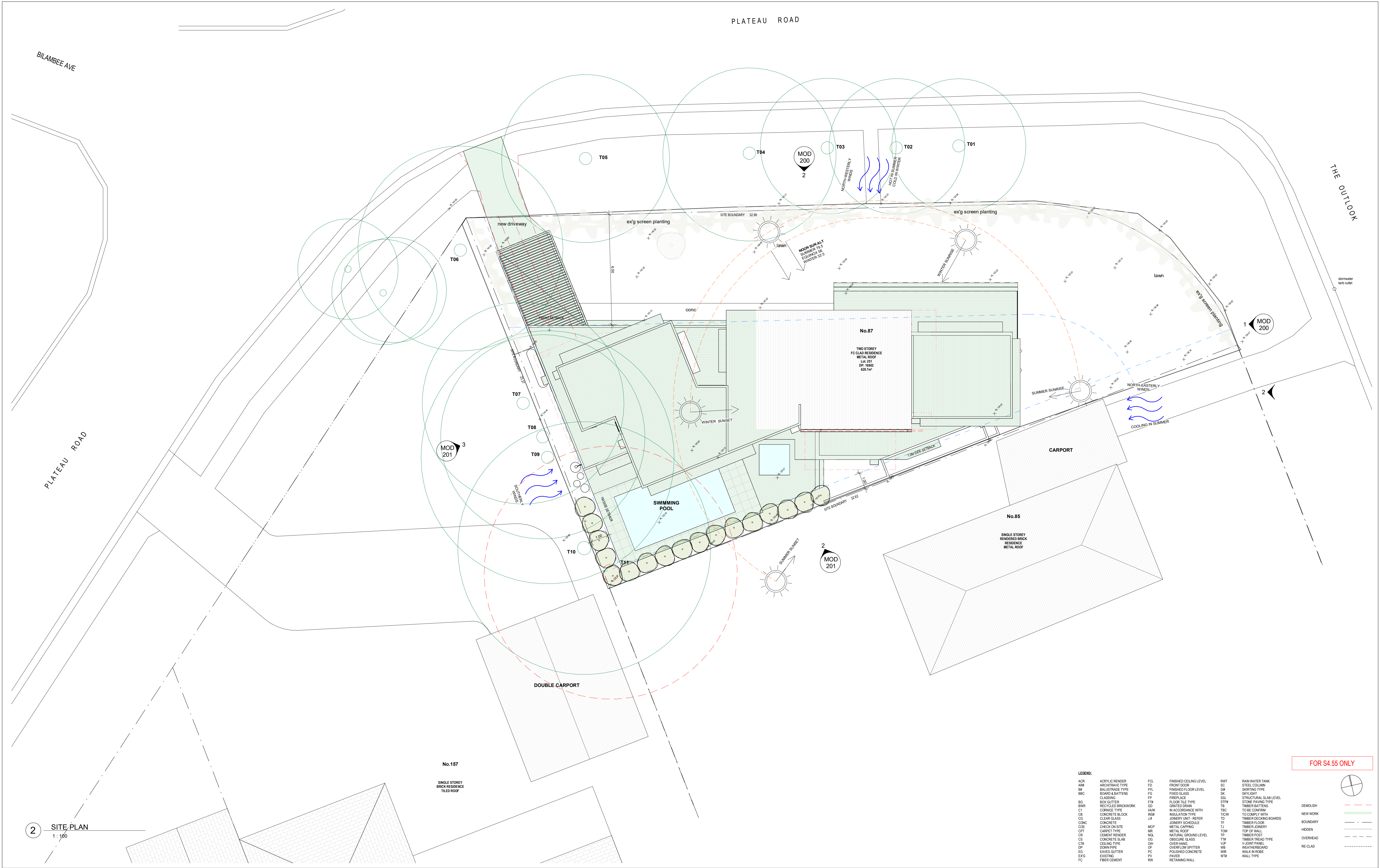
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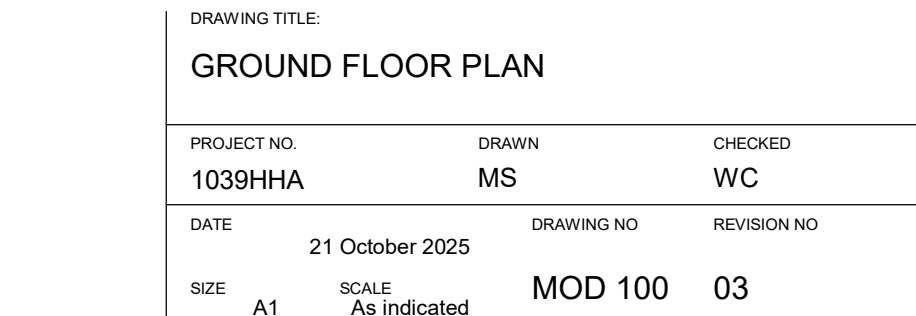
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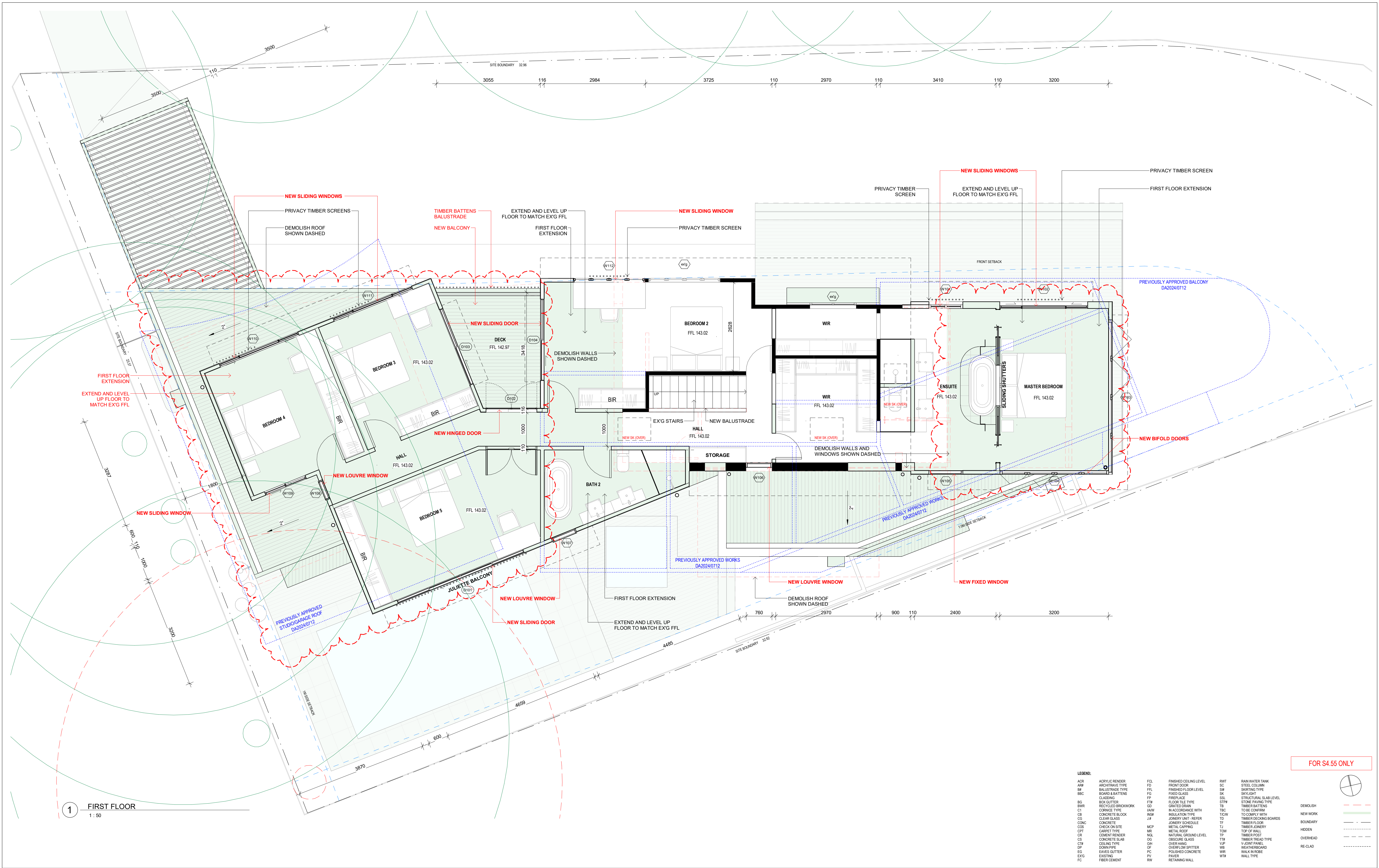
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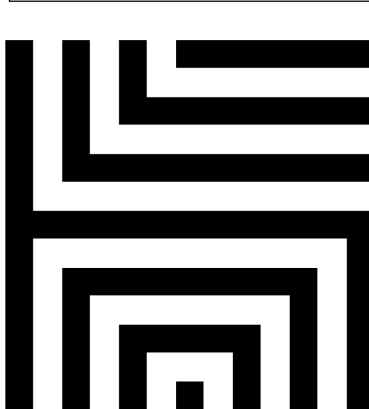
SITE AND MANAGEMENT PLAN

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1039HHA	MS	WC
DATE	DRAWING NO	REVISION NO
21 October 2025		
SIZE	SCALE	MOD
A1	As indicated	009 03









HOT HOUSE

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Notified Architect:
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DATE
20-05-24
13-05-24
21-10-25

