

18 March 2004

R/138549

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Attention: Planning Department

Dear Sir/Madam,

**Re: DA N0248/03
88 ELIMATTA ROAD, MONA VALE**

Please find attached a copy of the Construction Certificate, Notification of PCA Appointment and Commencement of Building Work and related documents for the abovementioned development that has been granted by the Principal Certifying Authority, Mr Lyall Dix, Accreditation No 302551.

The Construction Certificate relates to the erection of a dwelling and swimming pool at the above address.

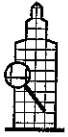
If you have any queries regarding the above please do not hesitate to contact the undersigned on 02 9279 3657 during business hours.

Yours faithfully,



Lyall Dix
Director

C/-
Baker Kavanagh Architects Fax 02 9318 9222



DixGardner

PTY. LTD.

Building Certifiers
Strata Plan Certifiers
Building Regulations
Consultants
Fire Safety Consultants

CONSTRUCTION CERTIFICATE

issued under the Environmental Planning and
Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No 71/04

APPLICATION

applicant

name **Baker Kavanagh Architects**
address **5 Queen St Chippendale NSW 2008**
contact no (telephone/fax) **02 4934 6711/ 02 4934 6722**

owner

name **Andrew and Catherine Nicholl**
address **16, Alley 18, Lane 25, Doug Shan Road, Shirlin, Taipei, Taiwan**
contact no (telephone/fax) **00 11 886 2 28 77 11 72**

subject land

address **88 Elimatta Road**
Mona Vale
lot no, DP/MPS, etc vol/fol **Lot 1 DP 334723**
area of site (m²) **764.7**

description of development

type of work

☒ building work

☐ subdivision work

description

Erection of a new dwelling and swimming pool

development consent

development consent no **N0248/03**
date of determination **17 October 2003**

**Building Code of
Australia building
classification**

nominated on the development Class 1a & 10b
consent

builder

name
address (if known) **To be advised**

value of work

building/subdivision **\$750,000**

date of receipt

date received (to be completed by certifying authority) **4 March 2004**

DETERMINATION

Determination

date of determination (this date is to be the same as the date of endorsement of the certificate on the approved plans and specifications) **18 March 2004**

**plans and specifications
approved**

list plan no(s) and specifications
reference

**Baker Kavanagh Architects, Job No. 02114, Dwgs CC – 00d, 01d, 02e, 03g,
04e, 05d, 06c, 07c, 08d, 09e & 10c.
United Consulting Eng. Job 03MB938 Dwgs D01 & D02, Issue C
Partridge Partners, Job No. 2003.0261, Dwgs S1/C to S6/C
Angus Watts Landscapes Dwg dated December 11 2003**

right of appeal

under s 109K where the certifying authority is a council an applicant may appeal to the Land and Environment Court against the refusal to issue a construction certificate within 12 months from the date of the decision.

CERTIFICATE

certificate

I certify that the work if completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of Regulation 147 as are referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979.

Signature



date of endorsement
certificate no

18 March 03
71/04

* prior to commencement of work S 81A (2) (b) and (c), and/or 81A (4) (b) and (c) of the Environmental Planning and Assessment Act 1979 must be satisfied.

certifying authority

name of certifying authority
if accredited certifier
accreditation no
accreditation body
grade of accreditation
contact no
address

Lyall Ernest Dix
302551
Institution of Engineers, Australia
Unrestricted
02 9279 3657 Fax 02 9279 3686
C/- Dix Gardner Pty Ltd
Level 11, 66 King St SYDNEY NSW 2000

- For the purposes of notifying a council under clause 142 (2) of the Regulation of the determination of an application an accredited certifier must forward all sections of this form, including all attachments to the relevant council where they have not been previously forwarded to the council.

Pittwater Council

ABN: 61340837871

TAX INVOICE

OFFICIAL RECEIPT

23/03/2004 Receipt No 138549

To DIX GARDENER PTY LTD

LEVEL 11, 88 KING ST
SYDNEY
NSW 2000

Qty/ Appl:	Reference	Amount
---------------	-----------	--------

1	RMID-Rend	\$27.27
GL Rec 1 X		

PVTE.CERT.DA.N0248/03

GL Rec	BBT	\$2.73
--------	-----	--------

To GL Receipt:

Total Amount:	\$30.00
Includes BBT of:	\$2.73

Amounts Tendered

Cheque	\$30.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 23/03/2004 9:45:33 AM

Cashier BKilroy

Heather Singleton

From: angus [angus@bka.com.au]
Sent: Thursday, 4 March 2004 10:25 AM
To: hs@dixgardner.com.au
Subject: Client letter for 88 Elimatta Rd, Mona Vale

Hi Heather,

Please find attached letter from our client for the above mentioned job, it would be great if you could pass it onto Lyall, as it is the final outstanding bit of documentation required for CC approval.

Kind regards,

Angus Mac Kenzie
Baker Kavanagh Architects

L1, 5 Queen Street
Chippendale NSW 2008

T 02 9318 9200
F 02 9318 9222

E angus@bka.com.au
W www.bka.com.au

*** E-mail Disclaimer ***

The information contained in this e-mail is confidential and is intended solely for the addressee. If you are not the intended recipient, notify the sender and delete this e-mail. Any unauthorised use, disclosure, copying, printing, forwarding or dissemination of any part of this information is prohibited. Baker Kavanagh Architects does not accept responsibility for the content of any e-mail transmitted by its staff for any reason other than bona fide business purposes. Any information that is not transmitted via secure, tamper-proof technology should not be relied upon.

*** End of Disclaimer ***

Andrew & Catherine Nicholl,
16, Alley 81, Lane 25, Dong Shan Road,
Shirlin, Taipei, Taiwan

20th January, 2004

ATTENTION: Lyall Dix
Re: Construction Certificate for 88 Elimatta Rd Mona Vale (DAN0248/03)

Dear Lyall,

This is just to confirm that no building work will commence on the above project without the builders home warranty insurance. We will provide you with details of this prior to starting any construction.

If there are any problems or questions with this please do not hesitate to contact us on

Ph: 0011 886 2 28 77 11 72 (home)

Ph: 0011 886 2 27 17 21 68 (office)

e-mail: cathnicholl@msn.com (home)

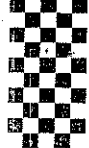
e-mail: andrew.nicholl@sanofi-synthelabo.com (office)

Thanks for your understanding

Yours Sincerely

Andrew Nicholl

Catherine Nicholl



Facsimile

Baker Kavanagh Architects

TO DIX GARDNER PTY LTD,
 ATTENTION LYAN DIX
 FAX NO 9279 3686
 PROJECT 88 ELIMATTA RD, MONA VALE
 PROJECT NO 02114
 DATE 18.02.04
 TOTAL PAGES 3
 FROM ANGUS MACKENZIE

MESSAGE

HI -YAN,
 HAVE ATTACHED THE RECEIPT FOR PAYMENT TO COUNCIL
 OF THE LONG TERM SERVICE LEVY. I COURIERED THE
 STRUCTURAL DWG'S TO YOUR OFFICE ON FRIDAY.
 - LOOK FORWARD TO HEAR FROM YOU WITH REGARDS
 TO THIS PROJECT.

USO!:-

31 GLENAYR AVE, PLEASE FIND ATTACHED A
 SIGNED FORM 7 AS ACCEPTANCE OF YOUR
 REVISED FEE PROPOSAL FOR THIS PROPERTY.
 WOULD YOU BE ABLE TO SEND ME A 'SHOPPING LIST'
 & REQUIRED DOCUMENTS + DWGS. WE ARE AIMING TO
 SUBMIT LATE NEXT WEEK.

IND REGARDS,

AM Mackenzie

SYDNEY
 5 Queen Street
 Chippendale 2008
 T 02 9318 9200
 F 02 9318 9222
 E bka@bka.com.au

HUNTER
 Rear, 9 Bourke Street
 Maitland 2320
 T 02 4934 6711
 F 02 4934 6722
 E hunter@bka.com.au

From:

18/02/2004 15:52 #299 P.002/003

18/02 2004 16:01 FAX 61 2 99707296

PITTIWATER COUNCIL

001

AM
**ANGUS
MACKENZIE**

**for 9222
9318**

Pittwater Council

OFFICIAL RECEIPT

27/01/2004 Receipt No 134370

To AJ & CE NICHOLL

ANGUS MACKENZIE
BAKER KAVANAGH ARCHITECTS
LEVEL 1, 3 QUEEN ST

Applie Reference	Amount
CL Re BUS-BULL	\$970.00
FUR DAWNOZABIGS	

Total: \$970.00

Amounts Tendered

Cash	\$0.00
Cheque	\$970.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$970.00
Rounding	\$0.00
Change	\$0.00
Nett	\$970.00

Printed 27/01/2004 12:54:22

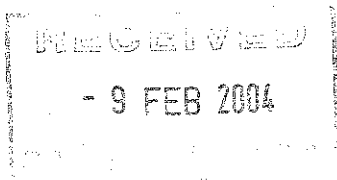
Cashier SKilro

Architecture

Urban design

Eco design

Interior design



Baker Kavanagh Architects



Dix Gardner
Level 11
66 King St
Sydney, NSW, 2000

06.02.04

Proposed new dwelling at 88 Elimatta Rd, Mona Vale DA N0248/03

Certificate of Design - Architectural

Dear Lyall,

As the architects for the above mentioned proposed dwelling we can state that the submitted architectural drawings are not inconsistent with the development consent.

In particular as per Pittwater council condition B10:

1) The pool boundary wall, is to have a straight edge unlike the natural slope of the land. It is for this reason that the average overall height of the pool wall will be 1800mm from natural ground level. All boundary fences will not exceed 1800mm above natural ground level.

2) The entire development has been reduced by 400mm.

3) The balcony off Bed 1 has been reduced to be within a maximum depth of 2.4 m. It has also been proposed to erect a fixed timber batten privacy screen along the south eastern side of this balcony, with the intention of affording privacy to the neighbours and our client.

I am an appropriately qualified architect and can certify the following architectural drawings (to be read in conjunction with all the other relevant consultant information)

CC00d, CC01d, CC02e, CC03g, CC04e, CC05d, CC06c, CC07c, CC08d, CC09e,
CC10c.

Yours faithfully,

John Kavanagh

Director

Baker Kavanagh Architects

SYDNEY

5 Queen Street
Chippendale 2008
T 02 9318 9200
F 02 9318 9222
E bka@bka.com.au

HUNTER

Rear 9, Bourke Street
Maitland 2320
T. 02 4934 6711
F. 02 4934 6722
E hunter@bka.com.au

ABN 88 081 700 352

19th January 2004

Level 4, 1 Chandos Street
St Leonards
NSW 2065 Australia
email partridge@partridge.com.au
web www.partridge.com.au
Facsimile 02 9460 9090
Telephone 02 9460 9000



Partridge Partners

Engineering Consultants

Structural
Civil
Facade
Ecological
Forensic

Mr Lyall Dix
Principal Certifying Authority
Dix Gardner Pty Ltd
Level 11, 56 King Street
SYDNEY NSW 2000

Dear Sir,

RE:

**NEW RESIDENCE
CERTIFICATE OF DESIGN – STRUCTURAL**

SUBJECT PREMISES

88 Elimatta Road, Mona Vale

DEVELOPMENT APPLICATION DA N0248/03

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, I hereby certify that the above design is in accordance with normal engineering practice and meets the structural engineering requirements of the Building Code of Australia and relevant Australian Standards in particular the following: -

AS3600, AS4100, AS1684, AS1720, AS1170.1, 2 and 4 and AS2783.

I am an appropriately qualified and competent person in this area and as such can certify that the design and performance of the design systems comply with the above and are detailed on the following structural drawings.

2003/0261 – S1, S2, S3, S4, S5 and S5 all Revision B.

I possess indemnity insurance to the satisfaction of the building owner or my principal.

Full Name of Designer:

Eamon Madden

Qualifications:

BE MSc(Struct)

MIE Aus

Address of Designer:

1 Chandos Street, St. Leonards NSW 2065

Business Telephone No:

02 9460 9000

Facsimile:

02 0460 9090

Name of Employer:

Partridge Partners Pty Ltd

Signature:

Yours faithfully,

Eamon Madden

BE MSc(Struct)

Director

J2003-0261.001-emg



Association of
Consulting Engineers Australia
Partridge Partners Pty Ltd
ACN 002 451 925
ABN 73 002 451 925

UNITED CONSULTING ENGINEERS PTY LTD

A.C.N. 090 572 973

Suite 43, 411-421 King Georges Road

BEVERLY HILLS 2209

PH: 9570 9111

FAX 9570 9122

united_eng@bigpond.com

REF: 02MB938.SWC1

January 15, 2004

STORMWATER DESIGN CERTIFICATION

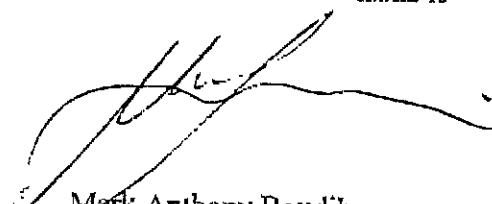
PROJECT: PROPOSED DWELLING
LOCATION: 88 ELLIMATTA RD, MONA VALE
ELEMENTS: STORMWATER DESIGN

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements of the Building Code of Australia, Environmental Planning and Assessment Regulation, relevant Australian Standards and relevant conditions of Consent.

I am an appropriately qualified and competent person in this area being listed in the National Professional Engineering Register (NPER) and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings:

Stormwater Drainage Plans

03MB938/D01 Issue B
03MB938/D02 Issue B



Mark Anthony Boudib
MIEAust, CPEng, NPER
Member No. 558928
Director

ANGUS WATT

Horticulturist ♦ Landscaper ♦ Garden Writer

Mr Lyall Dix
Principal Certifying Authority
Dix Gardner Pty Ltd
Level 11, 66 King Street
SYDNEY NSW 2000

Dear Sir,

Re: Landscape Plan
88 Ellimatta Road
Mona Vale NSW 2103

DA N0248/03

I hereby certify that the landscape working drawings for Construction Certificate stage are in accordance with the conditions B45, B45a and B46 of the DA Consent and all of Pittwater Council's Development Control Plan No. 23 – Landscape and Vegetation Management – for the proposed new residence at 88 Ellimatta Road, Mona Vale.

I am an appropriately qualified and competent person in this area and as such can certify that the design complies with the above and which is detailed in the drawing CC 01 LANDSCAPE PLAN

I possess indemnity insurance to the satisfaction of the building owner and Baker Kavanagh Architects.

Angus Watt
Horticulturist and Landscaper
8 Iluka Avenue, Manly, NSW 2095
Mob: 0403 182 561 Ph/Fax: 9976 5214

Yours faithfully,

8 Iluka Avenue Manly NSW 2095 Telephone/Facsimile (02) 9976 5214 Mobile 0403 182 561
ABN 87 504 285 771 Lic No. 112149C

ANGUS WATT

Horticulturist ♦ Landscaper ♦ Garden Writer

Angus Watt

8 Iluka Avenue Manly NSW 2095 Telephone/Facsimile (02) 9976 5214 Mobile 0403 182 561
ABN 87 504 285 771 Lic No. 112149C



PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 9-Sep-03
Receipt No:
Amount: \$132.00

Name: John Kavanagh - Baker Kavanagh Architects
Postal Address: Level 1,
5 Queen Street
Chippendale 2008

COUNCIL CROSSING PROFILE AT 88 Elimatta Road Mona Vale

The future vehicular access profile will be as per the enclosed plan **EH**.

WORK REQUIRED:

Construct: Vehicular access slab 6.0m long x 3.0m wide at gutter crossing to 3.0m wide at the boundary.

Type of Construction: Domestic

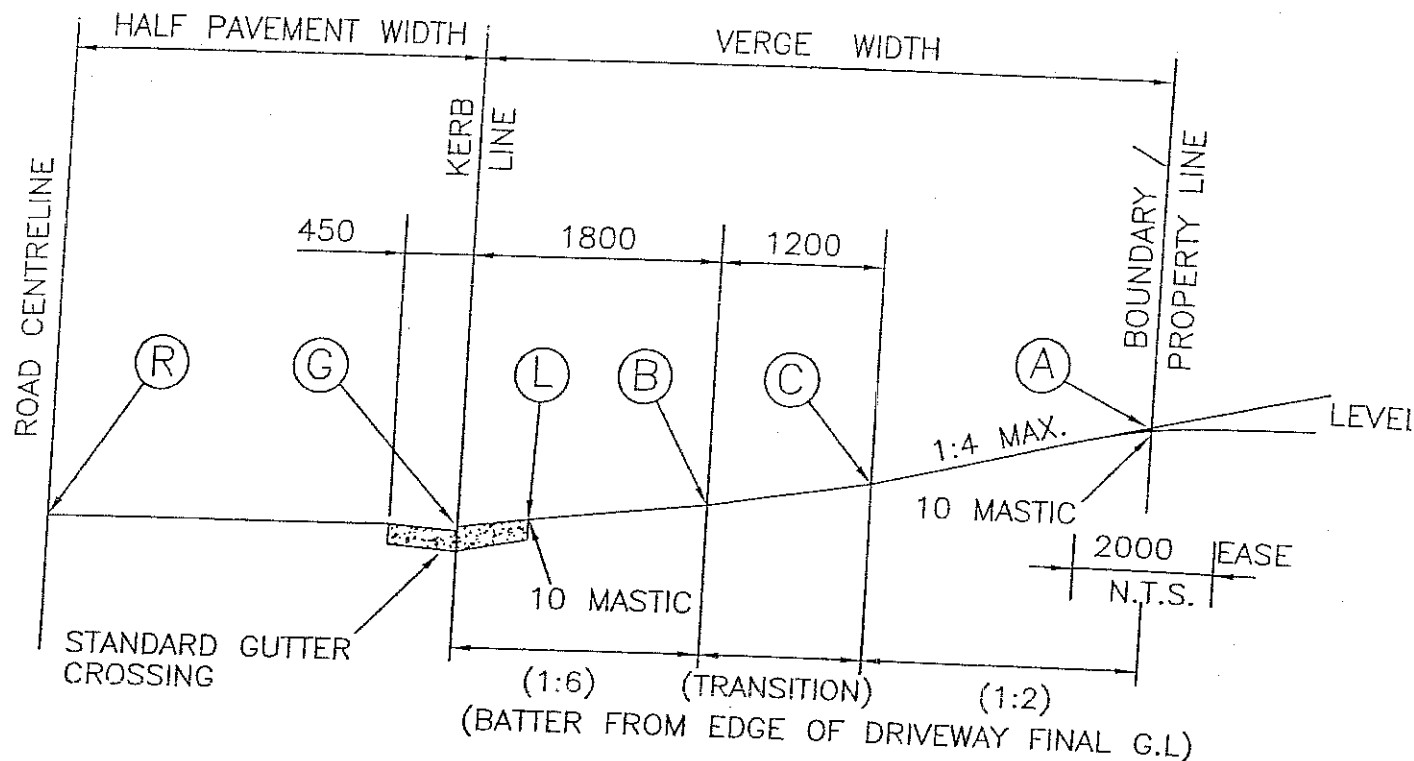
VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER

EXTRA HIGH (EH)



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	
B	1800 FROM KERB LINE	MAX 100 ABOVE "G"
C	3000 FROM KERB LINE	200 ABOVE "G"
A	BOUNDARY	410 ABOVE "G"
		EASE REQUIRED AT GRADE CHANGE

- All construction within the road reserve to be in plain uncoloured 20MPa concrete unless otherwise approved by Council.
- Single dwellings – 20MPa concrete 130mm thick.
Dual occupancies where the crossing services both dwellings – 20MPa concrete base 150mm thick with F72 reinforcement.
Subdivisions servicing up to 10 lots – 20MPa concrete 150mm thick with F72 reinforcement.
Industrial or commercial – 20MPa concrete 180mm thick with F72 reinforcement.
- The Vehicular crossing and the driveway to 1800 behind the kerblines is to be graded parallel with the road centre line grading.
- At least 24 hours notice of intention to place concrete within the road reserve shall be given to the Council and no concrete shall be placed until the formwork has been approved.
- Where the drive within the property drains towards the road, a grated drain shall be constructed across the entrance within the property and piped to the street gutter. The width of drain and size of pipe will be determined by Council.
- Driveway pavers to be laid on a 100mm concrete base.



PITTWATER COUNCIL

Standard Domestic Driveway Profiles

Extra High

PLAN No.

EH

SHEET No. No. of SHEETS



Pittwater Council

List of Council Approved Contractors - July 2003 Vehicle Footpath Crossings & Associated Works

- The following contractors are authorised to carry out the above construction within the road reserve in the Pittwater Council area. No other persons are permitted to carry out excavation or any other part of this work.
- Please note that the contractors are specifically recommended as vehicle footpath crossing contractors only and in some instances the contractors may not hold a Builder's Licence or a Restricted Builder's Licence.

Action Concreting & Const. Pty Ltd	P.O. Box 521 Collaroy 2097	9982 2135	0414 355 772
Adaptive Constructions Pty Ltd	2 Wollstonecraft Avenue Avaion 2107	9918 5211	0411 520 663
A.K. Concrete Solutions Pty Ltd	164 Madagascar Drive, Kings Park 2148	9837 8322	0412 392 355
Anton Constructions Pty Ltd	17 Cannons Parade Forestville 2086	9451 1300	0418 236 651
H J Bellamy & Sons	P.O. Box 541 Collaroy 2097	9981 4137	0418 280 904
Barry Bree Concreting	29 Seaview Ave, Newport 2106	9997 8840	0415 183 146
Brook Concrete P/L (Bomanite)	26 Adderton Rd, Telopea 2117	9638 2926	0418 218 671
C-Side Concreting & Pump Hire P/L	43 Wesley Street, Elanora Heights 2101	9913 1653	0404 872 111
S & E Cavalieri Pty Ltd	29 Quinlan Pde, Manly Vale 2093	9948 5442	0412 285 301
Capano Concrete Pty Ltd	40 Rowley Street, Smithfield 2164	9604 8715	0409 838 238
Cecil Park Concreting Pty Ltd	18/22 Elaine Place, Cecil Park 2171		0412 239 550
Cherrybrook Landscaping Pty Ltd	3 Alleyne Avenue, Nth Narrabeen 2101		0419 423 366
Coastline Concrete Pty Ltd	47 Blighs Rd, Cromer 2099	9982 4805	0412 278 507
Rocco Crea Rocco	177 Fisher Road North, Dee Why 2099	9982 8585	0412 237 559
Danscapes Pty Ltd	PO Box 764 Caringbah 1495	9523 3335	0416 107 283
S & M Dimauro Constructions Pty Ltd	193 Caroline Chisholm Dr, Winston Hills 2153	9624 4498	0411 175 199
Florimo John	17 Iluka Ave, Elanora Heights 2099	9913 7440	0415 296 978
G & D Concrete Pty Ltd	18 Hawkesbury Ave, Dee Why 2099	9982 4780	0418 644 887
Frank's Concrete Pty Ltd	P.O. Box 983, Mona Vale 2103	9997 3999	0418 225 871
GAP Forming Pty Ltd	14 Rickard Rd, Narrabeen 2101	9913 1100	0414 860 750
Global Decorative Coatings Pty Ltd	2/7 Turbo Road Kings Park 2148	9676 1386	0402 110 833
Gordon Nicholas Pty Ltd	5 River Street, Birchgrove 2041	9555 8886	0418 865 973
N & P Harvey	13 Koorangi Ave, Elanora 2099	9913 9523	0404 475 731
Ingleside Landscaping Pty Ltd	145 Wirreanda Road, Ingleside 2101	9450 2404	0408 296 359
Jungle Constructions Pty Ltd	40 Pinehurst Avenue, Rouse Hill 2155	8824 5838	0418 407 477
Kakoda Concrete	32 Aldinga Drive Wamberal 2260	4384 2460	0421 342 177
Kelpie Concrete	20 Spring Road Curl Curl	9905 8398	0418 164 604
L & G Concrete Pty Ltd	8 Dracic Street, Merrylands 2160	9631 2065	0418 971 356
Lendib Constructions Pty Ltd	11 Castle Hill Road, West Pennant Hills 2125	9481 0595	0411 853 080
Maiolo Raffele	1 Batho Road, Harbord 2096	9939 1982	
Masterform Pty Ltd	150 Alfred Street Narrabeena 2099	9971 6309	0409 244 056
Metropolitan West Concrete Services Pty Ltd	84 The Terrace, Windsor 2756	4577 7641	0414 275 804

SPECIFICATION

All building work must be carried out in accordance with the provisions of the Building Code of Australia and comply to DA conditions of Approval.
All Work To Comply To:

Demolition	AS 2187 1994 Explosives - storage, transport and use. AS 2436 1981 Guide to noise control and demolition sites. AS 2601 1991 The demolition of structures.
Water distribution	AS/NZS 1260 PVC Pipes & fittings. AS 1432 Copper tubing for plumbing, gas fitting. AS 3500 National plumbing and drainage code.
Sanitary sewerage	AS 3550 National Plumbing and Drainage code, Part 2, sanitary plumbing and sanitary drainage. AS/NZS 1546.1 1998 On-site domestic wastewater treatment units. AS/NZS 4494 1998 Discharge of commercial and industrial liquid waste to sewer - general performance requirements.
Gas installation	AS/NZS 1260 PVC Pipes & fittings. AS 1432 Copper tubing for plumbing, gas fitting. AS 3500 National plumbing and drainage code.
Unit pavers	AS 3727 1993 Guide to residential pavements. DMI Clay Segmental Pavements. (Design Manual (02) 9636 2900) T44 Concrete segmental pavements. T45 Design guide for residential access ways & roads. T46 Detailing guide Tel: 1300 654 646 (Standards Australian Sales)
Masonry	SAA HB64 Guide to concrete construction. AS 1012 Testing concrete. AS 2870 1996 Residential slabs & footings. AS 3600 1994 Concrete structures. AS/NZS 3727 Guide to residential pavements. AS 1304 1991 Welded wire reinforcing fabric for concrete. AS 3610 1995 Formwork for concrete. AS/NZS 2904 Damp - proof course & Flashings. AS 2975 Accessories for masonry construction. AS 3700 Masonry Code(Brick and Block) AS/NZS 2904 Damp - proof course & Flashings. AS 2175 Accessories for masonry construction. AS 3700 Masonry Code. AS/NZS 4455 1997 Masonry units and segmental pavers.
Structural steel	AS 4100 1990 Steel Structures. AS/NZS 1554 Structural Steel Welding. SAA HB48 1993 Steel Structures Design. AS 1650 Hot dipped galv coatings. AS 1536 1988 Cold formed steel structures code. AS 1627 Metal Finishing - Preparation & Pretreatment. Refer to structural engineer's spec. also. AS 1170 SAA Loading Code. AS 1536 1988 Cold formed steel structures code. AS 3623 1993 Domestic metal framing.
Architectural metalwork	AS/NZS 1554 SAA Structural Steel Welding. AS 1627 1988 Metal finishing - Preparation and pretreatment of surfaces. AS 1650 1989 Hot-dipped galvanised coatings on ferrous articles. AS/NZS 1664 Aluminium structures
Timber framing	AS 1684 Nat. Timber Framing Code. AS 1720 Timber Structures Code. AS 1880 1998 Installation of particleboard flooring. SAA HB44 Guide to the timber framing code. AS 4055 Wind Loads for Housing.

Joinery (site built)	AS 1493 1973 Shelving and dressed boards milled from radiata pine. AS 1859 1985 Re-constituted wood-based panels. Includes particleboard & medium density fibreboard 1859.1 Particleboard 1859.2 MDF AS 2754 Adhesives for timber and timber products (in three parts) 2754.3 1988 Adhesives for non-structural applications. AS 2796 1985 Timber - Seasoned hardwood - Milled products.
Fibre cement products	AS 2329 1980 Mastic adhesives for fixing wallboards AS 2908 1992 Cellulose - cement products. 2908.2 - 1992 Flat sheets. Relevant Technical Bulletins and published instructions produced by manufacturer.
Thermal insulation	AS 2627 Thermal insulation of dwellings. SAA HB63 1994 Home Insulation in Australia.
Metal roofing, siding and plumbing	AS 1562 Design & Installation of sheet roof & wall cladding. SAA HB39 Code of common practice for steel roofing. AS 4285 Skylights. AS 2180 1986 Metal rainwater goods, selection and installation. Roof covering should comply with BCA Clause F1.5 and sarking material clause F1.6
Doors and door frames	AS 2688 Timber doors. AS 2689 Timber doorsets. AS/NZS 2803 Doors-security screens. AS/NZS 2804 Installation of security screen doors.
Metal windows and glazing	AS 1288 Glass in Buildings. AS 2047 1996 Windows in buildings. AS 3715 Thermoset powdercoatings. AS 1170 SAA Loading Code. AS 1650 1989 Hot dipped galvanised coatings.
Plasterboard	AS/NZS 2589.1 1997 Gypsum linings in residential & commercial construction. AS 3740 Waterproofing of wet areas within residential buildings.
Ceramic tile	AS 3958 Ceramic Tiles. AS 3740 Water proofing of wet areas within residential buildings. AS/NZS 3661 Slip resistance of pedestrian surface. Obtain most recent written installation instructions provided by the manufacturer.
Painting	AS 2311 1992 The painting of buildings. AS/NZS 2312 1994 Guide to the protection of iron and steel against exterior atmospheric corrosion.
Manufactured casework	AS/NZS 1859 Re-constituted wood-based panels. AS 2131 1987 Adhesives - for bonding decorative thermoset (contract adhesives). AS 2924 1987 Decorative thermosetting laminated sheet. AS/NZS 4386 Domestic Kitchen Assemblies
Electrical distribution	AS/NZS 3000. Wiring Rules. AS 3786 Smoke Alarms. AS/NZS 3018 1997 Electrical installation - Domestic.

Termite Preparation
Termite protection will be undertaken in accordance with:-
AS 3660.1 - Protection of buildings from subterranean termites.

Footings and Slabs
All footings and slabs will be designed and constructed in accordance with:-
AS 2870.1 - Residential slabs and footings - Construction.
AS 3600 - Concrete Structures Code.

Masonry
All masonry walls will be designed and constructed in accordance with:-
AS 3700 - Masonry Code.

Framing
All timber framing, bracing and tie-downs will be constructed in accordance with:-
AS 1684 - National Timber Framing Code.

Roof Cladding
All roof cladding will be undertaken in accordance with:-
AS 1562 - Design and installation of sheet roof and wall cladding.

Gutters and Downpipes
All gutters and downpipes will accord with:-
AS 3500.3.2 - Acceptable solutions.

Glazing
All glazing will be selected and installed in accordance with:-
AS 1288 - Glass in buildings - Selection and installation.

Fire Safety
Smoke alarms will be provided in accordance with:-
AS/NZS 3000:2000 - Electrical installations
AS 3786 - Smoke alarms.

Wet Areas
Waterproofing of wet areas will be undertaken in accordance with:-
AS 3740 - Waterproofing of wet areas in residential buildings.

Safe Movement and Access
Construction of stairs will comply with BCA clauses 3.9.1.3 and 3.9.1.4.
Construction of balustrades will comply with BCA clauses 3.9.2.3.
Access to the swimming pool will be restricted in accordance with:-
Swimming Pools Act 1992.

In bathrooms, a 1.2m clear space is required between the closet pan and doorway to comply with Part F2.5(b) of BCA or to provide removable hinges to the door where necessary.

The child resistant safety fence next to swimming pool should comply with the requirements of AS 1926-1986"Fences and Gates for Private Swimming Pools"

The electrical wiring system for underwater artificial lighting installation to the pool being installed in accordance with the requirements of AS 3000, Part 1, "Wiring Rules".

ARCHITECTURALS

- CC00 COVER / SITE PLAN
- CC01 ROOF PLAN
- CC02 GARAGE FLOOR PLAN
- CC03 LOWER FLOOR PLAN
- CC04 MID FLOOR PLAN
- CC05 UPPER FLOOR PLAN
- CC06 SECTION AA
- CC07 NW ELEVATIONS
- CC08 SE ELEVATIONS
- CC09 NE AND SW ELEVATIONS
- CC10 SECTIONS BB-CC

COUNCIL COM.

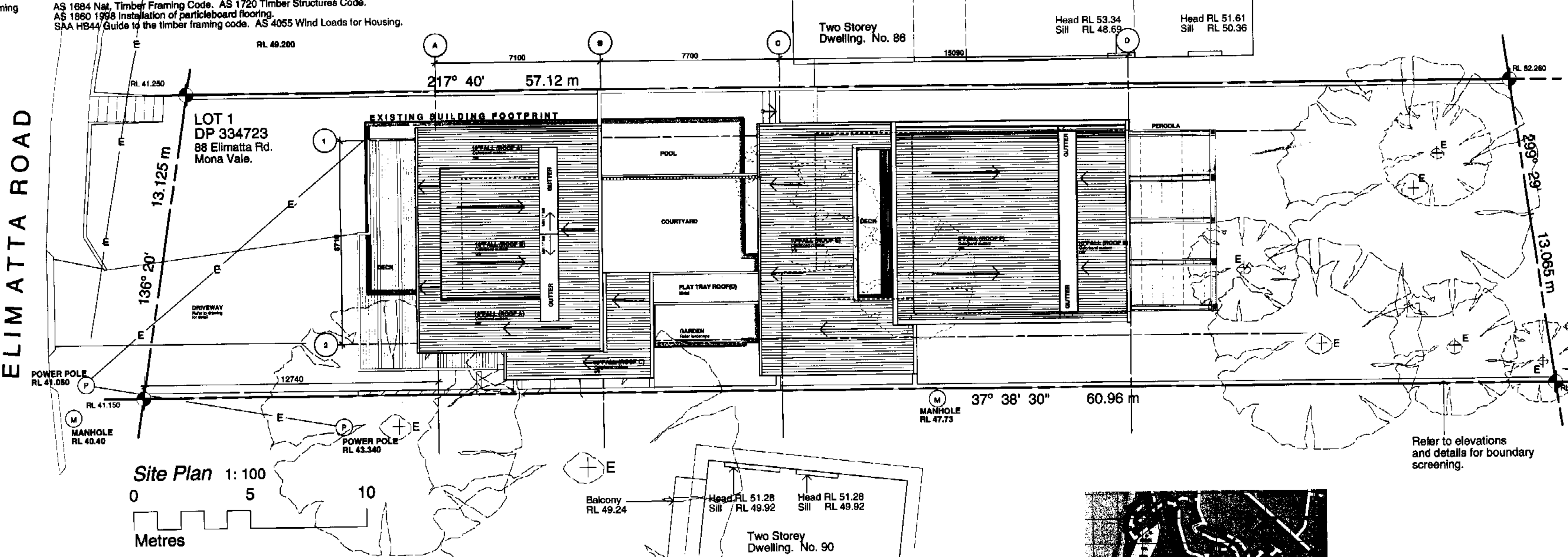
Refer to arborists/ landscapers report on trees to be removed,retained or transplanted

DIX GARDNER PTY LTD	
CONSTRUCTION CERTIFICATE	
FOR CC APPROVAL	
NOT FOR CONSTRUCTION	
APPROVED	
Approved Plans & Specifications relating to:	
Certificate No	7/07
Date	28/01/04
Signed	LYNETT DIX (Principal Certifying Authority)
Baker Kavanagh Architects	
L1 5 Queen Street Chippendale NSW 2008	
Telephone 02 9318 9200	
Facsimile 02 9318 9222	
Email bks@bks.com.au	

Project
New house at
88 Elimatta Rd
Mona Vale

Title	SITE PLAN/SPECIFICATION
Scale	1 : 100
Date	August 2003
Job no.	02114
Dwg no.	CC00a