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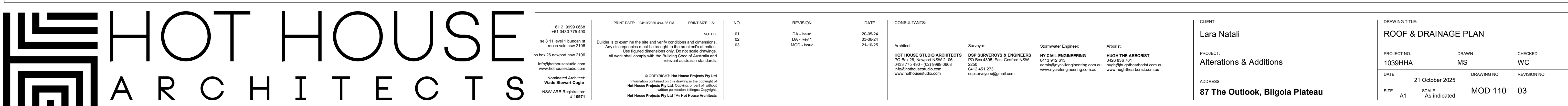
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FIRST FLOOR PLAN

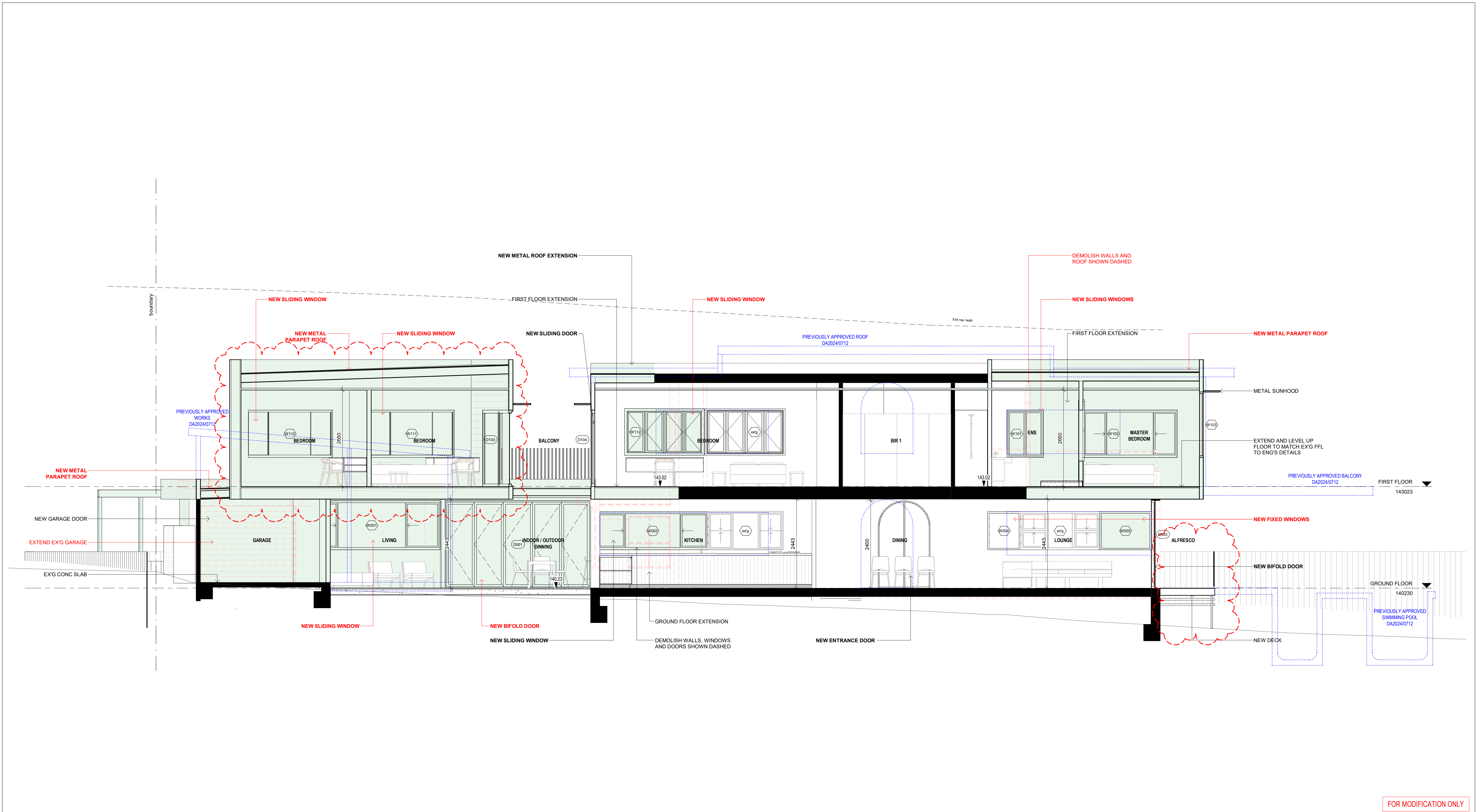
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			03









FOR MODIFICATION ONLY

LEGEND:			
AL	ALUMINUM	FGL	FINISHED CEILING LEVEL
ACR	ACRYLIC RENDER	FRL	FINISHED FLOOR LEVEL
ARF	ARCHITRAVE TYPE	FG	FIXED GLASS
B	BALUSTRADE	FP	FIREPLACE
BBC	BOARD & BATTENS	FTF	FLOOR TILE TYPE
BG	BORING	GD	GRADED DRAIN
BWR	BOX GUTTER	GO	GRATED GROUND
C1	CONCRETE BLOCK	INS	INSULATION TYPE
CB	CLAD GLASS	JH	JUNCTION UNIT - REFER
CONC	CONCRETE	MC	METAL ROOF
OPF	OPPOSITE TYPE	MS	METAL SCREEN
OS	CEMENT RENDER	NGL	NATURAL GROUND LEVEL
OS	CHECK ON SITE	OH	OVERHANG
CTB	CEILING TYPE	OF	OVERFLOW SHUTTER
DP	DOWN PIPE	PS	PRIVACY SCREEN
EG	EAVES GUTTER	PV	PAVER
EXG	EXISTING	RH	RAINHEAD
FG	FIBER CEMENT	RW	RETAINING WALL
		RWT	RAIN WATER TANK
		SC	STEEL COLUMN
		SH	STEEL SHED
		SK	SKIRTING TYPE
		SSL	SKIRTING TYPE
		STP	STONE PAVING TYPE
		TS	TIMBER BATTENS
		TBC	TIMBER CLADDING
		TCW	TIMBER CLADDING
		TD	TIMBER DECKING BOARDS
		TF	TIMBER FLOOR
		TOW	TOP OF WALL
		TTW	TIMBER TREAD TYPE
		UP	V-JOIN PANEL
		WB	WEATHERBOARD
		WR	WALK IN ROBE
		WTR	WALL TYPE