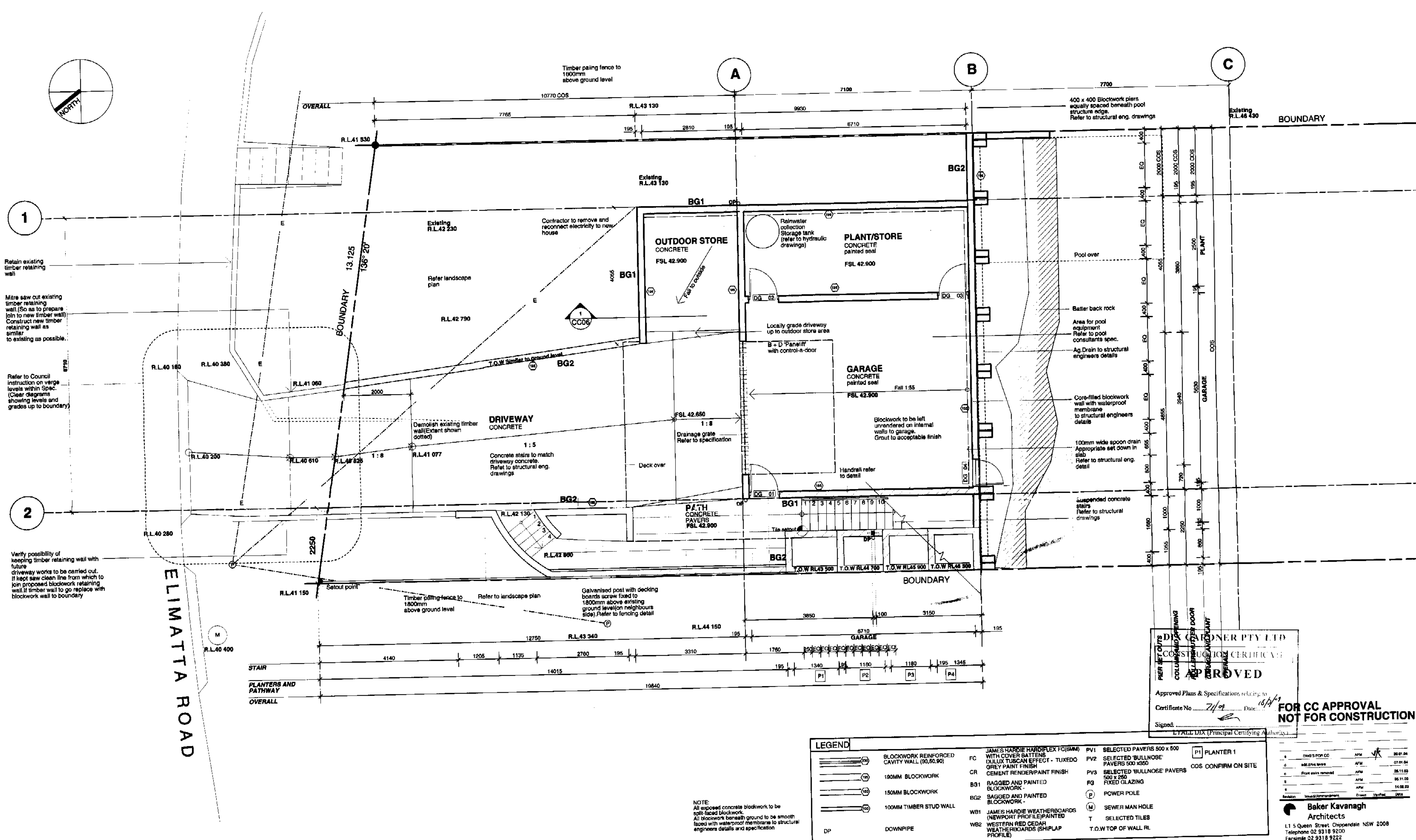
ELIMATTA ROAD



CONSTRUCTION CERTIFICATE APPLICATION
DA N0248/03



residential development
88 elimatta road, mona vale

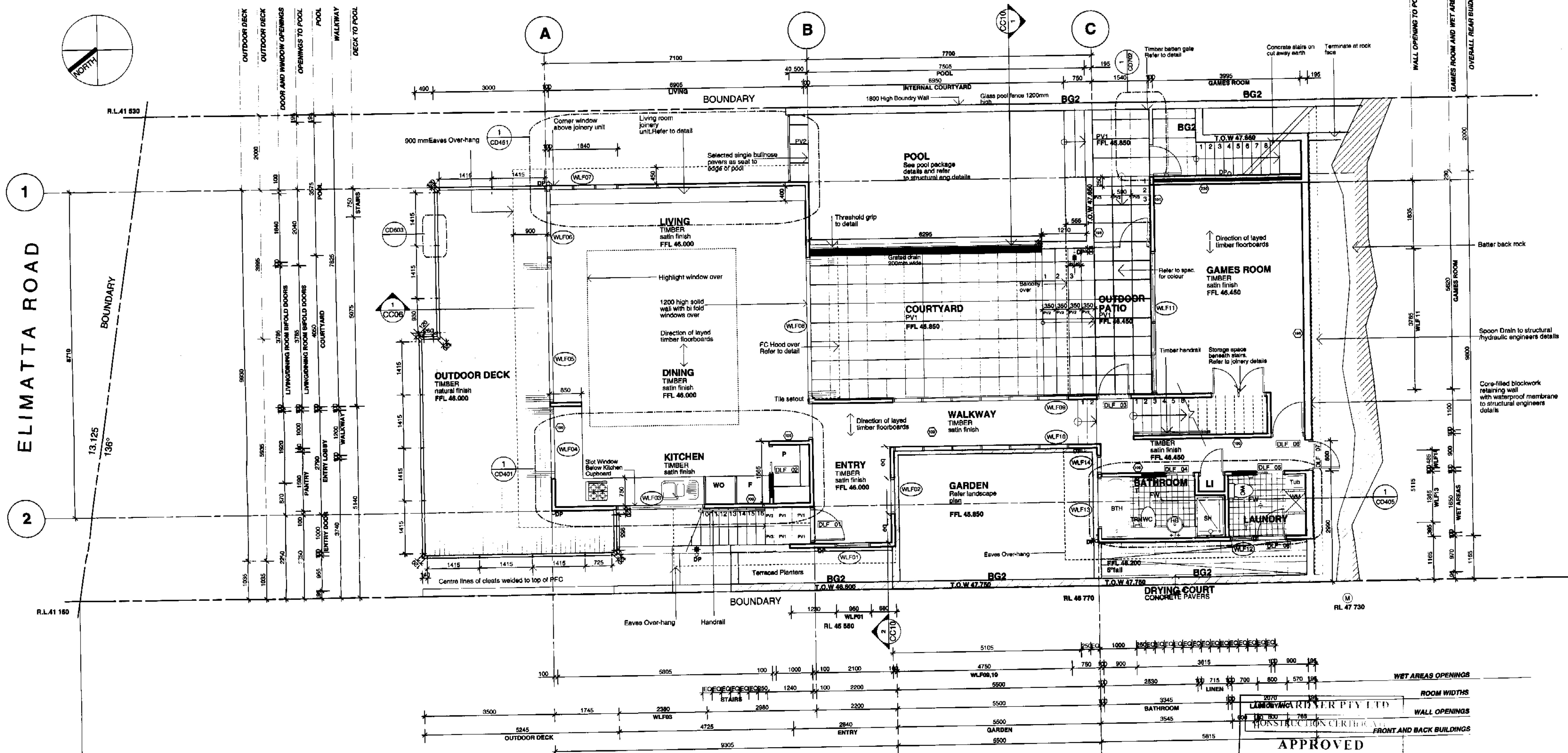


LEGEND			
	BLOCKWORK REINFORCED CAVITY WALL (50,50,50)	FC	JAMES HARDIE HARDIFLEX FC (6MM) WITH COVER BATTENS DULUX TUSCAN EFFECT - TUXEDO GREY PAINT FINISH
	180MM BLOCKWORK	CR	CEMENT RENDER/PAINT FINISH
	150MM BLOCKWORK	BG1	BAGGED AND PAINTED BLOCKWORK
	100MM TIMBER STUD WALL	BG2	BAGGED AND PAINTED BLOCKWORK
	DOWNPIPE	WB1	JAMES HARDIE WEATHERBOARDS (NEWPORT PROFILE) PAINTED
		WB2	WESTERN RED CEDAR WEATHERBOARDS (SHIPLAP PROFILE)
	PLANTER 1	PV1	SELECTED PAVERS 800 x 800
		PV2	SELECTED 'BULLNOSE' PAVERS 800 x 800
		PV3	SELECTED 'BULLNOSE' PAVERS 800 x 800
		PG	FIXED GLAZING
		P	POWER POLE
		M	SEWER MAN HOLE
		T	SELECTED TILES
			T.O.W TOP OF WALL RL

FOR CC APPROVAL NOT FOR CONSTRUCTION			
Approved Plans & Specifications relating to	Certificate No.	Date	Signed
	74/9	18/8/9	L. PALL DIX (Principal Certifying Authority)

Dix Gardner Pty Ltd	Naturally Trees	Angus Watt Landscapes	United Consulting Engineers	Partridge Partners	Wright Pools Pty Ltd
Level 1 364 Kent Street Sydney NSW 2000 T 02 8270 3500 F 02 8270 3501 E cityplan@cityplan.com.au	59/2 Forest Rd, Warriewood Sydney NSW 2102 T 02 9978 4429 M 0417 250 420	8 Ruka Avenue Marilyn NSW 2095 M 0403 182 561	Suite 43, 411-421 King Georges Rd Beverly Hills, NSW, 2209 T 02 9570 9111 F 02 9570 9122	Level 4, 1 Chandos street St Leonards NSW 2065 T 02 9460 9000 F 02 9460 9090	PO Box 269, Frenchs Forest NSW 2086 T 02 9450 0788 F 02 9986 3571

New house at 88 Elimatta Rd Mona Vale			
Project	Garage Plan	Job no.	02114
Scale	1 : 50	Dwg no.	CC02a
Date	August 2003		



APPROVED

Approved Plans & Specifications relating to
 Certificate No. 71/04 Date 16/12/04

Signed: LYALL DIX (Principal Certifying Authorities)

FOR CC APPROVAL NOT FOR CONSTRUCTION

NO	DESCRIPTION	DATE	STATUS
1	DRAWN FOR CC	20/01/04	✓
2	PROPOSED DIMENSIONS	17/12/03	AFM
3	EXTRA DECK DIMENSIONS	08/12/03	AFM
4	UPDATED STRUCTURAL REF	08/11/03	AFM
5	REV POOL LAYOUT	27/10/03	AFM
6	REV WET AREAS	28/09/03	AFM
7	REV WET AREAS	14/08/03	AFM

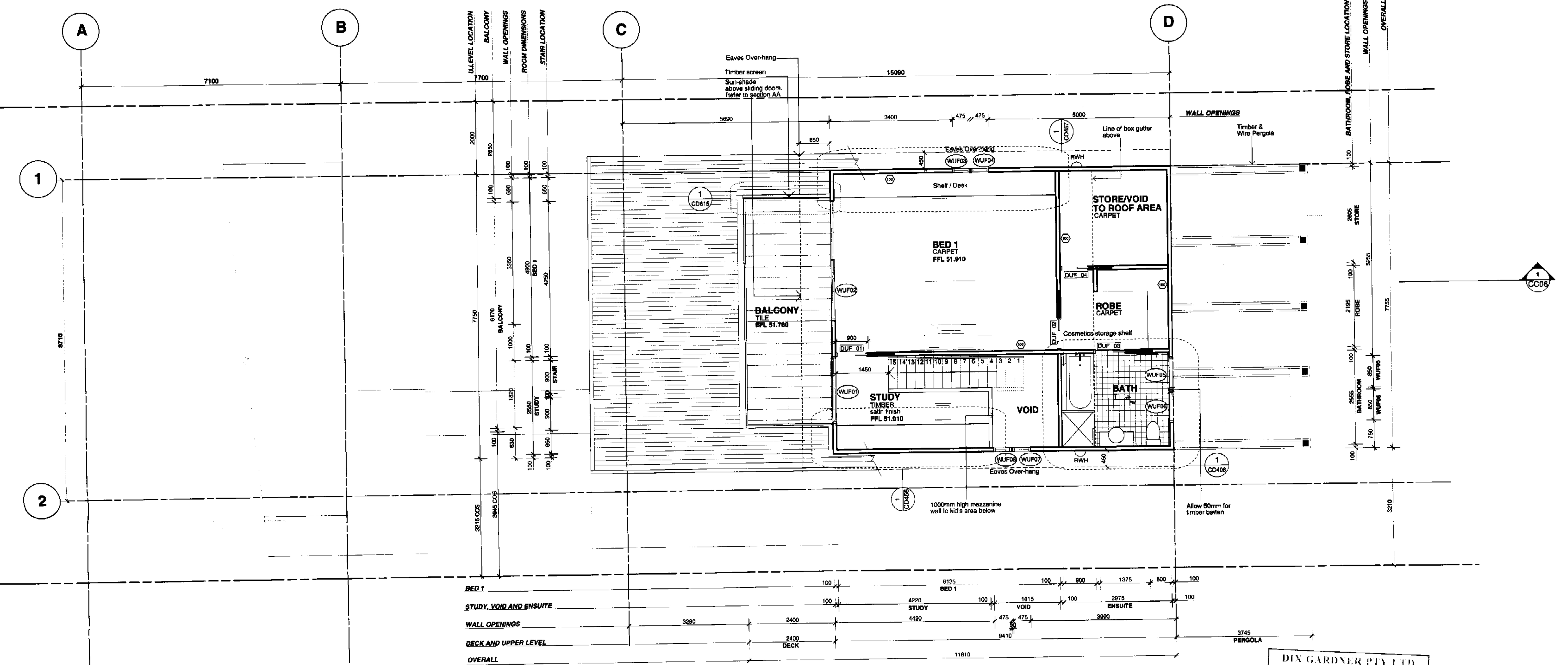
Baker Kavanagh Architects
 L1 5 Queen Street, Chippendale NSW 2008
 Telephone 02 9318 9200
 Facsimile 02 9318 9222
 Email bka@bka.com.au

Dix Gardner Pty Ltd	Naturally Trees	Angus Watt Landscapes	United Consulting Engineers	Partridge Partners	Wright Pools Pty Ltd
Level 1 364 Kent Street Sydney NSW 2000 T 02 8270 3500 F 02 8270 3501 E cityplan@cityplan.com.au	59/2 Forest Rd, Warriewood Sydney NSW 2102 T 02 9979 4429 M 0417 250 420	8 Iluka Avenue Marilyn NSW 2095 M 0403 182 561	Suite 43, 411-421 King Georges Rd Beverly Hills, NSW, 2209 T 02 9570 9111 F 02 9570 9122	Level 4, 1 Chandos street St Leonards NSW 2055 T 02 9460 9000 F 02 9460 9090	PO Box 269, Frenchs Forest NSW 2086 T 02 9450 0788 F 02 9906 3571

New house at 88 Elimatta Rd Mona Vale

LOWER FLOOR PLAN

Scale 1 : 50 Job No. 02114
 Date August 2003 Drawn by CC03



**FOR CC APPROVAL
NOT FOR CONSTRUCTION**

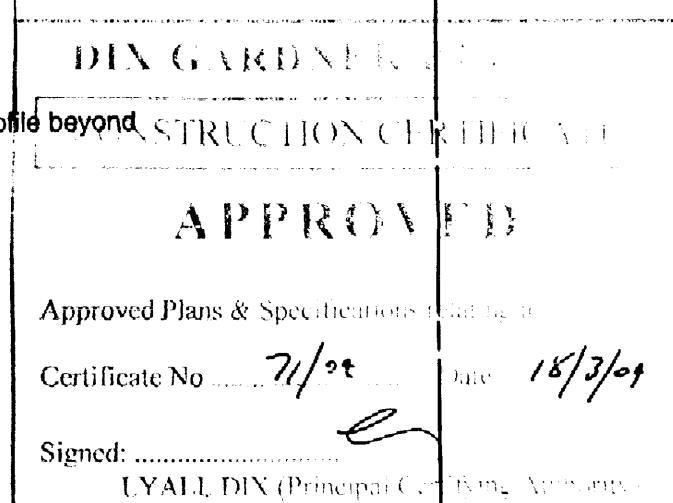
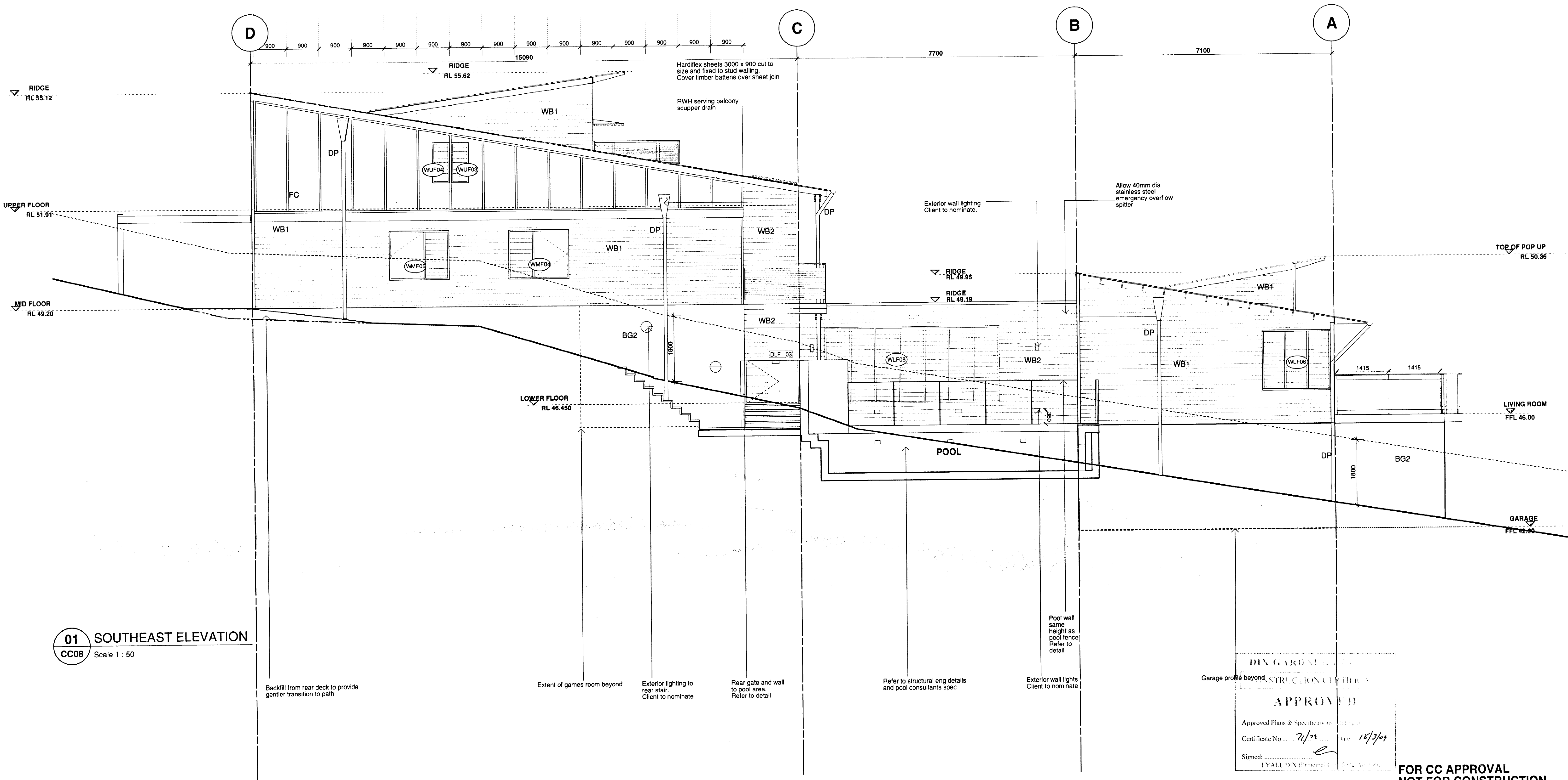
id	DWGS FOR CC	AFM	JK	20.01.04
c	Dwg added	AFM		08.04.04
d	REV. WET APPEAR	AFM		26.08.05

Baker Kavanagh Architects
 U1 5 Queen Street Chippendale NSW 2008
 Telephone 02 9318 9200
 Facsimile 02 9318 9222
 Email bka@bka.com.au

**New house at
88 Elimatta Rd
Mona Vale**

UPPER FLOOR PLAN

Scale 1:50 Job No. 02114
 Date August 2003 Drawn by CC05d



FOR CC APPROVAL
NOT FOR CONSTRUCTION

LEGEND			
	BLOCKWORK REINFORCED CAVITY WALL (90.50.90)	FC	JAMES HARDIE HARDIFLEX FC(6MM) WITH COVER BATTENS DULUX TUSCAN EFFECT - TUXEDU GREY PAINT FINISH
	190MM BLOCKWORK	CR	CEMENT RENDER/PAINT FINISH
	150MM BLOCKWORK	BG1	BAGGED AND PAINTED BLOCKWORK
	100MM TIMBER STUD WALL	BG2	BAGGED AND PAINTED BLOCKWORK
	DOWNPIPE	WB1	JAMES HARDIE WEATHERBOARDS (NEWPORT PROFILE)PAINTED
		WB2	WESTERN RED CEDAR WEATHERBOARDS (SHIPLAP PROFILE)
		PV1	SELECTED PAVERS 500 x 500
		PV2	SELECTED BULLNOSE PAVERS 500 x 500
		PV3	SELECTED BULLNOSE PAVERS 500 x 250
		FG	FIXED GLAZING
		P	POWER POLE
		M	SEWER MAN HOLE
		T	SELECTED TILES
			T.O.W TOP OF WALL RL
		P1	PLANTER 1
			COB CONFIRM ON SITE

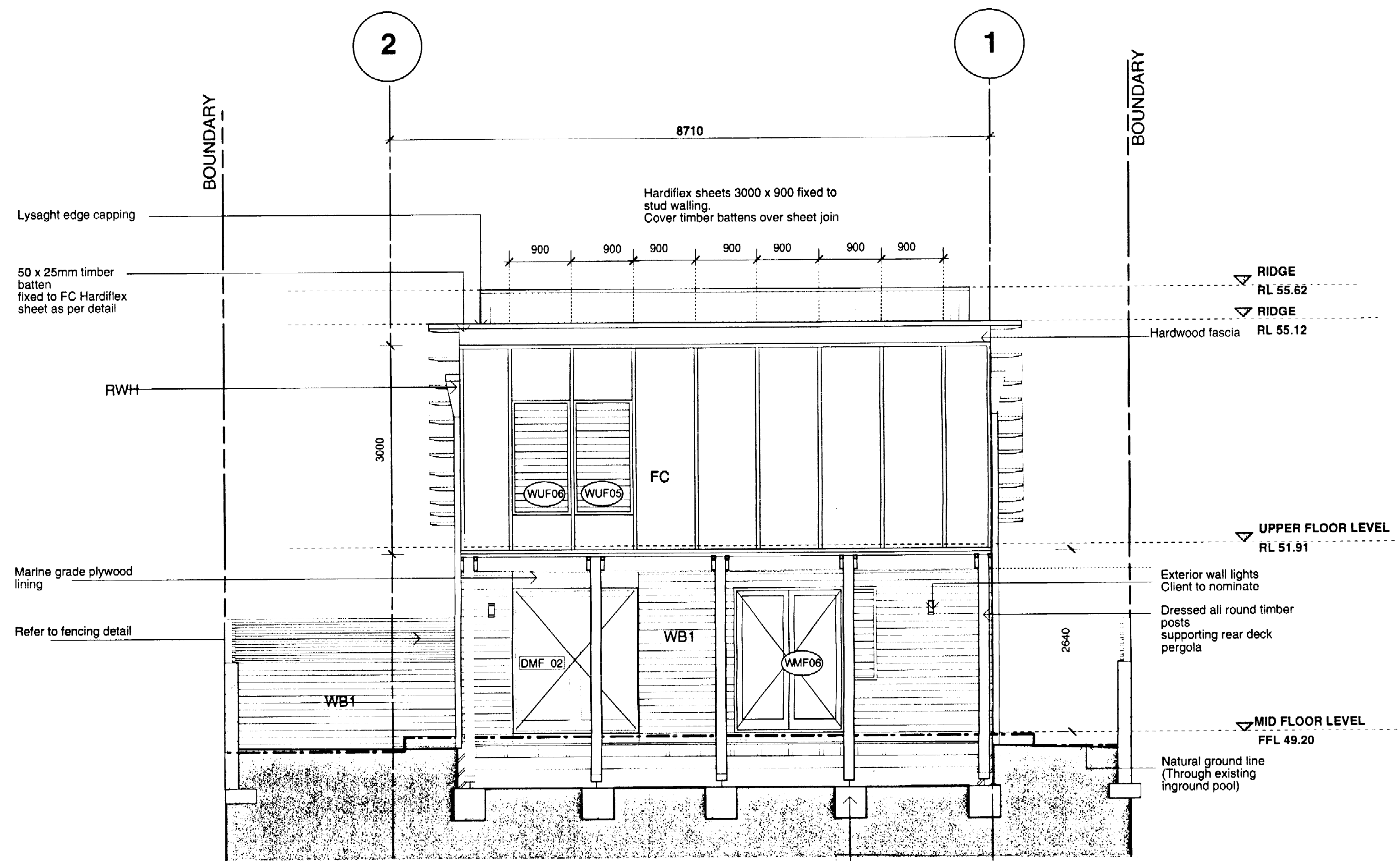
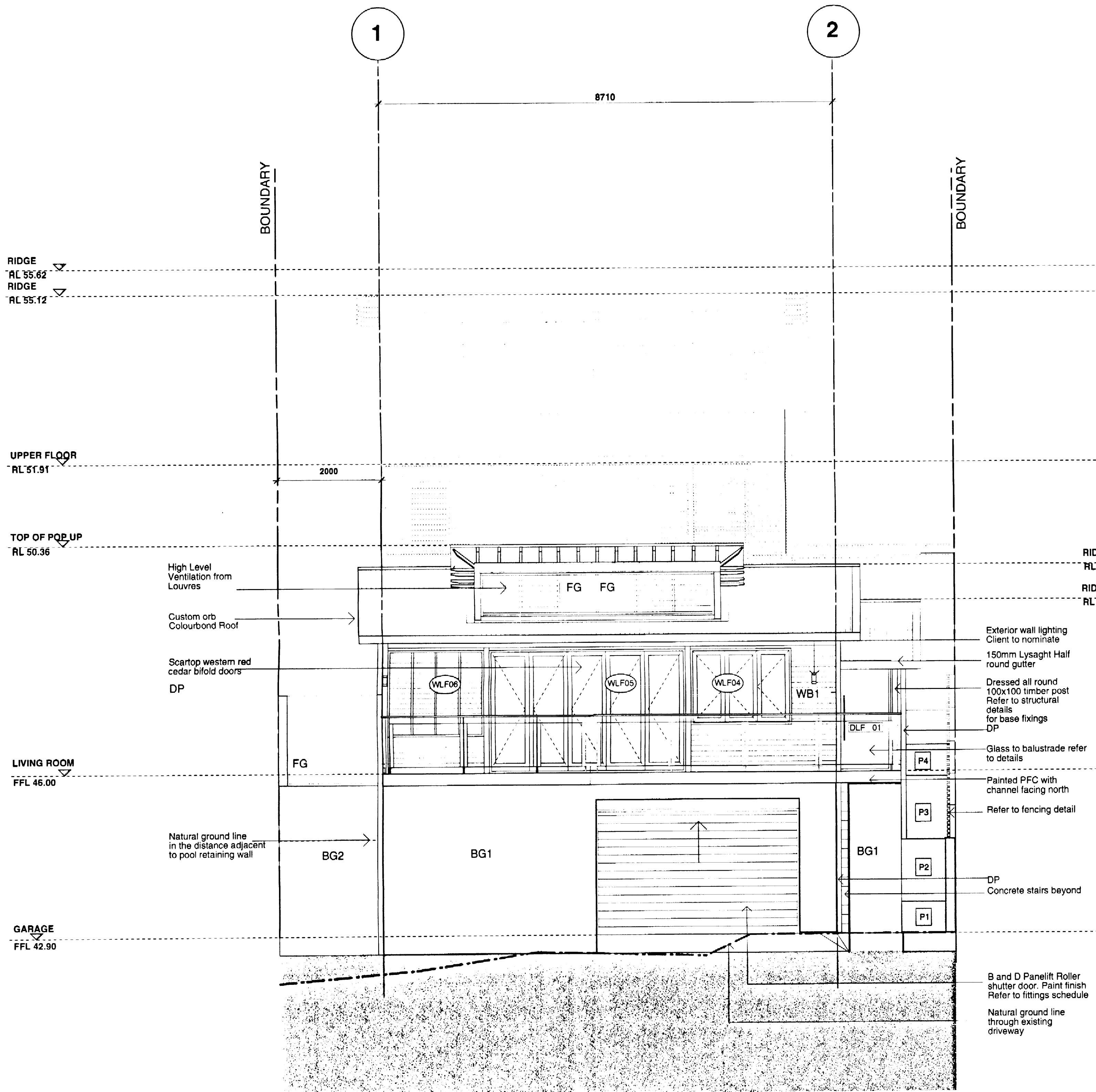
1	DWG'S FOR CC	AFM	✓	20.01.04
2	Revised structural drgs	AFM		14.01.04
3	Changed pool area	AFM		25.10.03
4	Revised	AFM		14.06.03
5	Revised/Amendment	Drawn	Verified	Date

Baker Kavanagh Architects
L1 5 Queen Street, Chippendale NSW 2008
Telephone 02 9318 9200
Facsimile 02 9318 9222
Email bka@bka.com.au

Project: **New house at 88 Elimatta Rd Mona Vale**

Title: **SOUTHEAST ELEVATION**
Scale: **1 : 50** Job no: **02114**
Date: **August 2003** Dwg no: **CC08d**

Dix Gardner Pty Ltd	Naturally Trees	Angus Watt Landscapes	United Consulting Engineers	Partridge Partners	Wright Pools Pty Ltd
Certifier BCA Level 1 364 Kent Street Sydney NSW 2000 T 02 8270 3500 F 02 8270 3501 E cityplan@cityplan.com.au	Architect 59/2 Forest Rd, Warriewood Sydney NSW 2102 T 02 9979 4429 M 0417 250 420	Landscape Architect 8 Illuka Avenue Manly NSW 2095 M 0403 182 561	Structural Engineer Suite 43, 411-421 King Georges Rd Beverly Hills, NSW, 2209 T 02 9570 9111 F 02 9570 9122	Structural Engineer Level 4, 1 Chandos street St Leonards NSW 2065 T 02 9460 9000 F 02 9460 9090	Pool consultant: PO Box 269, Frenchs Forest NSW 2086 T 02 9450 0788 F 02 9986 3571



LEGEND			
	BLOCKWORK REINFORCED CAVITY WALL (90.50.90)	FC	JAMES HARDIE HARDIFLEX FC(8MM) WITH COVER BATTENS DULUX TUSCAN EFFECT - TUXEDO GREY PAINT FINISH
	190MM BLOCKWORK	CR	CEMENT RENDER/PAINT FINISH
	150MM BLOCKWORK	BG1	BAGGED AND PAINTED BLOCKWORK
	100MM TIMBER STUD WALL	BG2	BAGGED AND PAINTED BLOCKWORK
	DOWNPIPE	WB1	JAMES HARDIE WEATHERBOARDS (NEWPORT PROFILE)PAINTED
		WB2	WESTERN RED CEDAR WEATHERBOARDS (SHIPLAP PROFILE)
		PV1	SELECTED PAVERS 500 x 500
		PV2	SELECTED 'BULLNOSE' PAVERS 500 x350
		PV3	SELECTED 'BULLNOSE' PAVERS 500 x 250
		FG	FIXED GLAZING
		P	POWER POLE
		M	SEWER MAN HOLE
		T	SELECTED TILES
			T.O.W TOP OF WALL RL
		P1	PLANTER 1
			COS CONFIRM ON SITE

FOR CC APPROVAL NOT FOR CONSTRUCTION

APPROVED

Approved Plans & Drawings

Certificate No. 71/08

Signature: [Signature]

Refer to structural engineers drawings for exact size of post footings

Dix Gardner Pty Ltd	Naturally Trees	Angus Watt Landscapes	United Consulting Engineers	Partridge Partners	Wright Pools Pty Ltd
Level 1 364 Kent Street Sydney NSW 2000 T 02 8270 3500 F 02 8270 3501 E cityplan@cityplan.com.au	59/2 Forest Rd, Warriewood Sydney NSW 2102 T 02 9979 4429 M 0417 250 420	8 Iluka Avenue Manly NSW 2095 M 0403 182 561	Suite 43, 411-421 King Georges Rd Beverly Hills, NSW, 2209 T 02 9570 9111 F 02 9570 9122	Level 4, 1 Chandos street St Leonards NSW 2065 T 02 9460 9000 F 02 9460 9090	PO Box 269, Frenchs Forest NSW 2086 T 02 9450 0788 F 02 9986 3571

Baker Kavanagh Architects

L1 5 Queen Street Chippendale NSW 2008
 Telephone 02 9318 9200
 Facsimile 02 9318 9222
 Email bka@bka.com.au

New house at 88 Elimatta Rd Mona Vale

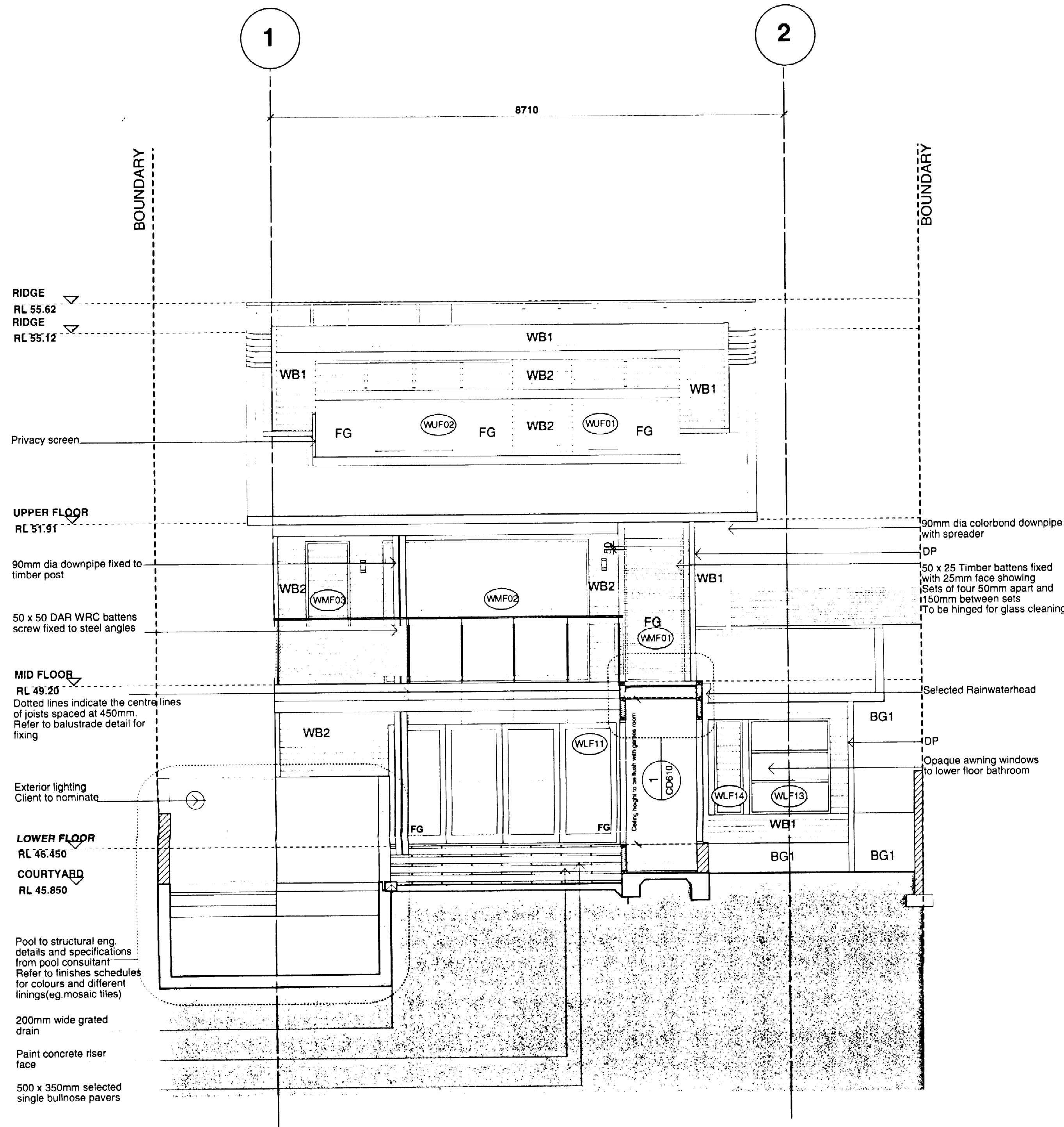
Project: NE and SW ELEVATIONS

Scale: 1 : 50

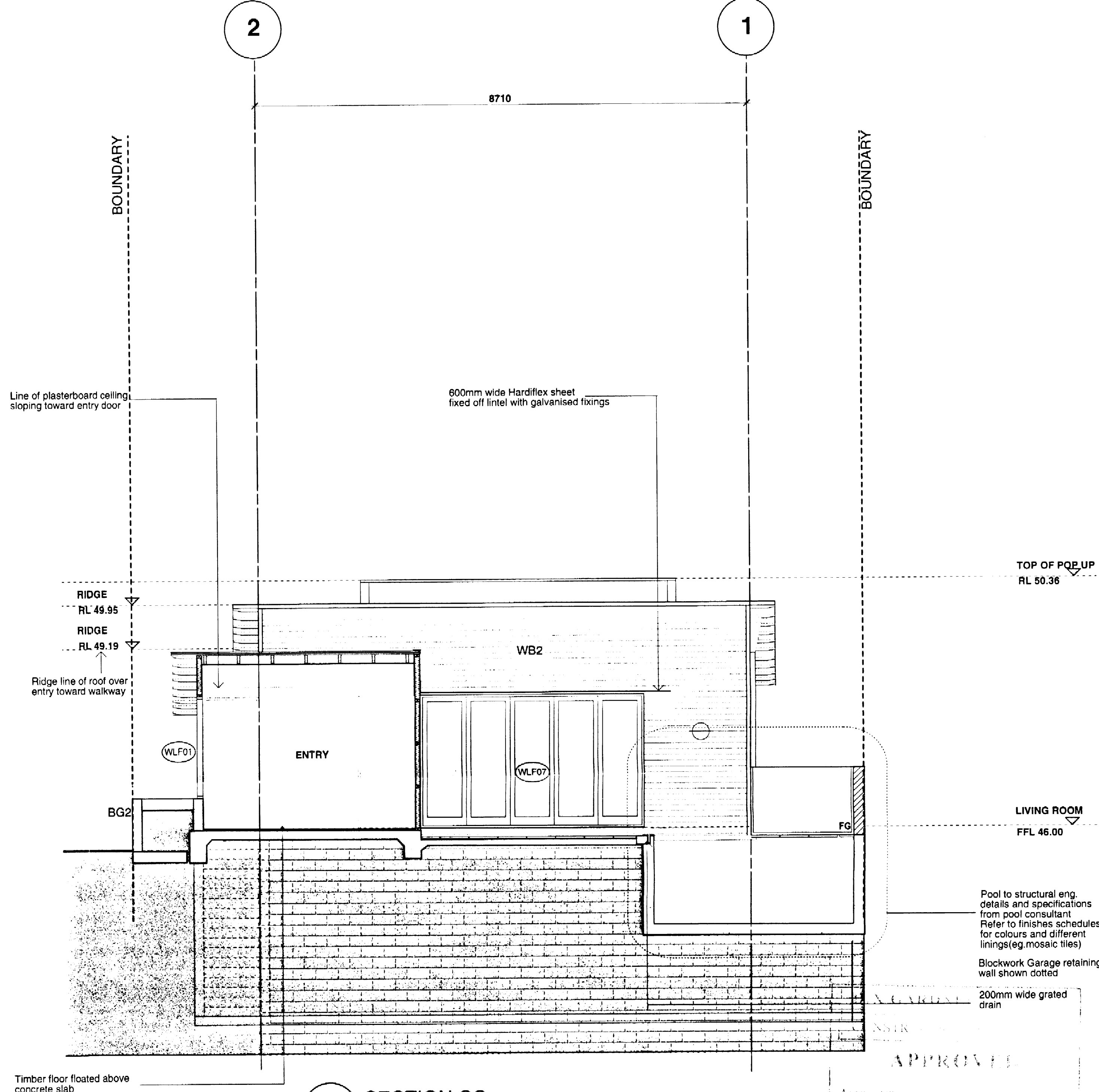
Date: August 2003

Job no. 02114

Dwg no. CC09



01 SECTION BB
CC10 Scale 1 : 50



02 SECTION CC
CC10 Scale 1 : 50

LEGEND			
	BLOCKWORK REINFORCED CAVITY WALL (90.50.90)	FC	JAMES HARDIE HARDIFLEX FC(6MM) WITH COVER BATTENS DULUX TUSCAN EFFECT - TUXEDO GREY PAINT FINISH
	190MM BLOCKWORK	CR	CEMENT RENDER/PAINT FINISH
	150MM BLOCKWORK	BG1	BAGGED AND PAINTED BLOCKWORK
	100MM BLOCKWORK	BG2	BAGGED AND PAINTED BLOCKWORK
	100MM TIMBER STUD WALL	WB1	JAMES HARDIE WEATHERBOARDS (NEWPORT PROFILE)PAINTED
	DOWNPIPE	WB2	WESTERN RED CEDAR WEATHERBOARDS (SHIPLAP PROFILE)
	SELECTED PAVERS 500 x 500	PV1	SELECTED PAVERS 500 x 500
	SELECTED 'BULLNOSE' PAVERS 500 x 350	PV2	SELECTED 'BULLNOSE' PAVERS 500 x 350
	SELECTED 'BULLNOSE' PAVERS 500 x 250	PV3	SELECTED 'BULLNOSE' PAVERS 500 x 250
	FIXED GLAZING	FG	FIXED GLAZING
	POWER POLE	P	POWER POLE
	SEWER MAN HOLE	M	SEWER MAN HOLE
	SELECTED TILES	T	SELECTED TILES
	T.O.W TOP OF WALL RL	T.O.W.	T.O.W TOP OF WALL RL