1 Section 1

1:50

HOT HOUSE
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NSW ARB Registration:
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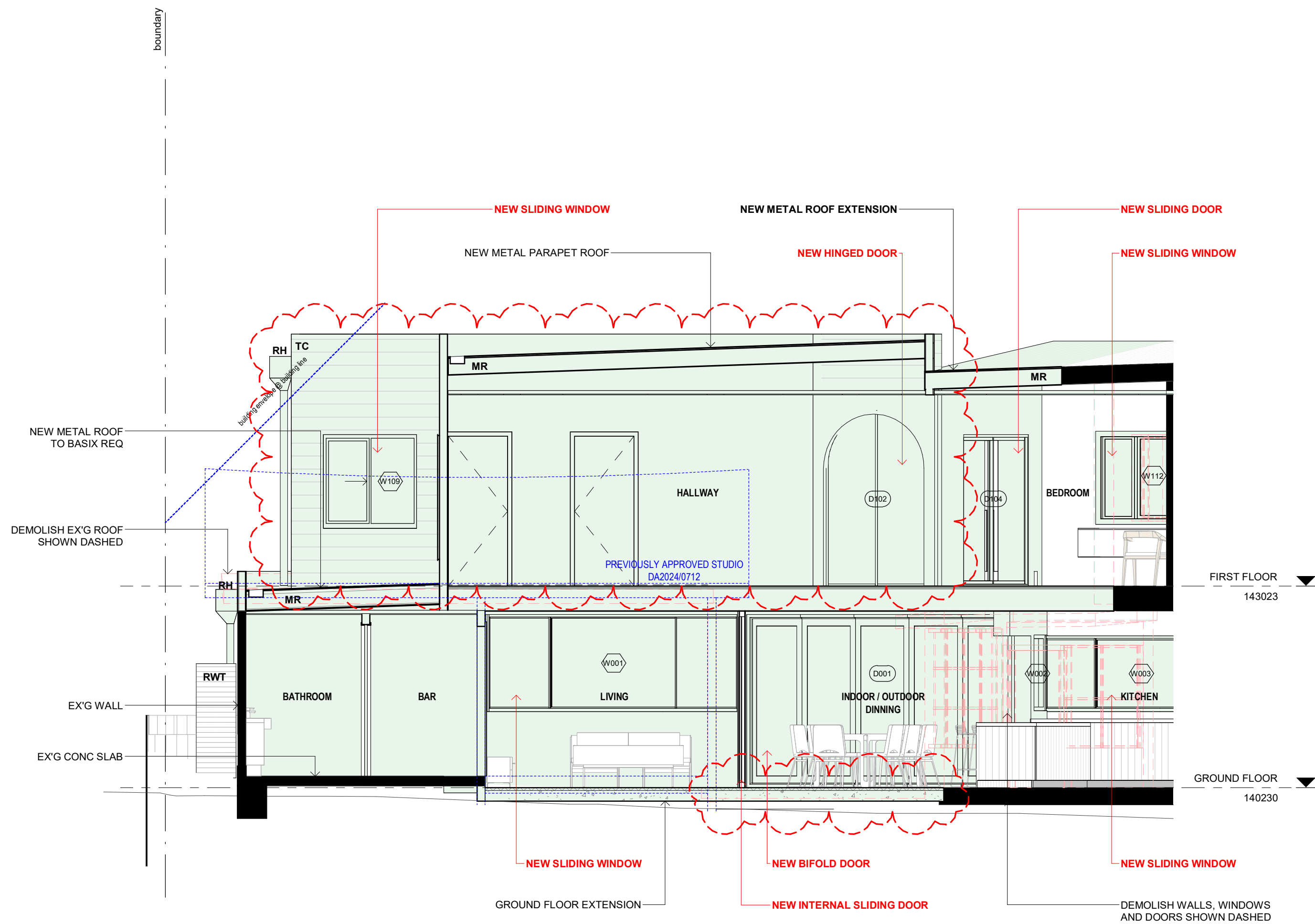
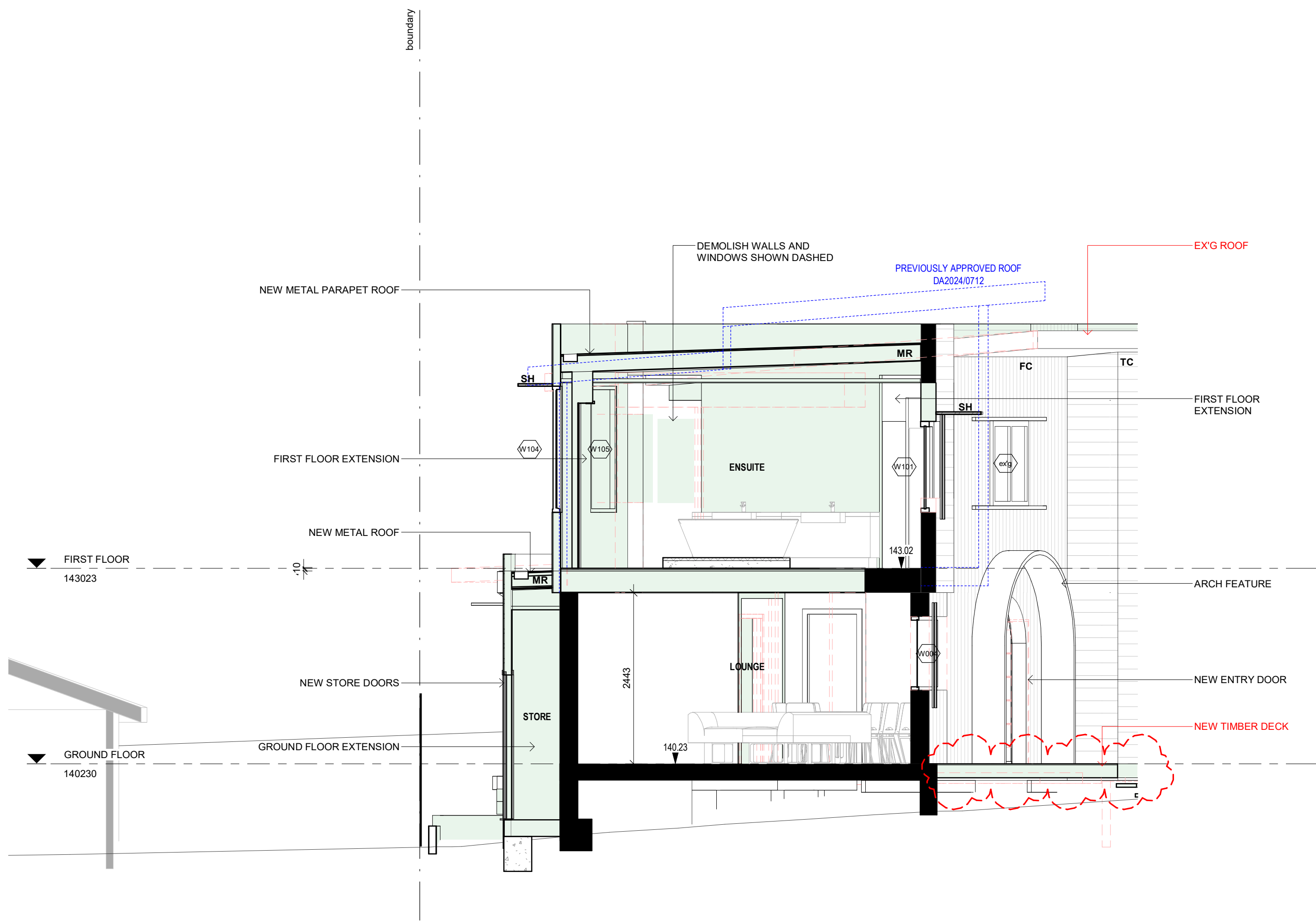
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CLIENT:
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PROJECT:
Alterations & Additions
ADDRESS:
87 The Outlook, Bilgola Plateau

DRAWING TITLE:
SECTIONS
PROJECT NO.
1039HHA
DRAWN
MS
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WC
DATE
21 October 2025
DRAWING NO
MOD 300
REVISION NO
03
SIZE
A1
SCALE
As indicated

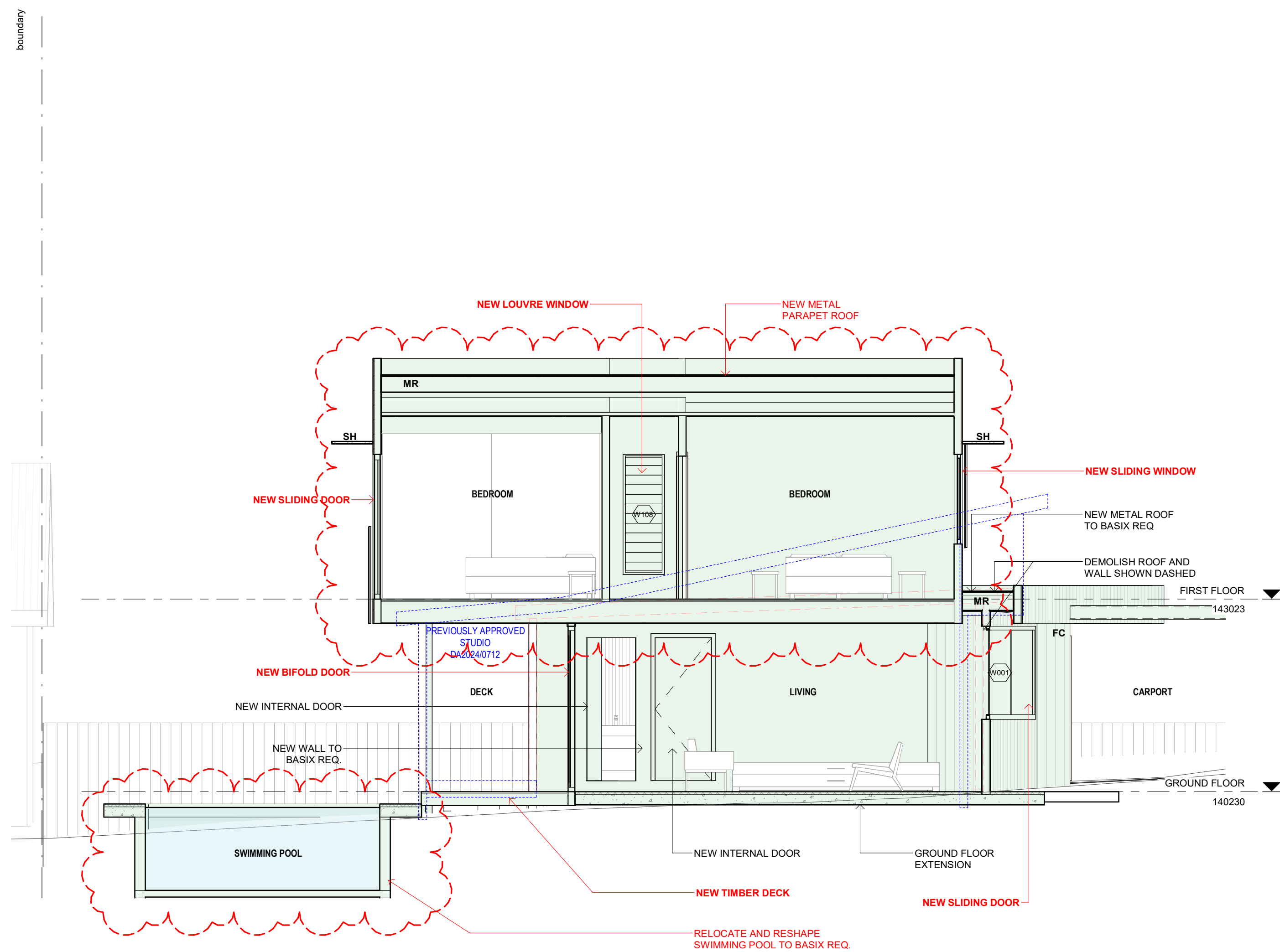
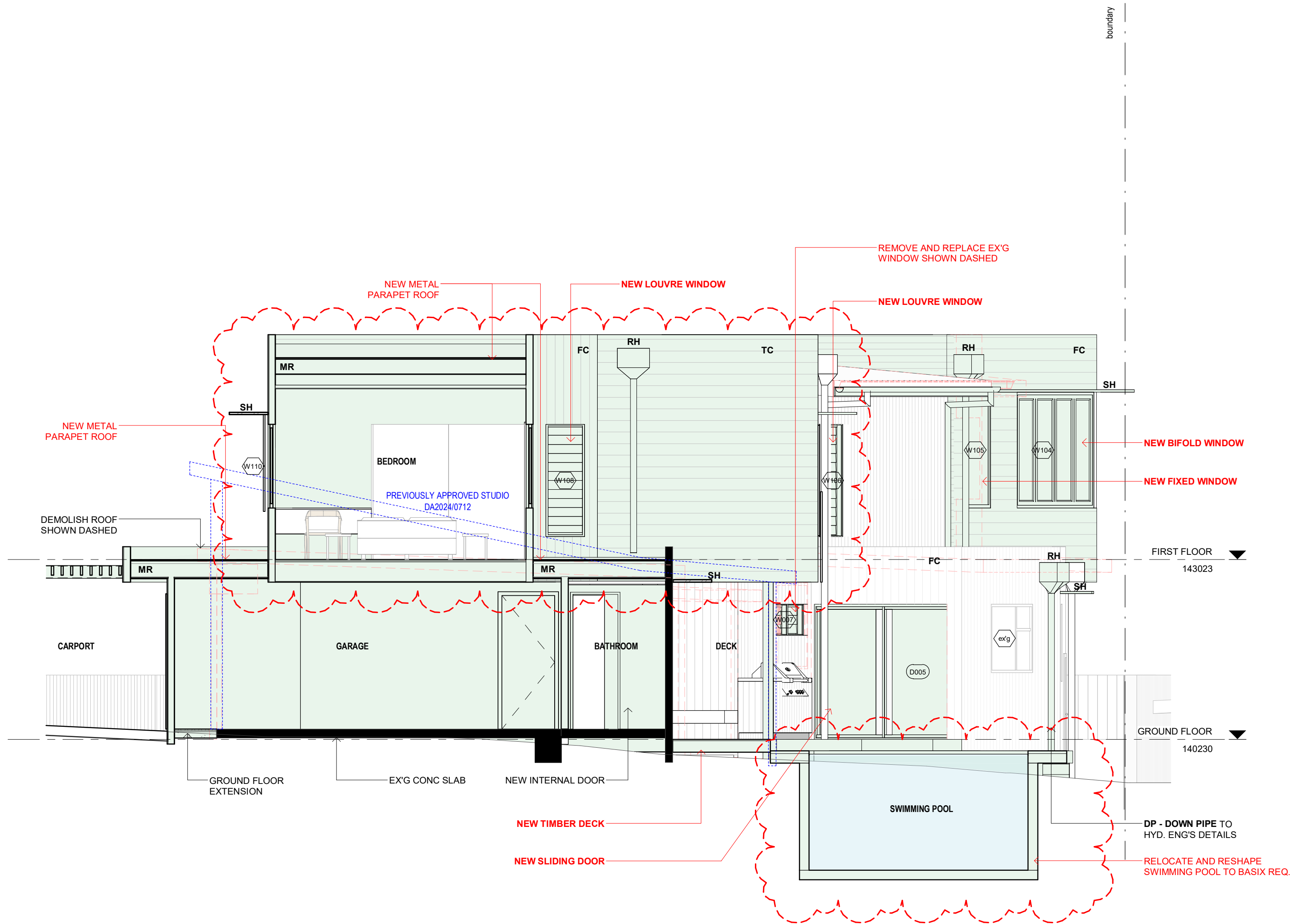


2 Section 2
1:50

3 Section 3
1:50

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BBC	BOARD & BATTENS	FT#	FLOOR TILE TYPE
BG	BOX GUTTER	GD	GRADED DRAIN
BWR	BOX GUTTER	GO	IN ACCORDANCE WITH
C1	CONCRETE BLOCK	INS#	INSULATION TYPE
CB	CONCRETE	J#	JONERY UNIT - REFER
CL	CLEAR GLASS	MS	METAL SCREEN
CONC	CONCRETE	MC	METAL ROOF
OPT	CHAPLET TYPE	MS	METAL SCREEN
COS	CEMENT RENDER	NGL	NATURAL GROUND LEVEL
CR	CHECK ON SITE	OS	OBSCURE GLASS
CS	CEMENT RENDER	QH	OVERHANG
CTB	CEILING TYPE	OF	OVERFLOW SHUTTER
DP	DOWNPIPE	PS	PRIVACY SCREEN
EG	EAVES GUTTER	PV	PAVER
EXG	EXISTING	RH	RAINHEAD
FG	FIBER CEMENT	RW	RETAINING WALL
		RWT	RAIN WATER TANK
		SC	STEEL COLUMN
		SH	STEEL SHED
		SK	SKIRTING TYPE
		S#	SKIRTING TYPE
		SSL	STRUCTURAL SLAB LEVEL
		STP#	STONE PAVING TYPE
		TS	TIMBER BATTENS
		TBC	TO BE CONFIRM
		TD	TIMBER DECKING BOARDS
		TCW	TO COMPLY WITH
		TF	TIMBER FLOOR
		TOW	TOP OF WALL
		TT#	TIMBER TREAD TYPE
		UP	V-JOIN PANEL
		WB	WEATHERBOARD
		WR	WALK IN ROBE
		WTF	WALL TYPE

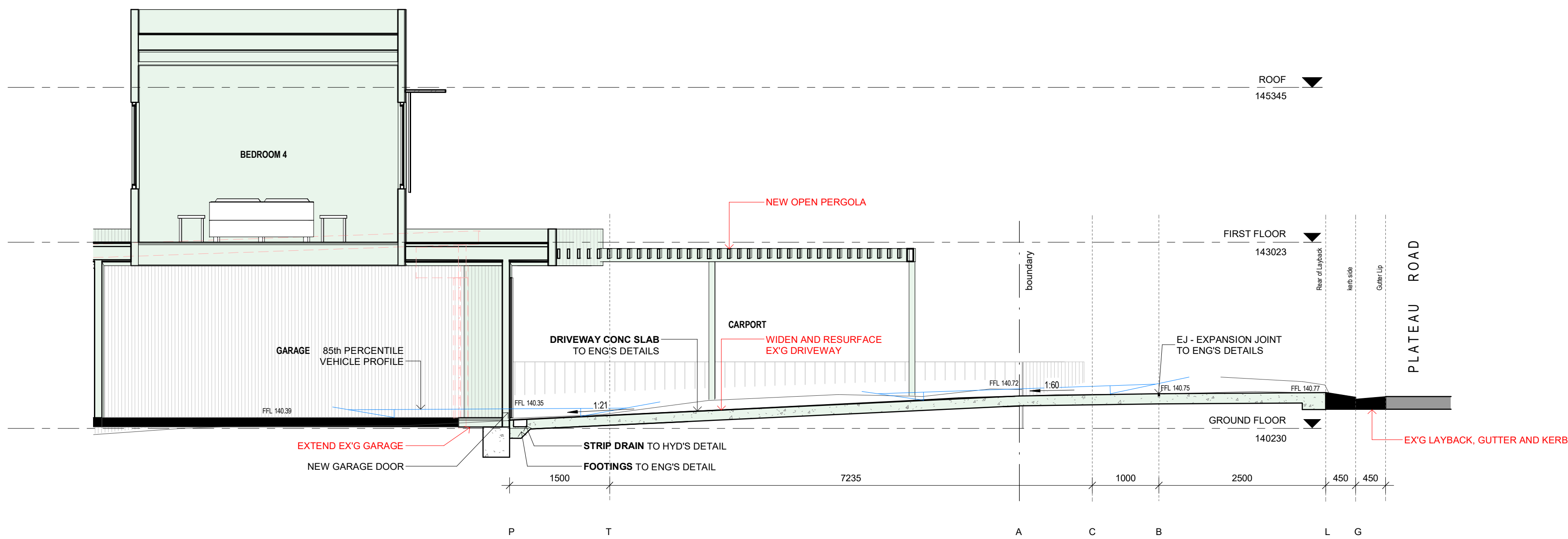


FOR MODIFICATION ONLY

LEGEND:											
AL	ALUMINUM	FG	FINISHED FLOOR LEVEL	RW	RETAINING WALL	DEMOLISH	---				
ACR	ACRYLIC RENDER	FTL	FINISHED FLOOR LEVEL	RWT	RAIN WATER TANK	NEW WORK	---				
ARF	ARCHITRAVE TYPE	FG	FIXED GLASS	SC	STEEL COLUMN	BOUNDARY	---				
B	BALUSTRADE	FF	FIRE PLACE	SH	STEEL SHED	HIDDEN	---				
BBC	BOARD & BATTENS	FTF	FLOOR TILE TYPE	SK	SKYLIGHT	OVERHEAD	---				
BG	BLOCK	GU	GRADED GUTTER	SSL	STRUCTURAL SLAB LEVEL	RE-CLAD	---				
BWR	BOX GUTTER	INS	INSULATION TYPE	STP	STONE PAVING TYPE						
C1	CONCRETE BLOCK	JF	JOINERY UNIT - REFER	TS	TIMBER BATTENS						
CB	CLEAR GLASS	JNS	JOINERY SCHEDULE	TBC	TO BE CONFIRM						
CC	CEMENT RENDER	MC	METAL CLADDING	TC	TIMBER CLADDING						
CC	CEMENT RENDER	MR	METAL ROOF	TCW	TIMBER DECKING BOARDS						
CC	CEMENT RENDER	MS	METAL SCREEN	TD	TOP OF WALL						
CC	CEMENT RENDER	NOL	NATURAL GROUND LEVEL	TF	TIMBER FLOOR						
CC	CEMENT RENDER	OS	OBSCURE GLASS	TOW	TOP OF WALL						
CC	CEMENT RENDER	OH	OVERHANG	TTW	TIMBER TREAD TYPE						
CC	CEMENT RENDER	OF	OVERFLOW SHUTTER	UP	V-JOIN PANEL						
CC	CEMENT RENDER	PS	PRIVACY SCREEN	WB	WEATHERBOARD						
CC	CEMENT RENDER	PV	PAVER	WR	WALK IN ROBE						
CC	CEMENT RENDER	RH	RAINHEAD	WT	WALL TYPE						