**FOR CC APPROVAL
NOT FOR CONSTRUCTION**

Dix Gardner Pty Ltd	Naturally Trees	Angus Watt Landscapes	United Consulting Engineers	Partridge Partners	Wright Pools Pty Ltd
Certifier BCA Level 1, 364 Kent Street Sydney NSW 2000 T 02 8270 3500 F 02 8270 3501 E cityplan@cityplan.com.au	Arborist 59/2 Forest Rd, Warriewood Sydney NSW 2102 T 02 9979 4429 M 0417 250 420	Landscape Architect 8 Iluka Avenue Manly NSW 2095 M 0403 182 561	Stormwater consultant Suite 43, 411-421 King Georges Rd Beverly Hills, NSW, 2209 T 02 9570 9111 F 02 9570 9122	Structural Engineer Level 4, 1 Chandos street St Leonards NSW 2065 T 02 9460 9000 F 02 9460 9090	Pool consultant: PO Box 269, Frenchs Forest NSW 2086 T 02 9450 0788 F 02 9386 3571

Baker Kavanagh Architects
 L1 5 Queen Street Chippendale NSW 2008
 Telephone 02 9318 9200
 Facsimile 02 9318 9222
 Email bka@bka.com.au

Project: New house at 88 Elimatta Rd Mona Vale

Title: Sections BB - CC

Scale: 1 : 50

Date: August 2003

Job no.: 02114

Dwg no.: CC10c

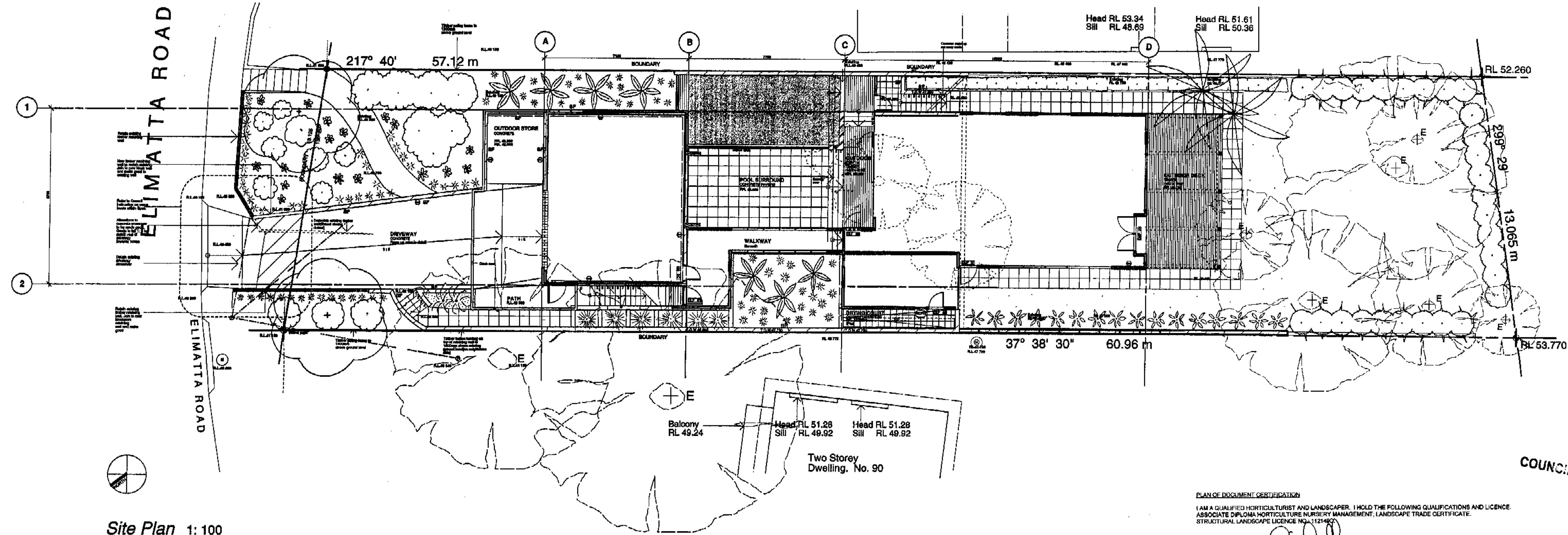
MAINTENANCE SCHEDULE

- THE LANDSCAPE WILL REQUIRE REGULAR MAINTENANCE FOR THE LIFE OF THE DEVELOPMENT. THE FOLLOWING IS A 12 MONTH MAINTENANCE SCHEDULE DESIGNED TO HELP IN THE ESTABLISHMENT OF ALL PLANT MATERIAL.
- WEEDING - GARDEN BEDS AND LAWN AREAS ARE TO BE CONSTANTLY MONITORED FOR WEEDS AND THEY WILL BE REMOVED MECHANICALLY OF WITH A HERBICIDE.
 - PRUNING - ALL HEDGING PLANTS WILL BE TIP PRUNED DURING THE FIRST 12 MONTHS TO HELP ESTABLISH A DESIRABLE SHAPE AND DENSITY.
 - PRUNING - TREES PLANTED ON SITE WILL ONLY HAVE FORMATIVE PRUNING IN ACCORDANCE WITH AS 4373 PRUNING OF AMENITY TREES. DEAD WOODING EXISTING TREES SHOULD ALSO BE CARRIED OUT.
 - FERTILISING - ALL PLANTS WILL BE FERTILISED AT THE TIME OF PLANTING WITH SLOW RELEASE 9 MONTH APPLICATION OR SIMILAR. AT THE END OF THAT PERIOD ANOTHER APPLICATION SHOULD COMMENCE. IN BETWEEN ORGANIC FERTILISERS SHOULD BE ADDED TO IMPROVE SOIL STRUCTURE AND ENCOURAGE ROOT AND SHOOT DEVELOPMENT.
 - SOIL TESTING - IF PROBLEMS ARISE WITH THE HEALTH OF ANY PLANT ON SITE A SOIL TEST SHOULD BE UNDERTAKEN TO DETERMINE THE PH OF THE SOIL. IF REQUIRED ACTION CAN BE TAKEN TO ALTER THE PH.
 - IRRIGATION - THE LANDSCAPE WILL HAVE AN AUTOMATED DRIP IRRIGATION SYSTEM INSTALLED TO MAKE SURE THE PLANTS RECEIVE ADEQUATE WATER. THE SYSTEM WILL NEED TO BE MONITORED TO MAKE SURE THE FITTINGS ARE WORKING PROPERLY. IF THEY ARENT THEY CAN BE CLEANED OR REPLACED.
 - DAMAGED/DEAD PLANTS - ANY PLANTS THAT FAIL SHOULD BE REPLACED WITH THE SAME GENUS AND SPECIES AS LISTED ON THE ACCOMPANYING PLANT SCHEDULE.
 - TURF CARE - ALL TURFED AREAS SHOULD BE REGULARLY CUT TAKING CARE TO AVOID SCALPING THE LAWN. A REGULAR FERTILISING AND WEEDING PROGRAM CAN BE INCORPORATED WITH GENERAL WORK IN THESE AREAS.
 - PESTS AND DISEASE - ALL PLANTS WILL BE REGULARLY MONITORED FOR PEST AND DISEASE DAMAGE. AS SOON AS THE PROBLEM IS NOTICED A TREATMENT SHOULD BE APPLIED.
 - STAKING - ANY PLANTS THAT CANT SUPPORT THEMSELVES WILL BE STAKED IN ACCORDANCE WITH THE PLANTING AND STAKING DETAIL.

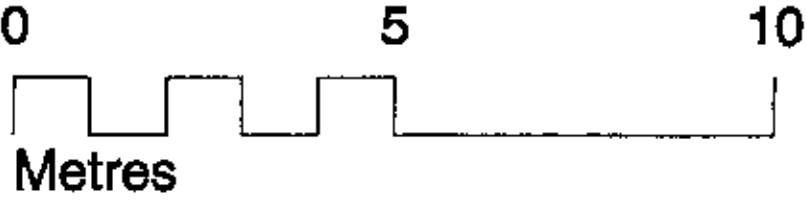
SPECIFICATION NOTES

- PRESERVATION OF EXISTING TREES - ALL SIGNIFICANT TREES WILL HAVE PROTECTIVE FENCING INSTALLED IN ACCORDANCE WITH THE SITE ARBORIST'S REPORT. THESE WILL BE INSTALLED PRIOR TO ANY CONSTRUCTION TAKING PLACE. THE SOIL WITHIN THE TREE PROTECTION ZONE (TPZ) WILL NOT BE DISTURBED BY HEAVY MACHINERY, PILING OF SOIL OR MATERIALS, CONCRETE WASH OUT OR ANY EXCAVATION DURING CONSTRUCTION.
- NOTE: THERE ARE TWO *Cyathus cooperi* AND ONE *Cyathus australis* LOCATED ON SITE. THE TWO *Cyathus cooperi* ARE TO BE TRANSPLANTED TO THE FRONT PLANTER BOX AT THE ENTRY. IF SUITABLE, THE *Cyathus australis* CAN BE USED AT THE REAR OF THE PROPERTY AS AN UNDERSTORY PLANTING SPECIMEN.
- EXISTING FRONT GARDEN - THE FRONT GARDEN ILLUSTRATION IS INDICATIVE OF PLANT MATERIAL ALREADY ON SITE AND WILL BE ENHANCED WITH SMALLER SHRUBS AND GROUND COVERS WHEN PLANTING COMMENCES.
- PROPOSED EARTHWORKS & SOIL PREPARATION - WHERE EARTHWORKS ARE TO OCCUR THE EXCAVATOR WILL STRIP APPROVED TOPSOIL AND STORE ON SITE TO UTILIZE DURING PLANTING. THE LANDSCAPE PRIOR TO ANY CONSTRUCTION IS FREE OF UNWANTED MATERIAL SUCH AS ROCKS, BUILDING RUBBLE, WEEDS, TREE ROOTS AND RUBBISH.
- PREPARATION OF GARDEN AREAS - EXISTING WEED SPECIES WILL BE REMOVED PHYSICALLY OR WITH THE USE OF A HERBICIDE. THE SOIL IS TO BE CULTIVATED TO A DEPTH OF 300MM AND FREE OF UNWANTED MATERIAL. PREMIUM GARDEN MIX (NATIVE AND STANDARD) FROM AUSTRALIAN NATIVE LANDSCAPES IS TO BE INCORPORATED WITH EXISTING SOIL WHEN PLANTING IN ACCORDANCE WITH AS 4419.
- PLANTING - PLANTS ARE TO BE THE BEST AVAILABLE STOCK AT THE TIME OF ORDERING. CONTAINER SIZES ARE TO BE IN ACCORDANCE WITH THE PLANT SCHEDULE UNLESS ADVISED OTHERWISE BY THE PROJECT MANAGER.
- FERTILISING - FERTILISE WITH OSMOCOTE SLOW RELEASE 8-9 MONTH LOW PHOSPHOROUS FOR NATIVES AND STANDARD FORM FOR EXOTICS AS PER MANUFACTURERS INSTRUCTIONS BEFORE MULCHING.
- MULCHING - ALL GARDEN BEDS TO BE MULCHED WITH 75-100MM OF AUSTRALIAN NATIVE LANDSCAPES LEAF LITTER OR FOREST FINES, COVING MULCH DOWN AROUND PLANT STEMS AND FLUSH WITH ADJACENT SURFACES.
- TURFING - AREAS TO BE TURFED WILL BE GRADED TO ALLOW 50-100MM OF TURF UNDERLAY, FROM AUSTRALIAN NATIVE LANDSCAPES, TO BE PLACED. THE TURF WILL BE SANTA ANA COUCH. EDGING INSTALLED AS DETAILED IN EDGING AND TURFING DETAIL OR AS MOWING STRIP SIMILAR TO CONCRETE PAVERS.
- CONCRETE PAVING - ALL PATHS AND PAVED AREAS ARE TO BE LAID AS PER ARCHITECTS DIRECTIONS REGARDING LAYING AND GROUTING.
- IRRIGATION - A FULLY AUTOMATED IRRIGATION SYSTEM IS TO BE INSTALLED TO ENSURE THE SURVIVAL OF THE PLANT MATERIAL. IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS THE SYSTEM WITH USE DRIP IRRIGATION TO DISPERSE WATER.

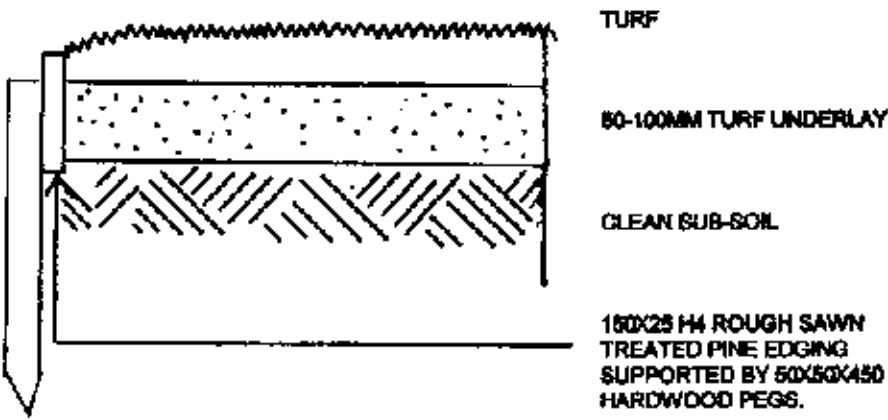
PLANT SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	CONTAINER SIZE	NUMBER
	Cupaniopsis anacardioides	Tuckeroo	7-10m	75 litre (Staked)	2
	Howea forsteriana	Kentia Palm	6-10m	75 litre	7
	Syzygium australe 'Hunchy'	Lillypilly	3-5m (hedged)	300mm (Staked)	18
	Murraya paniculata	Orange Jessamine	3-5 (hedged)	300mm	10
	Cordyline stricta	Cordyline	3m	300mm	16
	Elaeocarpus reticulatus	Blueberry Ash	4-5m	300mm (Staked)	19
	Xanthorrhoea spp	Grass Tree	2-3m	300mm (Seed grown)	6
	Dielsia robinsoniana	Wedding Iris	1.5m	200mm	40
	Liriope sp. 'Evergreen Giant'	Giant Liriope	0.4m	200mm	20



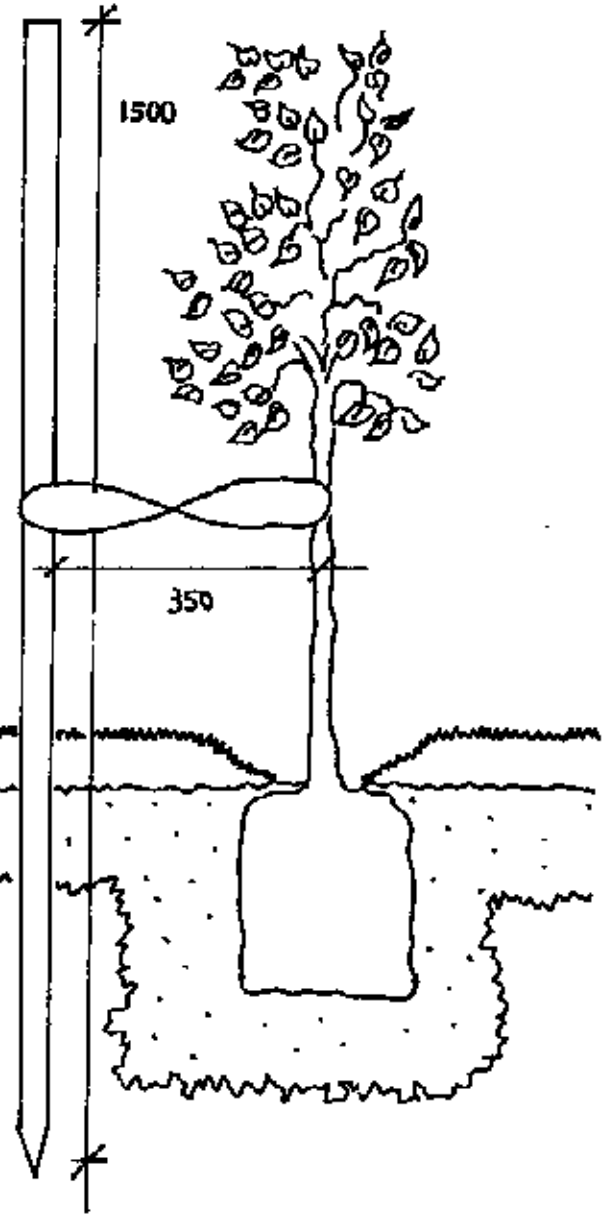
Site Plan 1: 100



EDGING AND TURFING DETAIL



PLANTING AND STAKING DETAIL



50MM JUTE WEBBING TIED TO TREE TRUNK AND STAKED TO A 1800x300x80MM HARDWOOD STAKE.