4 Section 4
1 : 50

5 Section 5
1 : 50



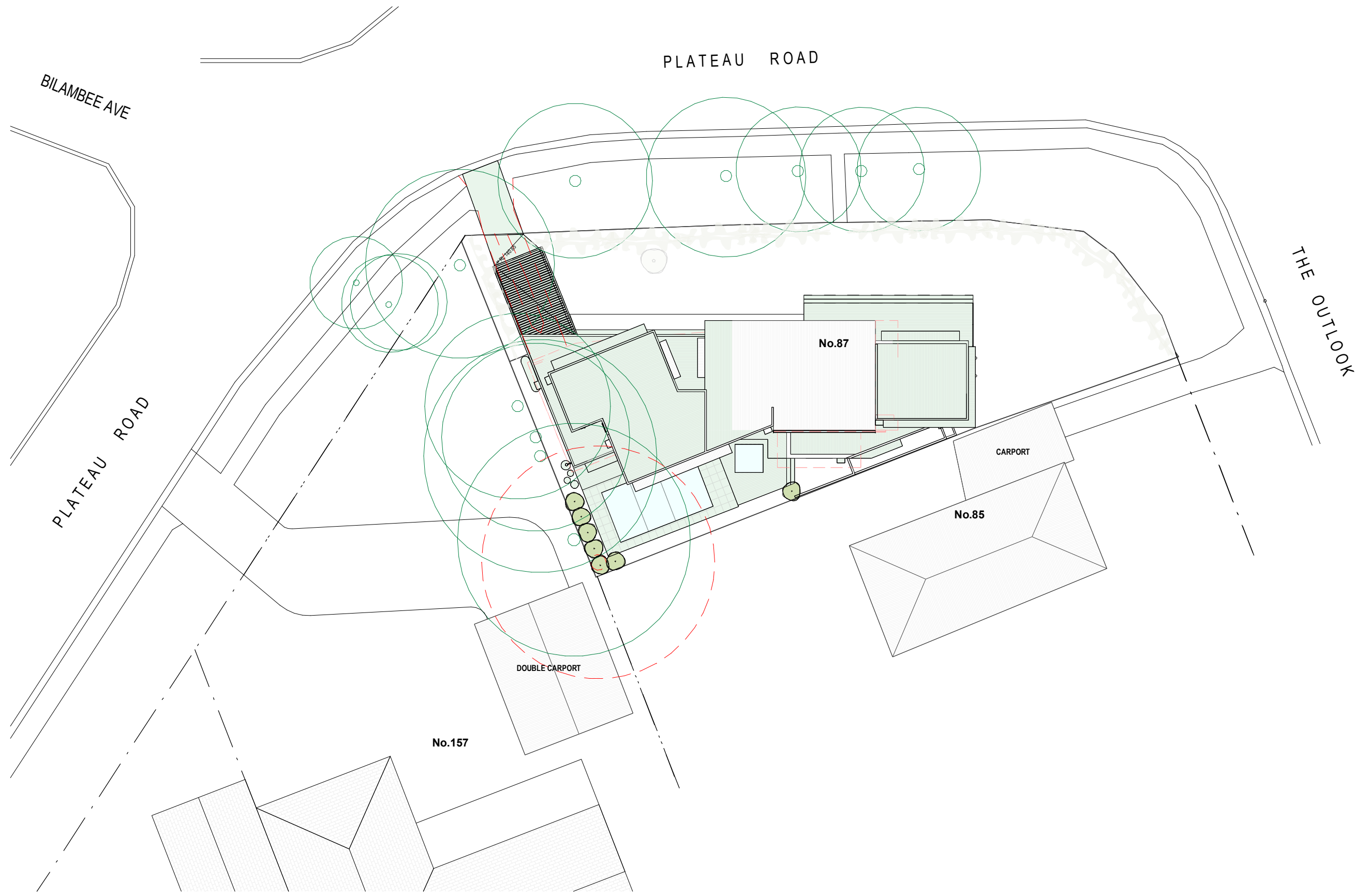
1 Driveway Section
1 : 50

FOR MODIFICATION ONLY

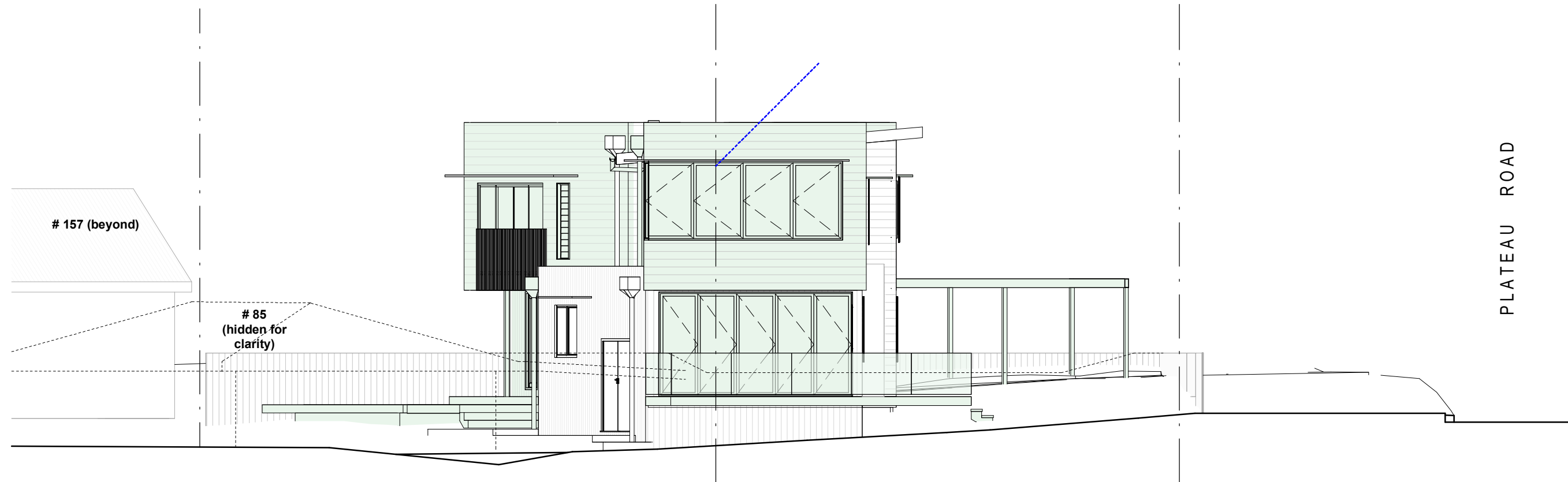
LEGEND:					
AL	ALUMINUM	FG	FINISHED CEILING LEVEL	RW	RETAINING WALL
ACR	ACRYLIC RENDER	FTL	FINISHED FLOOR LEVEL	RWT	RAIN WATER TANK
AR#	ARCHITRAVE TYPE	FG	FIXED GLASS	SC	STEEL COLUMN
B	BALUSTRADE	FF	FIREPLACE	SH	STEEL HOOD
BBC	BOARD & BATTENS	FT#	FLOOR TILE TYPE	SH	SKIRTING TYPE
BG	BLOCK	GU	GRADED DRAIN	SSL	STRUCTURAL SLAB LEVEL
BWR	BOX GUTTER	INS#	INSULATION TYPE	STP#	STONE PAVING TYPE
C1	CONCRETE BLOCK	J#	JOINERY UNIT - REFER	TB	TIMBER BATTENS
CB	CONCRETE	J#	JOINERY SCHEDULE	TBC	TO BE CONFIRM
CL	CLEAR GLASS	J#	METAL CLADDING	TC	TIMBER CLADDING
CONC	CONCRETE	MC	METAL ROOF	TCW	TIMBER DECKING BOARDS
OPT	CONCRETE	MS	METAL SCREEN	TD	TIMBER FLOOR
COS	CEMENT RENDER	NOL	NATURAL GROUND LEVEL	TOW	TOP OF WALL
CR	CEMENT RENDER	OH	OVERHANG	TT#	TIMBER TREAD TYPE
CS	CONCRETE SLAB	OS	OBSCURE GLASS	UP	V-JOINT PANEL
CTB	CEILING TYPE	OF	OVERFLOW SPILLER	WB	WEATHERBOARD
DP	DOWN PIPE	PS	PRIVACY SCREEN	WR	WALK IN ROBE
EG	EXISTING	PV	PAVER	WTF	WALL TYPE
EX'G	EXISTING	RH	RAINHEAD		
FG	FIBER CEMENT				