MULCH - AUSTRALIAN NATIVE LANDSCAPES PINE BARK MINI NUGGETS TO A DEPTH OF 75-100MM, KEPT AWAY FROM TRUNKS.

IMPORTED PREMIUM AND NATIVE GARDEN MIX FROM AUSTRALIAN NATIVE LANDSCAPES MIXED WITH EXISTING SOIL WHEN PLANTING NATIVE AND EXOTIC SPECIES. BREAK SUB-SOIL WITH CROW BAR.

FERTILISE WITH OSMOCOTE 8-9 MONTH LOW PHOSPHOROUS ON NATIVES AND STANDARD FORM FOR EXOTICS.

LEGEND

- EXISTING TREES
- TREES TO BE REMOVED
- TRANSPLANTED TREE FERNS
- CONCRETE PAVERS
- TURFED AREAS
- EXISTING LEVEL
- PROPOSED LEVEL

COUNCIL COPY

PLAN OF DOCUMENT CERTIFICATION
I AM A QUALIFIED HORTICULTURIST AND LANDSCAPER. I HOLD THE FOLLOWING QUALIFICATIONS AND LICENCE:
ASSOCIATE DIPLOMA HORTICULTURE NURSERY MANAGEMENT, LANDSCAPE TRADE CERTIFICATE
STRUCTURAL LANDSCAPE LICENCE NO. 112149C

ANGUS WATT

DECEMBER 11, 2003

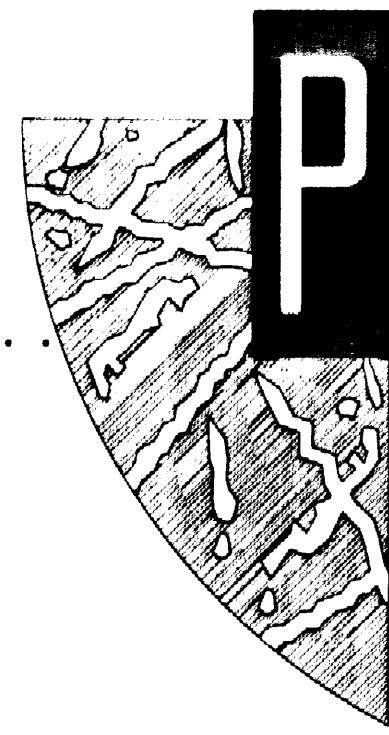
DIX GARDNER PTY LTD
FOR INFORMATION ONLY

This plan/specification is to be read in conjunction with the approved Documentation of
Create No: 71/04

NEW HOUSE
88 ELLIMATTA ROAD, MONA VALE
LANDSCAPE PLAN
FOR
MR ANDREW NICHOLL

SCALE: 1:100
DATE: DECEMBER 11, 2003

ANGUS WATT LANDSCAPES
DESIGN + CONSULTATION + CONSTRUCTION
8 ILUKA AVENUE, MANLY NSW 2095
MOBILE 0403 182 581 LIC NO. 112149C



Partridge Partners

Engineering Consultants
Structural
Civil
Facade
Ecological
Forensic

PROPOSED NEW RESIDENCE

AT

88 ELIMATTA ROAD
MONA VALE

FOR

Mr A. Nicholl

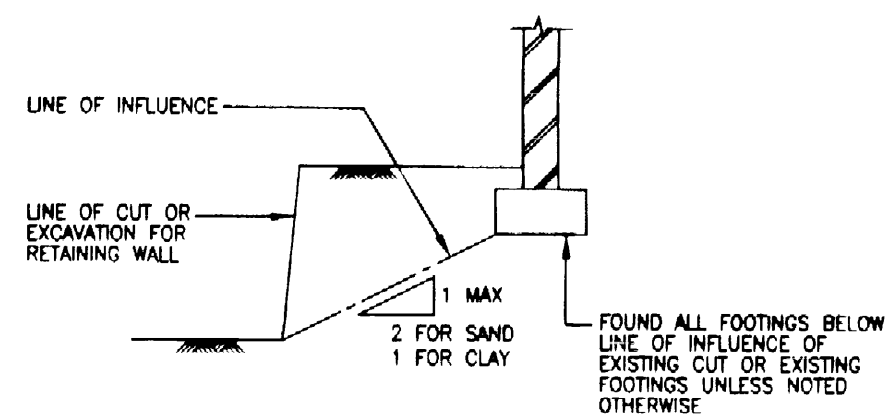
CONSTRUCTION NOTES

GENERAL

- These drawings shall be read in conjunction with all architectural and other working drawings, specifications and with such other written instructions as may be issued during the course of the contract.
- All workmanship and materials shall be in accordance with the requirements of the current edition of the SAA Codes and the By-Laws and Ordinances of the relevant Building Authority.
- The Builder shall comply with requirements of the Occupational Health & Safety Act. Any conflict between these notes, the specification, the drawings or any other relevant documents shall be referred to the Engineer for decision prior to proceeding with the work.
- Dimensions shall not be obtained by scaling the drawings. For setting out dimensions and levels refer to architectural drawings.
- The Builder shall be responsible for the provision of all shoring to maintain the stability and integrity of excavations and adjacent structures.
- During construction it is the Builder's responsibility to maintain the structure in a stable condition and to ensure no part is overstressed.
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- Fire-Resistant Levels (FRLs) required for the various structural elements must be confirmed by the BCA consultant or Architect.

FOUNDATIONS

- The minimum safe bearing capacity of foundation material shall be:
 - Pad footings: 600 kPa in ROCK
 - Strip footings: 600 kPa in ROCK
 - Raft slabs: 600 kPa in ROCK
 - Piers: 600 kPa in ROCK
- Foundation material shall be approved by the Engineer prior to placing concrete.
- The bases of facing excavations shall be finished clean and horizontal.
- Founding levels where shown are for tender purposes only.
- Any proposed facing excavation near boundaries, other structures or services shall be approved by the Engineer.
- Subgrade shall be approved material compacted to 98% Standard Dry density determined by testing to AS1289-E1.1 u.n.o.
- Locate all new footings relative to line of cut/excavation including excavations for retaining walls as follows:



LOADINGS

- Superimposed floor loads are generally in accordance with AS1170.1 and specifically:
 - 1.5 kPa. GENERALLY
 - 2.0 kPa. BALCONIES
 - 2.0 kPa. STAIRS
- Wind loads are in accordance with AS1170.2 for:
 - Terrain Category: 3
 - Region: A2
 - Topographic Multiplier: 1.0
 - Shielding Multiplier: 1.0
- Equivalent Wind Classification to AS4055 - Wind Loads for Housing: N3
- The relevant provisions of AS1170.4 have been applied for the following Earthquake Design:
 - Earthquake Design Category: H1
 - Structure Classification: DOMESTIC
 - Site factor S = 0.67
 - Ground acceleration a = 0.08

REINFORCED CONCRETE

- All workmanship and materials shall be in accordance with AS3600, the SAA Standards cited in AS3600, the drawings and the specification.
- Concrete composition and minimum clear concrete cover to reinforcement shall be as follows:-

Element	AS3600 F _{cd} MPa	Cover mm
FOOTINGS	25	50
RAFT RIBS, BTM & SIDES	25	50
INTERNAL SLAB ON GROUND	25	20 TOP 30 BOTTOM
EXTERNAL SLAB ON GROUND	40	45
EXTERNAL SLAB & SWIMMING POOL	40	45

- All concrete shall be 80mm maximum slump, 20mm maximum aggregate with no admixtures or fly ash, unless approved by the Engineer.
- Size of concrete are net, exclusive of applied finishes. Beam depths are written first and include slab thickness.
- Construction joints shall be properly formed and used only where shown or approved by the Engineer.
- No holes or chases shall be made in concrete members without the approval of the Engineer.
- Reinforcement is represented diagrammatically and is not necessarily shown in true projection.
- Welding or splices in reinforcement shall be used only in positions approved by the Engineer.
- The minimum clear spacing between conduits, cables, pipes and bars shall be as required by AS3600 but not less than three bar diameters. Conduits in slabs shall not be placed above top reinforcement or below bottom reinforcement.
- S denotes hot rolled deformed bars Grade 230S.
- N denotes hot rolled deformed bars Grade 500N.
- R denotes hot rolled plain round bars Grade 230R.
- SL, RL, L(size)TM denotes hard drawn wire fabric Grade 300.
- The Builder shall notify the Engineer a minimum of 24 hours before reinforcement has been completed. The Builder shall allow 2 hours after the completion of the reinforcement for the Engineer's inspection. Concrete shall not be ordered until reinforcement has been approved by the Engineer.
- Concrete curing shall be in accordance with AS3600. Curing shall be commenced within two hours of finishing operations and shall be continued for a minimum of seven days by an approved proprietary compound or by keeping continuously wet.
- Formwork shall be designed and constructed in accordance with AS3610. Formwork shall not be stripped nor props removed without the approval of the Engineer.
- Formwork to beams and slabs spanning greater than 5m shall be pre cambered upwards by 1/500 of the clear span u.n.o.
- All unsupported bars shall be tied in transverse direction to N12-300, lapped 500 u.n.o.
- Fabric lap details shall be in accordance with fig.13.2.4 of AS3600.
- Hooks, laps and bends shall be in accordance with AS3600 u.n.o.
- The concrete elements detailed have an FRL of 80/60/60 U.N.O.
- Provide Changers, drip grooves etc in accordance with the Architect's details.

STEELWORK

- Materials, fabrication and erection shall be in accordance with AS4100, the SAA Standards cited in AS4100 and the specification.
- Three copies of all workshop drawings shall be submitted to and approved by the Engineer prior to fabrication.
- All welds shall be 6mm continuous fillet from EX1XX Electrodes, all bolts M20 4.6/S and all cleats and gussets 10mm plate u.n.o.
- For bolts, the following notation is used:
 - 6-M20 8.8/TF denotes 8 x M16 commercial grade bolts snug tight.
 - 6-M24 8.8/TF denotes 8 x M24 high strength structural bolts fully tensioned in a no slip joint.
 - 6-M24 8.8/TF denotes 8 x M24 high strength structural bolts fully tensioned in a bearing joint.
- Welding surfaces of TF connections shall be left unpainted and free of mill scale and rust.
- Bolts in TF and TB connections shall be tightened using the part turn method or load indicating washers. Collarated torque wrenches shall not be used. A hardened washer shall be used under the bolt head or nut, whichever is rotated. The re-use of fully tensioned bolts is prohibited.
- The Builder shall provide all cleats and drill all holes necessary for fixing steel to steel or timber.
- Steel beams and trusses spanning greater than 5m shall be fabricated with an upward pre camber of 1/500 span u.n.o.
- Structural steelwork shall be prepared to class 2 and painted with Zinc Phosphate Primer to a thickness of 70 micrometres u.n.o.
- Steelwork built into masonry and exposed external steelwork shall be hot-dipped galvanized.
- Provide fire protection to all steelwork as required.
- All cold formed sections shall conform to AS1538 and be roll-formed from steel strip, minimum yield stress 450 MPa, 300g/m² minimum zinc coating mass U.N.O.
- The Builder shall provide suitable certified approved fire protection of fire spray, fire board or equal to the manufacturer's specification.
- Alternatively provide concrete encasement in accordance with the following table:

ELEMENT	FRL	MIN. CONCRETE ENCASEMENT
Columns & Beams	120/-/-	45 mm

ALL CHEMICAL ANCHORS SHALL BE HELIX HVJ ADHESIVE ANCHOR WITH FOIL CAPSULE SYSTEM INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION OR APPROVED EQUIVALENT. ALL CHEMICAL ANCHORS SHALL BE HOT DIP GALVANISED AND UNLESS NOTED OTHERWISE:
M12 MIN. 100 EMBEDMENT, MIN. 60 EDGE DISTANCE, MIN. 70 SPACING
M16 MIN. 125 EMBEDMENT, MIN. 70 EDGE DISTANCE, MIN. 100 SPACING

MASONRY

- All workmanship and materials shall be in accordance with AS3700, the Standards cited in AS3700, the drawings and the ASPL Standard Technical Specification STD-D905.
- Where masonry supports concrete slabs or beams, the top course shall be laid frog down and covered with 2 layers of approved slip joint material.
- Walls shown shaded on plan are load bearing. Non-load bearing walls under slabs shall be separated from the slabs by 15mm of approved compressible material. Where masonry abuts slab downturns, provide 15mm gap between brickwork and side of downturn.
- Masonry supported by concrete slabs or beams shall not be erected until formwork and props have been removed.
- Brick strength shall be f_u = 30 MPa u.n.o.
- Hollow concrete masonry shall be f_u = 15 MPa u.n.o.
- Masonry mortar shall be classification M3 u.n.o.
- Chases shall not be cut into load-bearing masonry without the approval of the Engineer.
- Movement control joints shall be provided vertically for full height of wall as follows for general masonry = 8m maximum centres & 4m maximum from corners, for articulated masonry = 6m maximum centres & 4m maximum from corners. Joint shall be 15mm minimum with an approved compressible filler & tied together every 4th course with an MET 3.3 masonry sliding tie or approved equal.
- Hollow walls shall be constructed to full height or maximum 3m before filling cores. Cleanout openings shall be provided at the base of all cores to be filled.
- Hollow core filling concrete shall be f_{cd} 20 MPa, 10mm aggregate, 180 slump, U.N.O.
- Reinforced masonry walls shall be constructed using "double U blocks".
- Unreinforced masonry walls have an FRL of -/-/- U.N.O.
- Unreinforced masonry walls have not been designed unless noted.

TIMBER

- All workmanship and materials shall be in accordance with AS1720 and AS1684, the SAA Standards cited in AS1720, AS1684 and the specification.
- Timber shall be SEASONED PINE, and of stress grade FB u.n.o.
- Timber shall be dressed u.n.o.
- Three copies of all truss workshop drawings shall be submitted to and approved by the Engineer prior to fabrication. All trusses to be pre-cambered upward 1/240 span u.n.o.
- Proprietary timber connectors shall be installed in accordance with the manufacturer's written instructions.
- Reinforce bolted connections in unseasoned timber prior to the fixing of cladding.
- Timber elements or timber framing have not been designed unless noted.
- In accordance with AS3660.1-1995, Provide the protection system or systems as specified by the architect.
- Where the use of treated pine for durability is noted on the structural drawings, ensure it complies with the following treatment levels:
 - Interior above ground = H3
 - Exterior above ground = H3
 - Exterior in ground = H4 & H5All in accordance with AS1604.

ALL TIMBER CONNECTIONS, TIE DOWNS BRACING AND TIMBER SIZES NOT NOMINATED ARE TO BE IN STRICT ACCORDANCE WITH AS1684. RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE ALL TIE DOWNS TO BE DESIGNED FOR GUST WIND SPEED OF 41m/s (CATEGORY N3 AS DETERMINED FROM AS4055 - WIND LOADS FOR HOUSING)

POOL NOTES

GENERAL:

- All concrete work shall be carried out in accordance with AS2783-1992.
- Verify all setting out dimensions with the owner.
- This drawing shall not be scaled to obtain dimensions.
- This design applies only for the final ground levels as shown.
- The maximum weight of any balustrade on walkways shall not exceed 30 kg/m, metre unless otherwise shown.
- M.D. denotes Main Drain.
- S.B. denotes Skimmer Box.
- P.S. denotes Pool Sweep Connection.
- R.P. denotes Return Pipe.
- U.L. denotes Underwater Light.

FOUNDATIONS:

- Foundation material shall be naturally occurring with a safe bearing capacity of 400 kPa and the Engineer shall be notified if any rock is encountered except if shown on this drawing.
- The Engineer is to be notified of any building or retaining wall footings located within 2.5 metres of the pool.
- A continuous drainage layer of sand, crushed rock or other material, approved by the Engineer, shall be provided unless it can be shown that the water table cannot rise higher than 1500mm below the top of the pool.
- Underneath of pool shall be separated from the underlying material by an impervious membrane.

REINFORCEMENT:

- Reinforcement prefixed 'S' denotes structural grade deformed bars and 'R' denotes plain round bars.
- Splices shall be lapped 40 dia. unless noted otherwise.
- Reinforcement shall be firmly supported on bar chairs at approximately 1000mm centres to provide the clear cover shown below.
- Cover to reinforcement:
 - Walkways: 30 from top
 - Floor: 60 to water face, 65 to soil face
 - Walls: 60 to water face, 65 to soil face
- Plumbing piping shall be behind reinforcement and shall have 50 minimum cover from soil or air face. Reinforcement shall be adequately wire tied and the tie ends flattened into the plane of the bars.

CONCRETE:

- Concrete shall be proportioned to achieve a batch target strength of 32 MPa and shall be pneumatically applied in one uninterrupted operation.
- The pool concrete shall be cured by keeping continuously wet over a period of not less than seven days after placement.

COUNCIL COPY

DIX GARDNER PTY LTD
FOR INFORMATION ONLY
This plan/specification is to be read in conjunction with the approved Documentation...
Construction Certificate No: 7/09

CONSTRUCTION

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No.	Issue/Amendment	App'd	Date	No.	Issue/Amendment	App'd	Date
P	ISSUE FOR PRELIMINARY		11.12.03				
A	ISSUE FOR TENDER		19.12.03				
B	ISSUE FOR CONSTRUCTION		28.01.04				
C	RE-ISSUE FOR CONSTRUCTION		13.02.04				



Partridge Partners

Engineering Consultants
Structural
Civil
Facade
Ecological
Forensic

Level 4, 1 Chandos Street, St Leonards NSW 2055 Tel 9460 9000 Fax 9460 9090

Project
PROPOSED NEW RESIDENCE AT
88 ELIMATTA ROAD
MONA VALE
FOR
Mr A. Nicholl

CONSTRUCTION NOTES

Architect Baker Kavanagh Architects Ph (02) 9318 9200	Designed N.J.
Approved B.E. Nicholl B.E. M.EngSc. F.I.E. AUST.	Checked K.B.
Scale at A1 N/A	Date NOVEMBER 2003
Job No. 2003.0261	Drawing No. S1
	Arndt. C



-
- 50 MIN
- FABRIC LAP DIAGRAM

WJ. DENOTES WALL JOINT (BOTH SKINS OF EXTERNAL WALLS). REFER TO CONSTRUCTION NOTE M9 ON DRG. No. 1. PROVIDE M.E.T. 5-3 TIES EVERY 4th COURSE.

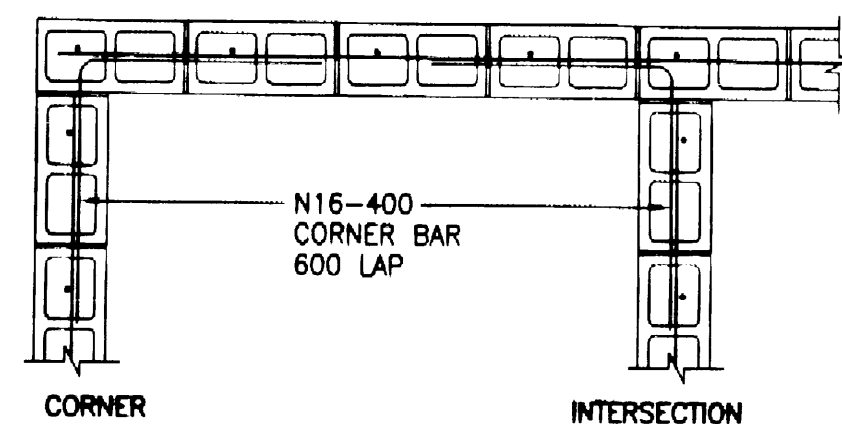
- ## RESIDENTIAL GROUND PREPARATION

RESIDENTIAL GROUND PREPARATION

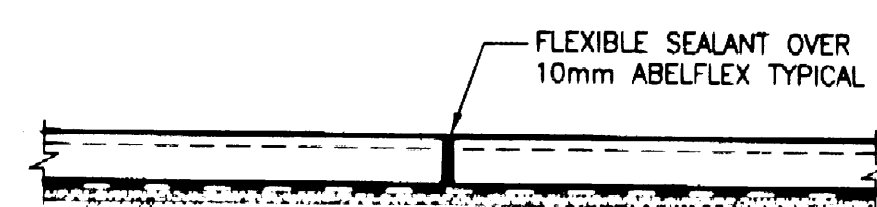
1. REMOVE ALL TOPSOIL AND ORGANIC MATERIAL. IF SOFT AND/OR WET CONDITIONS ARE ENCOUNTERED THE SUBGRADE IS TO BE INSPECTED BY THE SUPERVISING ENGINEER AND HIS WRITTEN INSTRUCTIONS RECEIVED PRIOR TO PROCEEDING.
2. DIG OUT ANY SOFT SPOTS AND REPLACE WITH FILL.
3. PROVIDE "CONTROLLED FILL" OR "ROLLED FILL" COMPACTED IN ACCORDANCE WITH AS 2870, PART 6.4.2.

MEMBER SCHEDULE

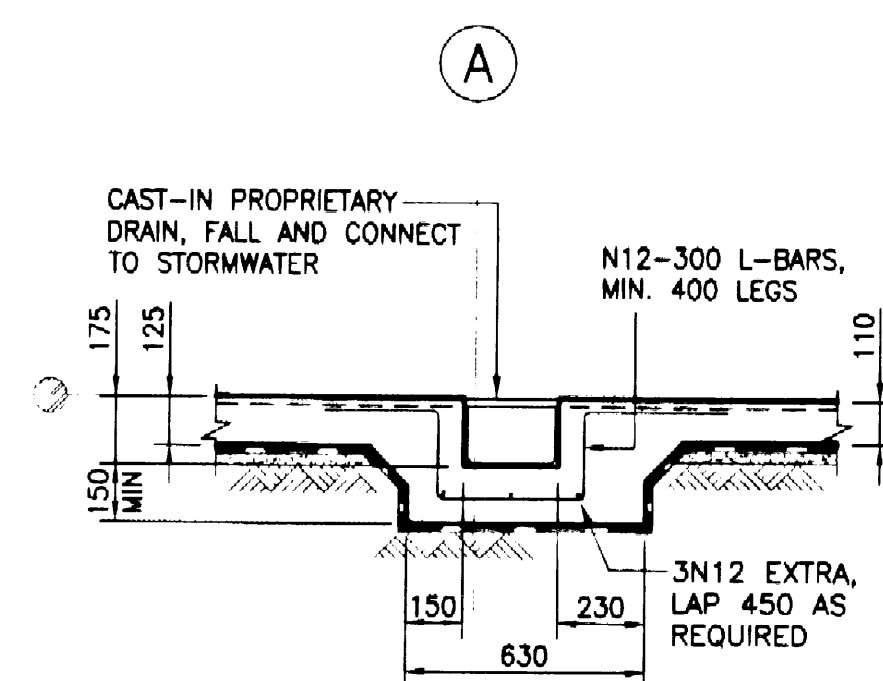
SC1	STEEL COLUMN	REFER DRAWING S3 FOR SIZE
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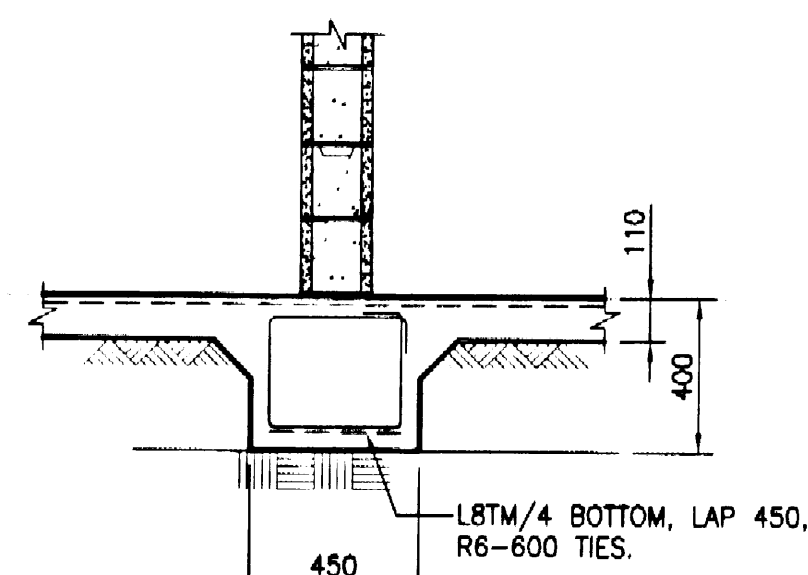
PLAN ON BLOCK WALL JUNCTION DETAILS



STRAIGHT JOINT DETAIL - (S.J.)

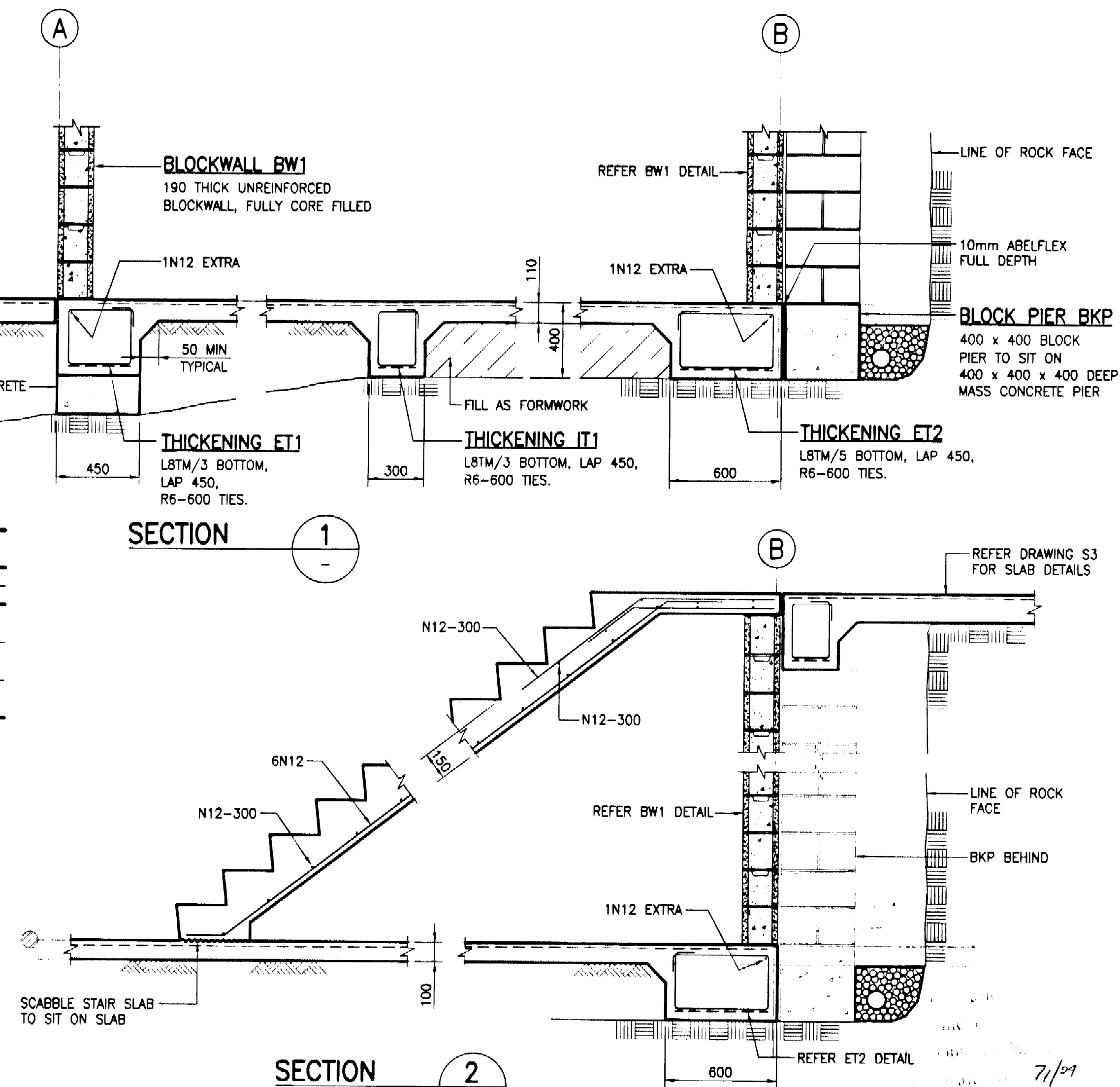


THICKENING ET3

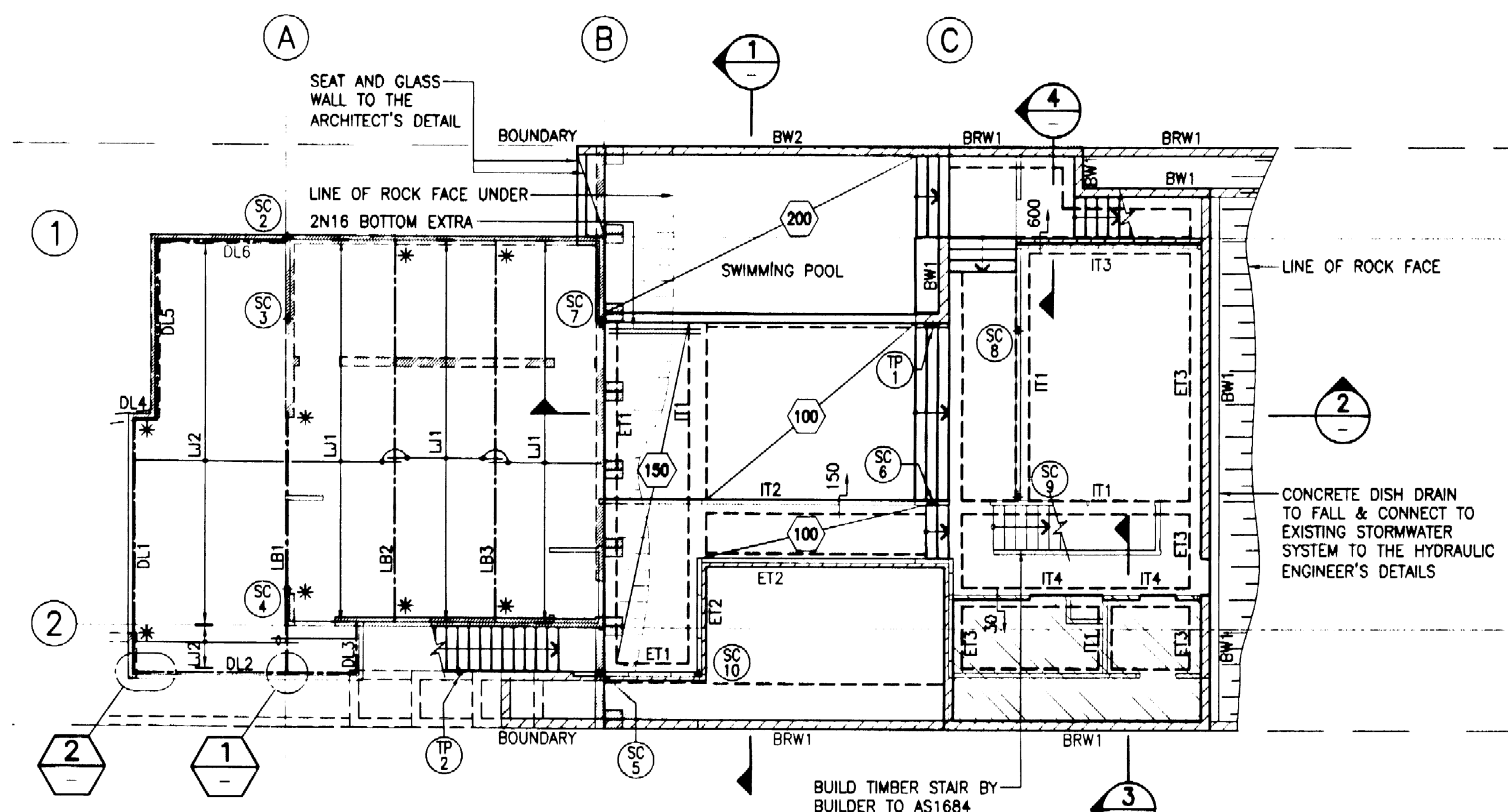


THICKENING IT2

RETAINING WALL		SCHEDULE	
HEIGHT H	WIDTH B	REINFORCEMENT	
		V BARS	X BARS
1000	750	N16 - 400	N16 - 400
1400	1000	N16 - 400	N16 - 400
1800	1400	N16 - 400	N16 - 400



CONSTRUCTION



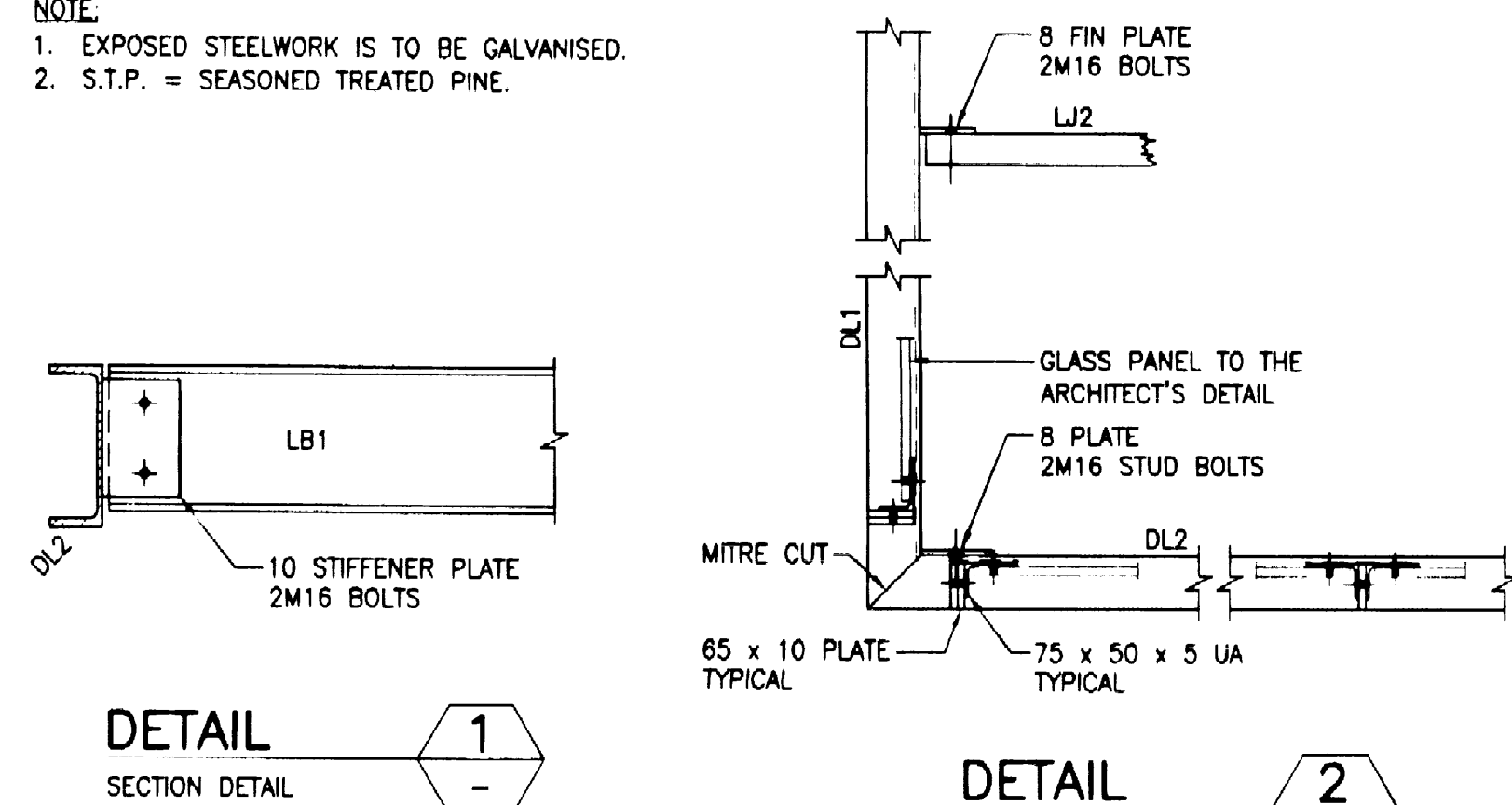
LOWER FLOOR SLAB AND FRAMING PLAN 110 THICK SLABS UNLESS NOTED OTHERWISE

- THESE SLABS AND FOOTINGS HAVE BEEN DESIGNED TO CLASS A SITE CLASSIFICATION IN ACCORDANCE WITH AS 2870 - RESIDENTIAL SLABS AND FOOTINGS CODE FOR ARTICULATED FULL MASONRY CONSTRUCTION. SITE CLASSIFICATION TO BE CONFIRMED BY THE BUILDER'S GEOTECHNICAL ENGINEER.
- (150) DENOTES SLAB THICKNESS.
CAST SLAB ON 0.2 THICK WATERPROOF MEMBRANE OVER 20 MAXIMUM SAND COMPACTED BY WETTING.
- REFER TO NOTE M9 FOR DETAILS AND SPACING OF WALL JOINTS IN MASONRY WALLS.
- REINFORCE ALL SLABS WITH SLB2 FABRIC IN TOP THROUGHOUT, UNLESS NOTED OTHERWISE, WITH EXTRA REINFORCEMENT AS NOTED ON PLAN.
- DENOTES 30mm SETDOWN IN WET AREAS ON PLAN.
- DENOTES STEEL COLUMN OVER.
- DENOTES STEEL COLUMN UNDER.
- DENOTES TIMBER POST OVER.
- DENOTES LOAD BEARING WALLS UNDER.
- DENOTES WALLS OVER.
- DENOTES BEAM END BEARING - REFER DETAIL.