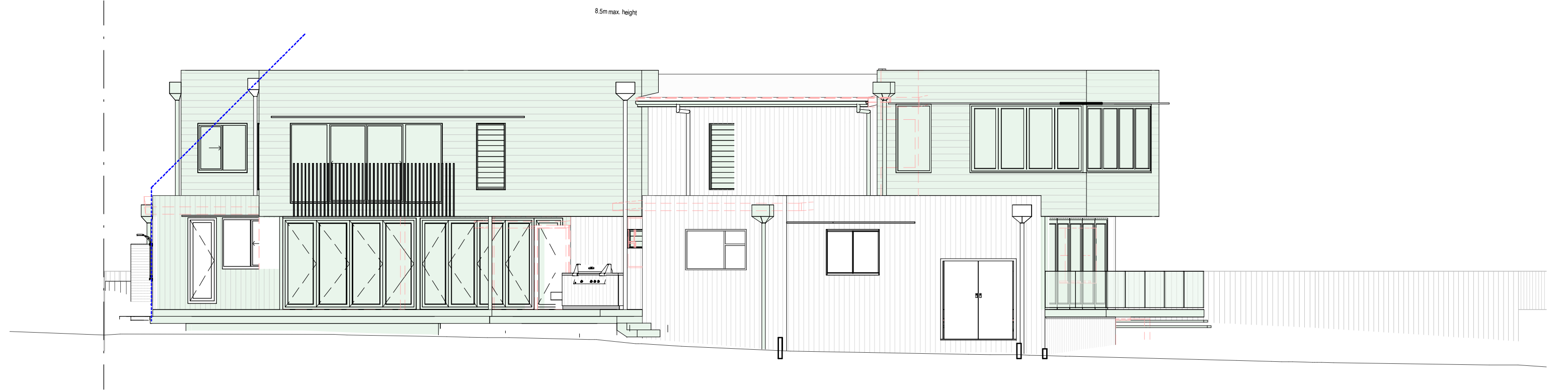
COMPLIANCE & CALCULATION TABLE				
Land Zoning (Pittwater LEP2014)	E4 - Environmental Living			
Height of Building	8.5 m			
Floor Space Ratio	N/A			
Heritage Item or Heritage Conservation Area	No			
Foreshore Building Line	No			
Land Reservation Acquisition	No			
Acid Sulfate Soils	Class 5			
Minimum Lot Size	700 m²			
Terrestrial Biodiversity	Biodiversity			
Site Area	628.7m² (By DP)			
	Existing	Proposed	Required	Compliance
FSR	147.18m²	262.8m²	N/A	Yes
Landscaped Area (DCP)	427.6m² (68%)	323.3m² (51.4%) + 37.7m² (6%) = 361m² (57.4%)	377.2m² (60% total Site)	No - Merit
Private Open Space (DCP - min 80m2 of private open space)	>80m²	total POS= 120m²	80m² (dms>3m)	Yes
Private Open Space - Principal Area (DCP - min 16m2 of Principal Area within POS)	>16 m2	58m2 (decks)	min. 16m²	Yes
Building Height	6.96 m	7.26 m	Max of 8.5m	Yes
Building Envelope:	non-compliance (ex'g house) complies (garage)	non-compliance (ex'g house) complies (garage)	45 deg. from 3.5m height	No / Merit based Yes
Front Building Line (DCP)	6.43m (ex'g house) 4.99m (ex'g deck)	6.43m (ex'g house) 4.85m (deck)	min. 6.5m front setback	Ex'g non-compliance No / Merit based
Side Setbacks (DCP)	0.97m (ex'g garage) 1.18m (ex'g house)	0.96m (garage) 1.18m (ex'g house)	min. 1.0m and 2.5m	Ex'g non-compliance Yes



1 Site Plan
1 : 250



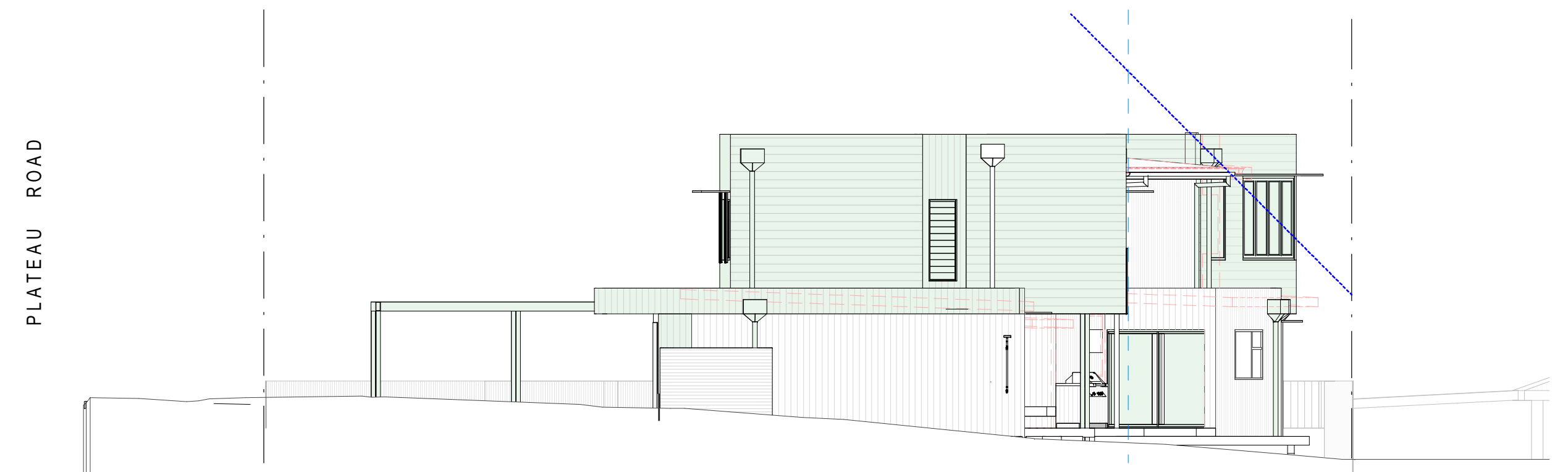
2 East Elevation
1 : 100



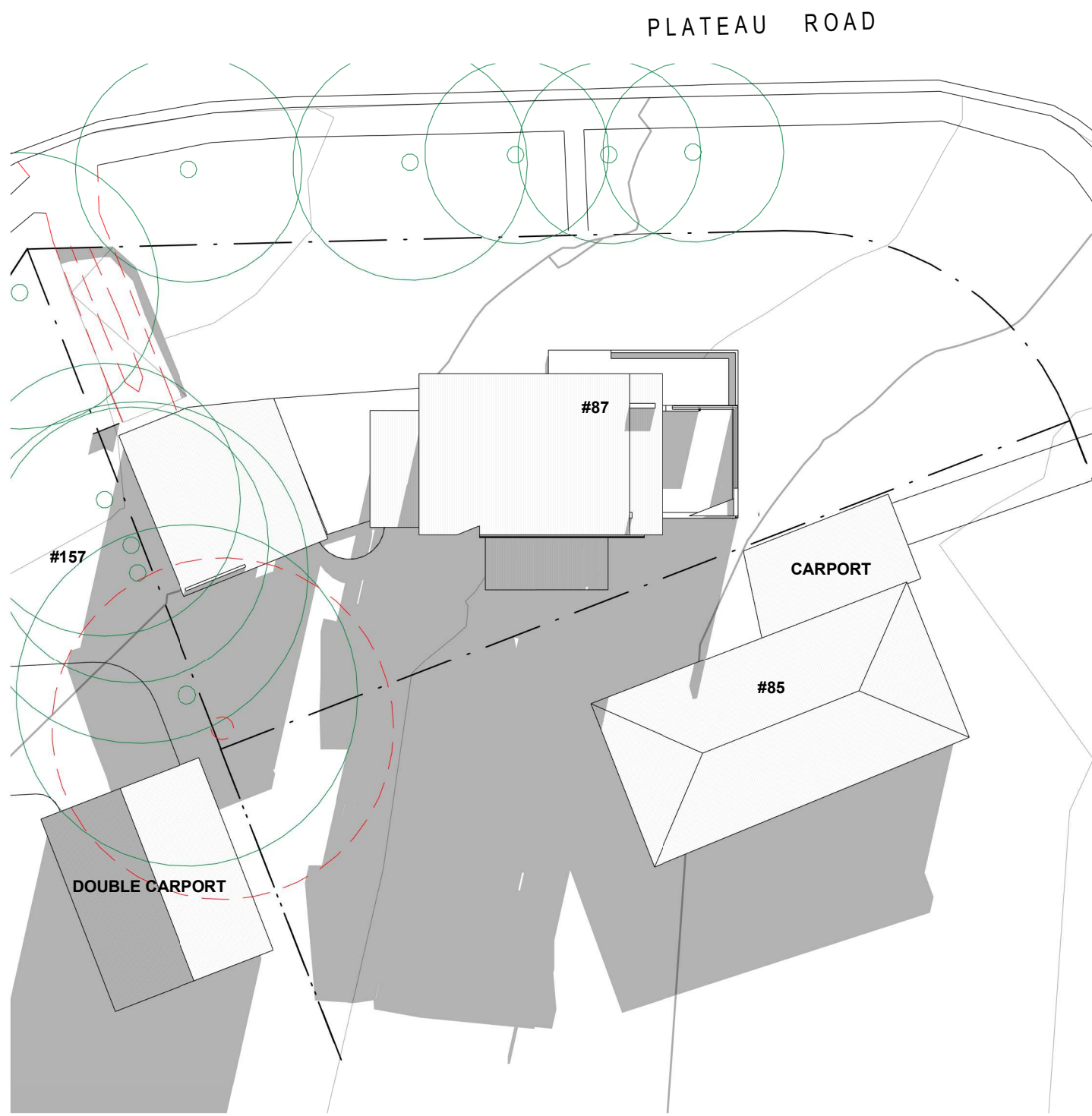
3 South Elevation
1 : 100



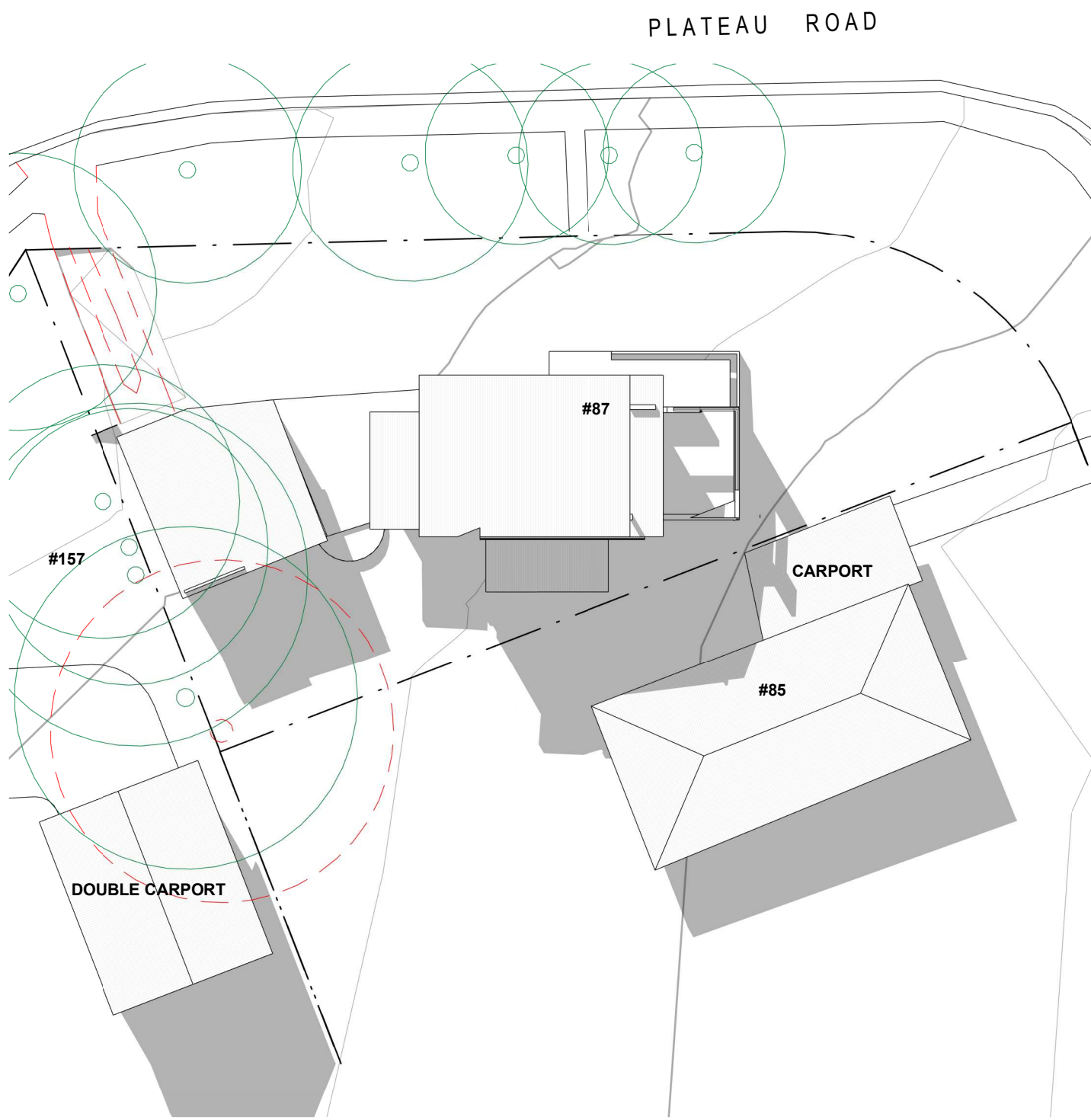
5 North Elevation
1 : 100



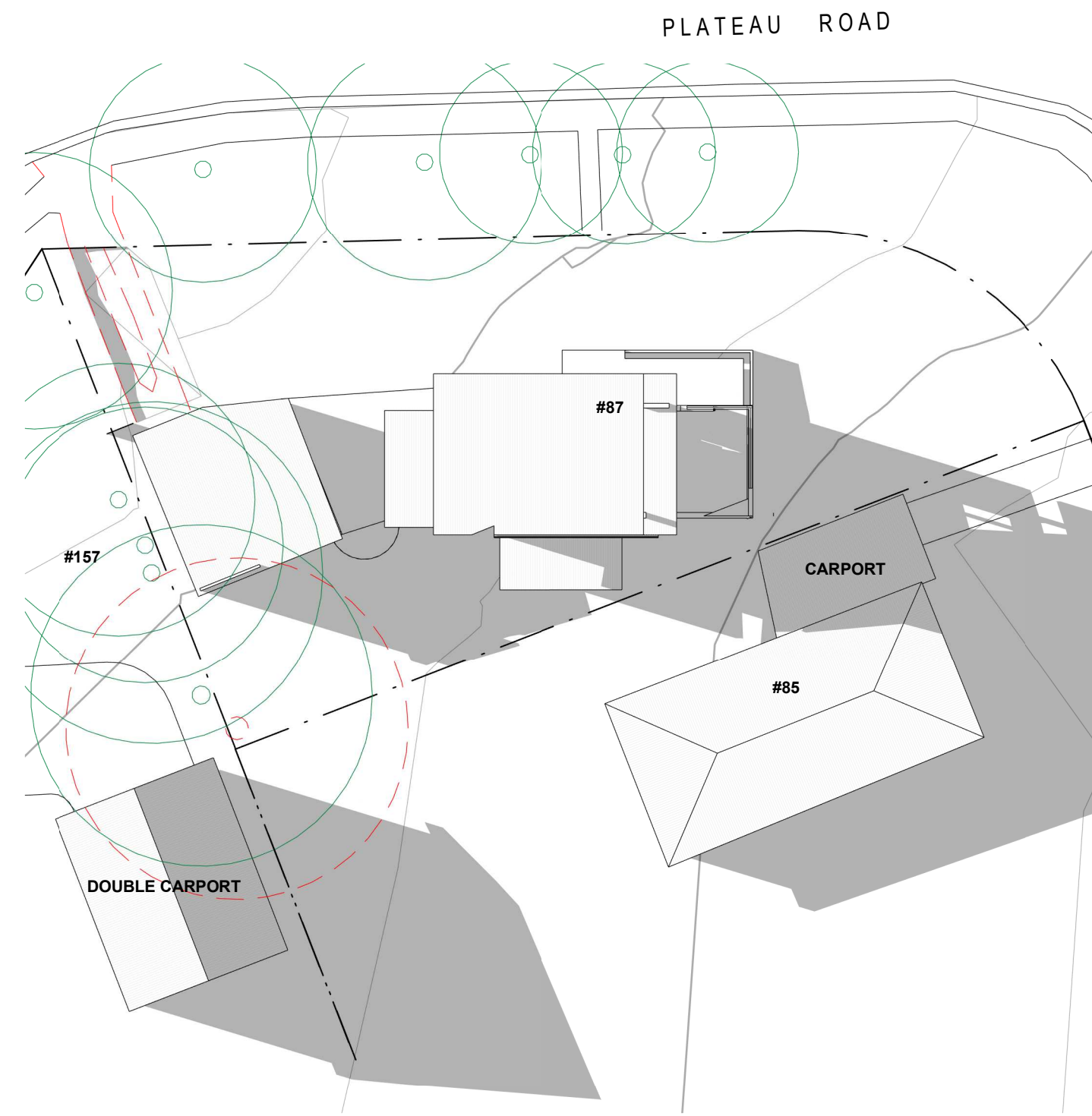
4 West Elevation
1 : 100



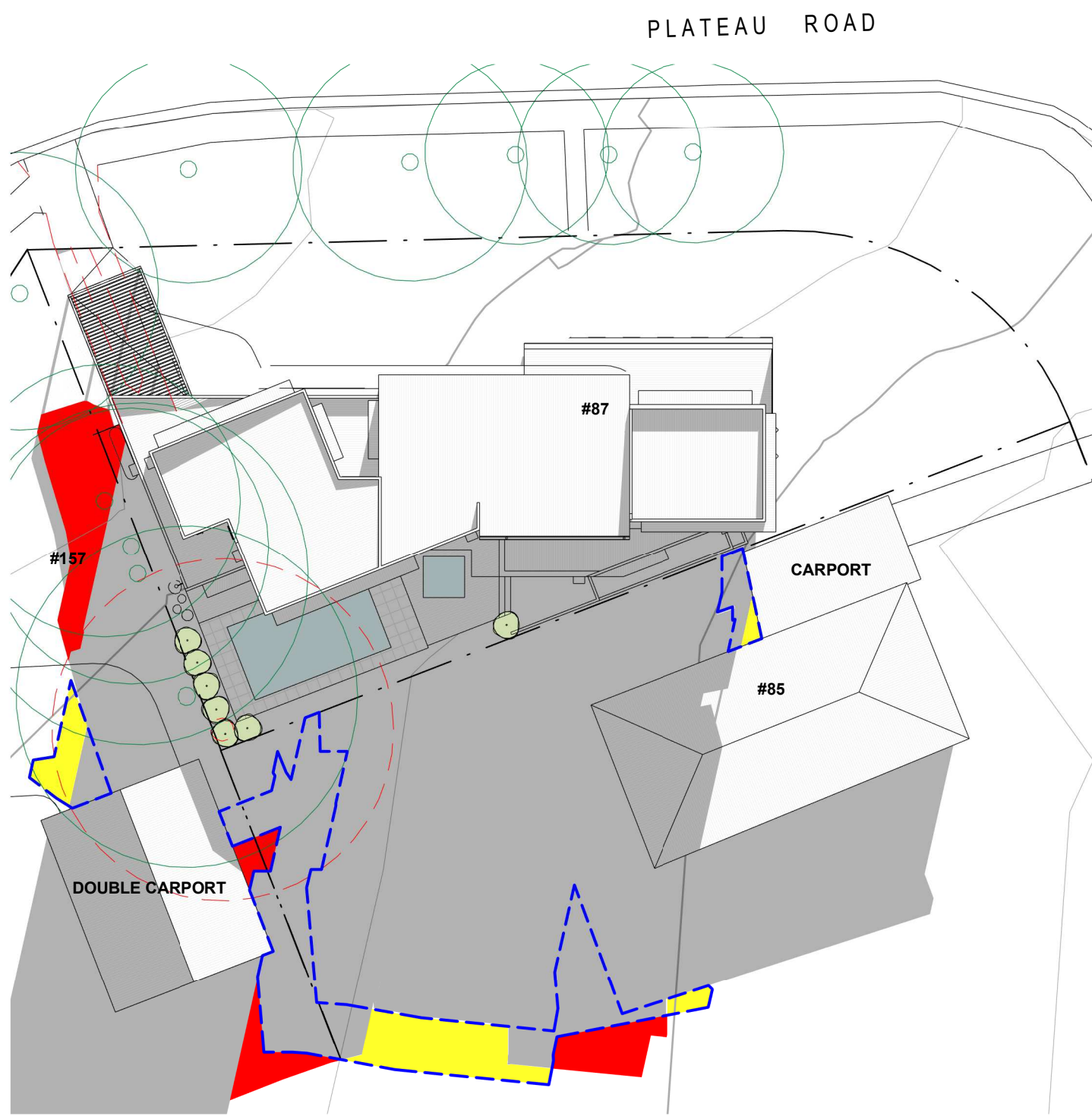
1 SHADOWS - EXISTING - 9 AM
1 : 250



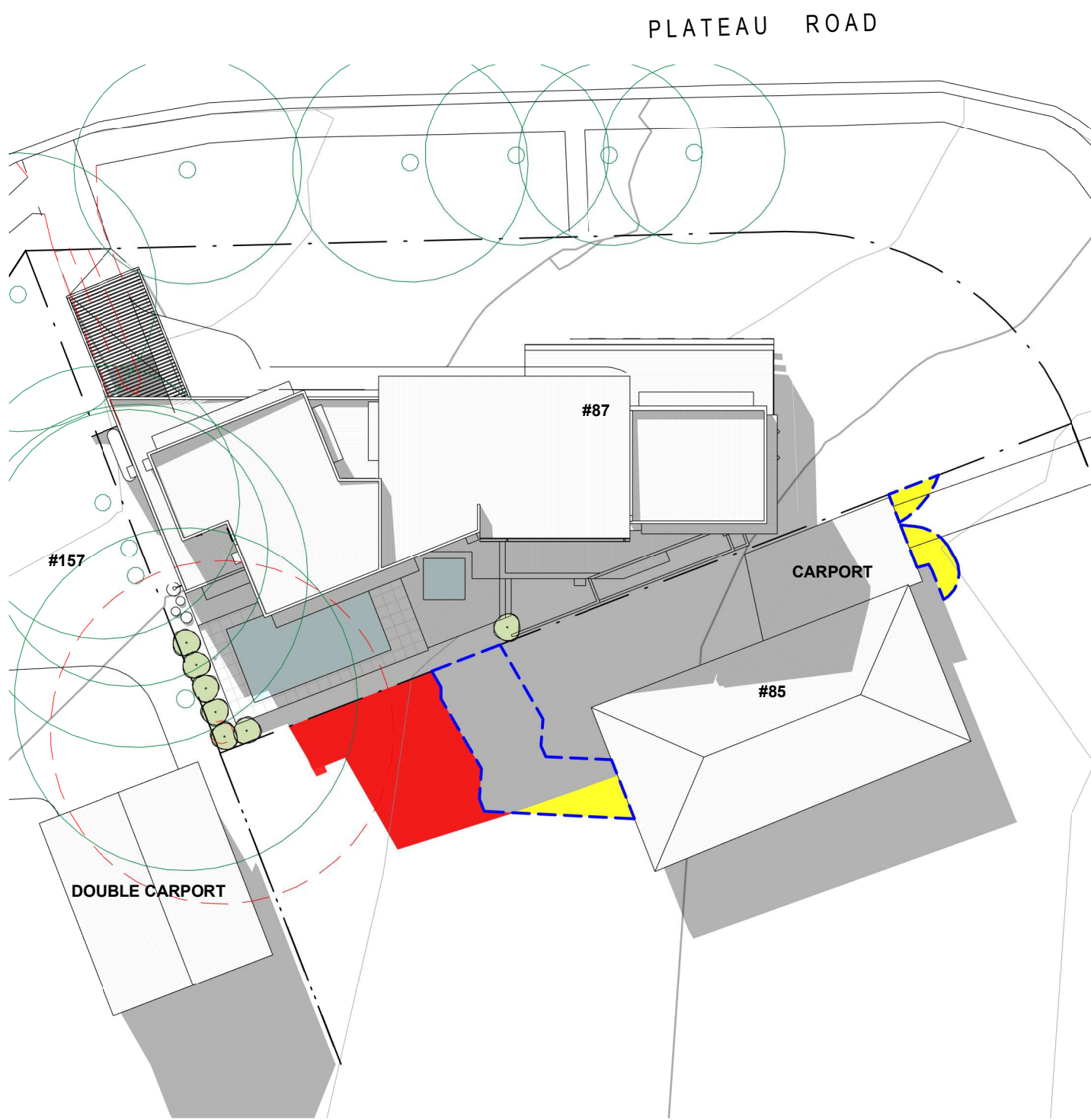
3 SHADOWS - EXISTING - 12 PM
1 : 250



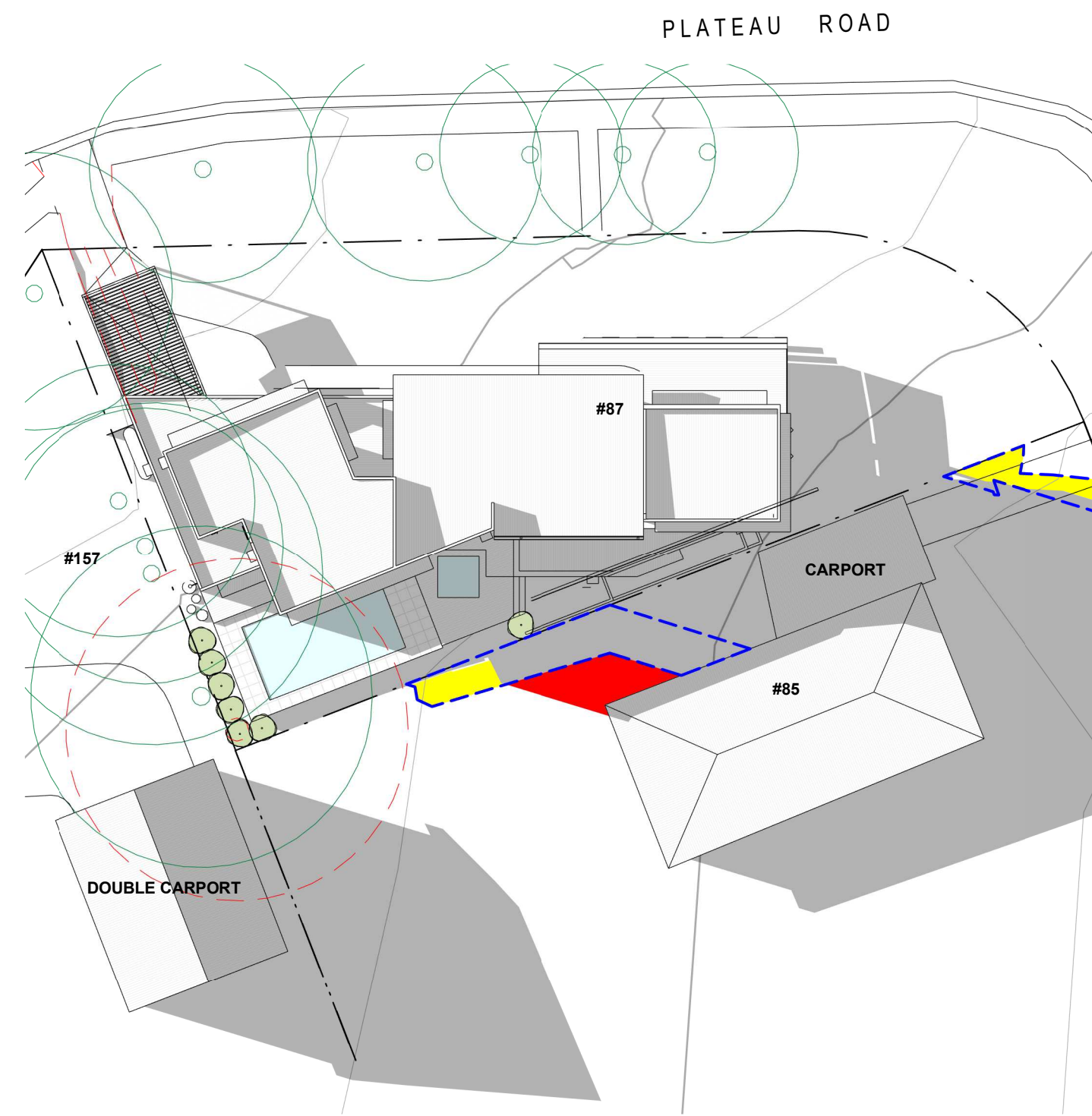
5 SHADOWS - EXISTING - 3 PM
1 : 250



2 SHADOWS - PROPOSED - 9 AM
1 : 250



4 SHADOWS - PROPOSED - 12 PM
1 : 250



6 SHADOWS - PROPOSED - 3 PM
1 : 250

- Previously approved shadows cast on neighbouring properties (DA2024/0712)
- Subtraction of previously approved shadows cast on neighbouring properties
- Addition to previously approved shadows cast on neighbouring properties