MEMBER SCHEDULE

SC1	STEEL COLUMN	NOT USED
SC2 to SC4, SC8 & SC9	STEEL COLUMN	150 x 75 x 9 RHS
SC5 to SC7 & SC10	STEEL COLUMN	89 x 89 x 6 SHS
TP1 & TP2	TIMBER POST	REFER DRAWING S4 FOR SIZE
LB1 to LB3	STEEL BEAM	200 UB 30
LJ1	FLOOR JOIST	200 x 45 (F17) S.T.P.
LJ2	FLOOR JOIST	200 x 45 (F7) S.T.P. AT 300 CTS
DL1 to DL6	STEEL LINTEL	230 PFC

NOTE:
1. EXPOSED STEELWORK IS TO BE GALVANISED.
2. S.T.P. = SEASONED TREATED PINE.



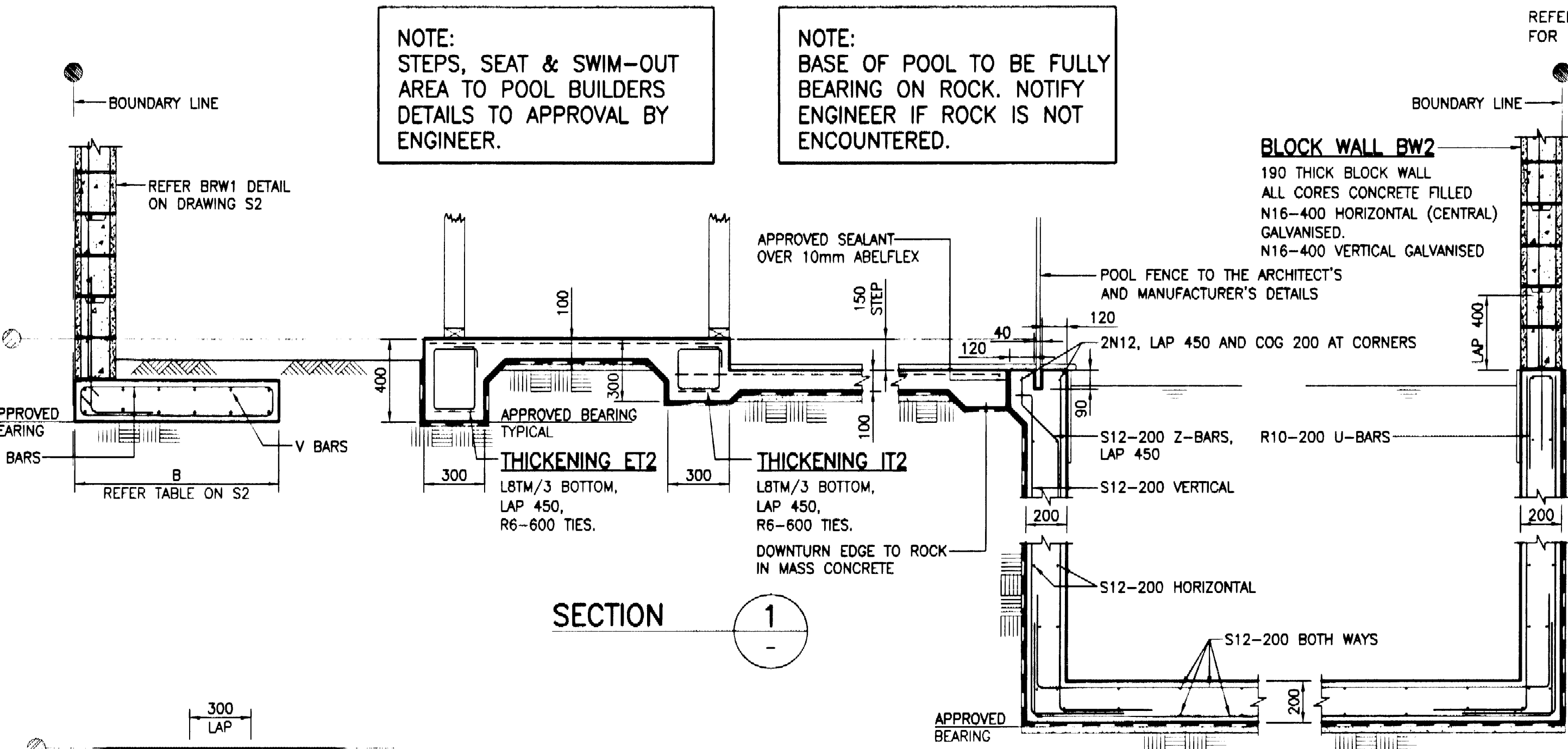
DETAIL 1 SECTION DETAIL
DETAIL 2 SECTION DETAIL
FLOOR JOIST & CLEAT NOT SHOWN FOR CLARITY

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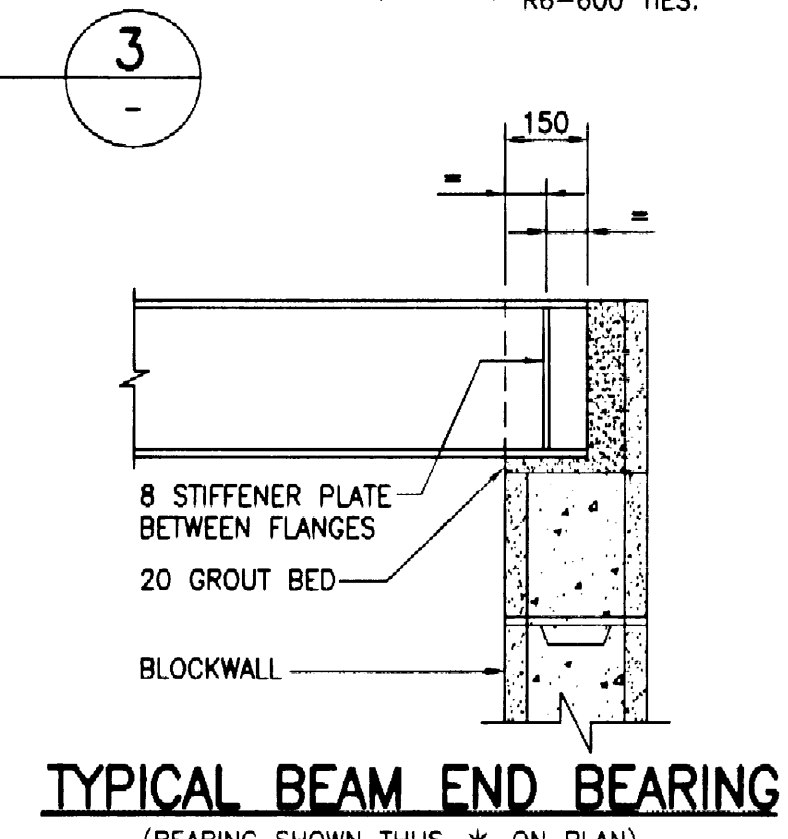
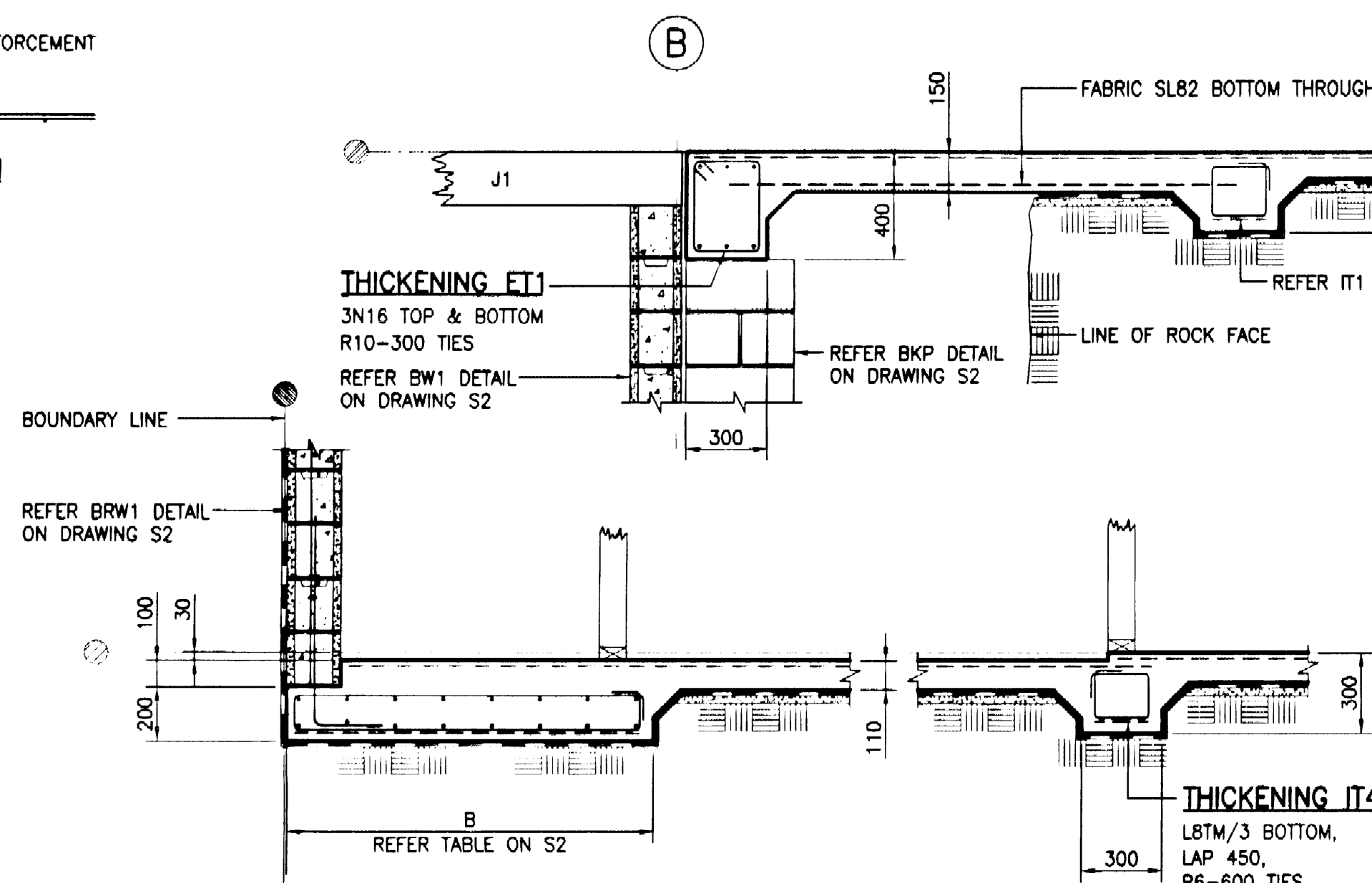
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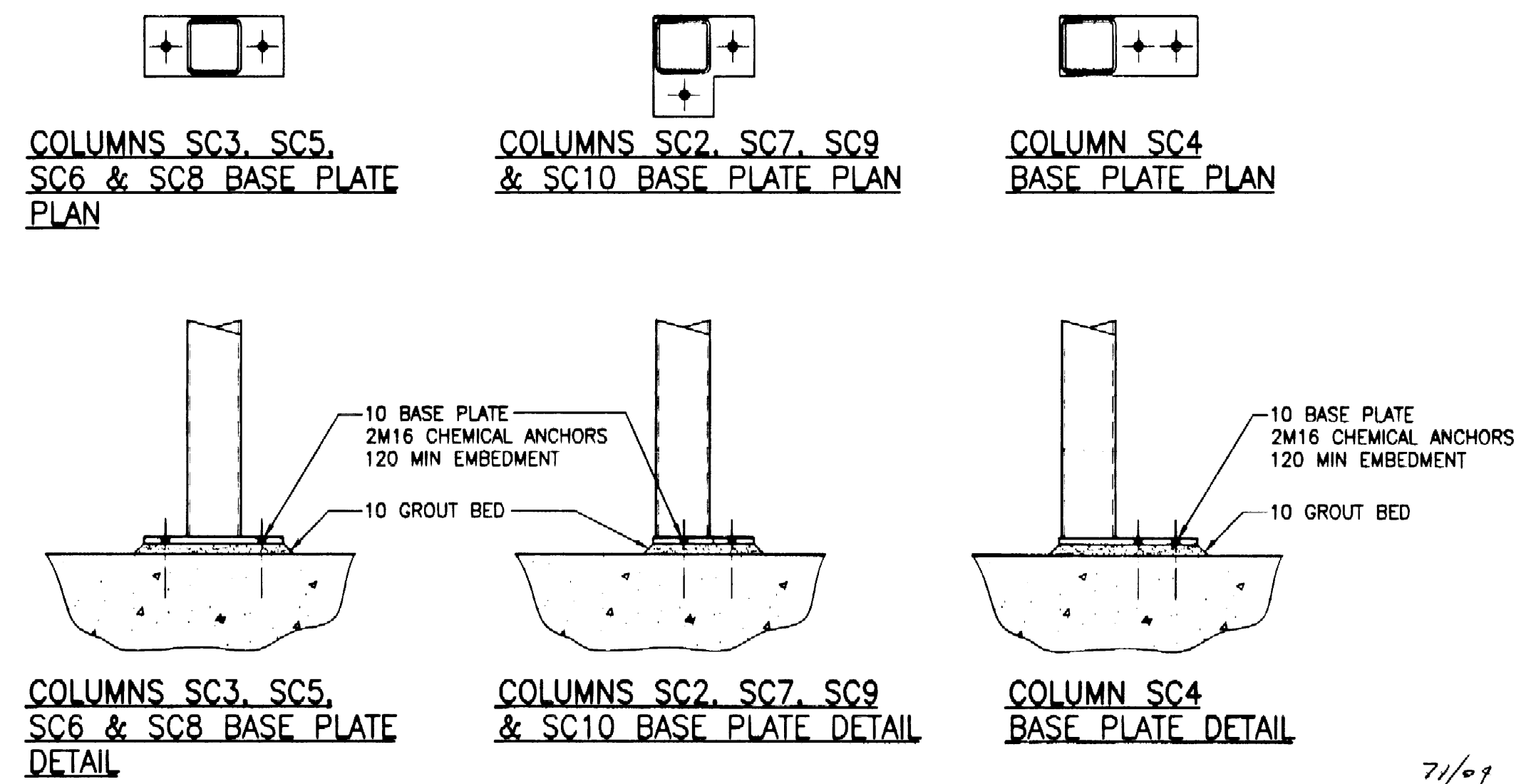
Partridge Partners
Engineering Consultants
Structural
Civil
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Forensic
Level 4, 1 Chandos Street, St Leonards NSW 2065 Tel 9460 9000 Fax 9460 9090



JOIST TO BEAM CONNECTION



TYPICAL BEAM END BEARING
(BEARING SHOWN THUS * ON PLAN)

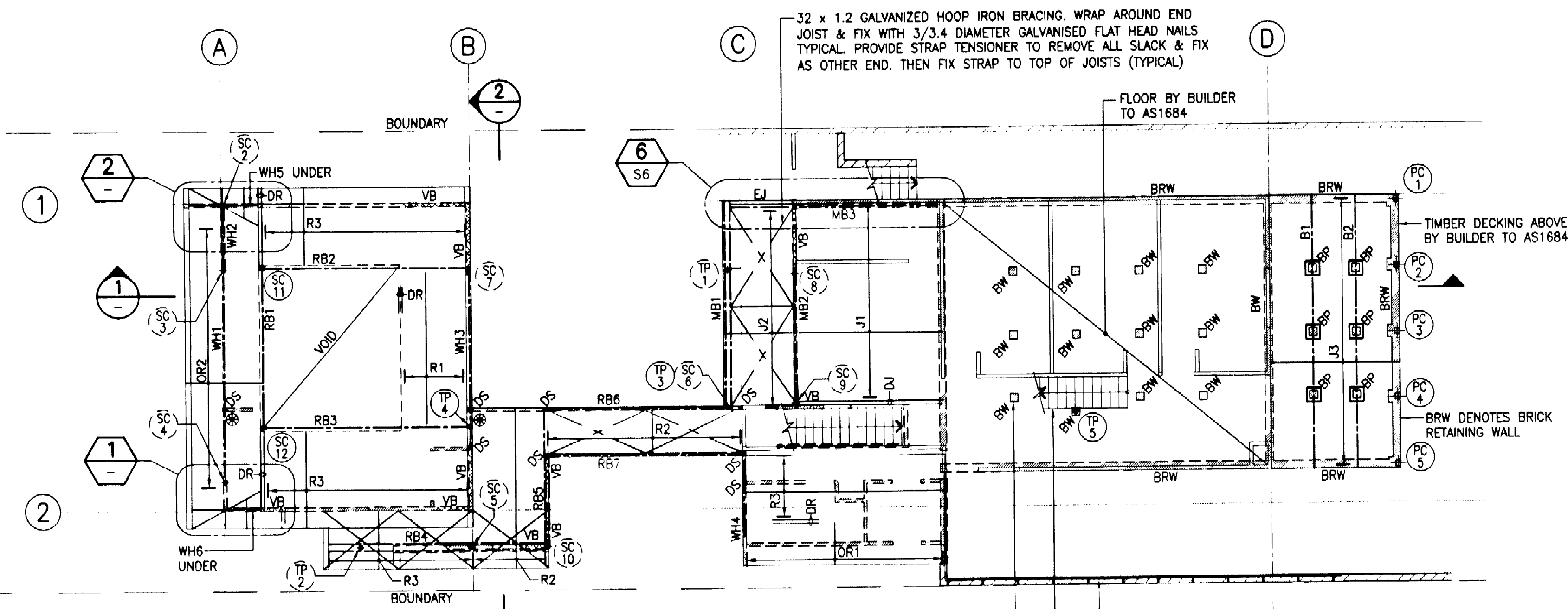


COLUMNS SC3, SC5, SC6 & SC8 BASE PLATE PLAN
COLUMNS SC2, SC7, SC9 & SC10 BASE PLATE PLAN
COLUMN SC4 BASE PLATE PLAN
COLUMNS SC3, SC5, SC6 & SC8 BASE PLATE DETAIL
COLUMNS SC2, SC7, SC9 & SC10 BASE PLATE DETAIL
COLUMN SC4 BASE PLATE DETAIL

CONSTRUCTION

Project: PROPOSED NEW RESIDENCE AT 88 ELUMATTA ROAD MONA VALE FOR Mr A. Nicholl	Architect: Baker Kavanagh Architects Ph (02) 9318 9200 Approved: <i>Steve Kavanagh</i> Scale at A1: 1:100, 1:20 Job No.: 2003.0261	Designed: N.J. Checked: <i>K.B.</i> Date: NOVEMBER 2003 Drawing No.: S3 Arndt: C
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REFER TO DRAWING No. S1
FOR CONSTRUCTION NOTES



MID FLOOR & LOWER ROOF FRAMING PLAN

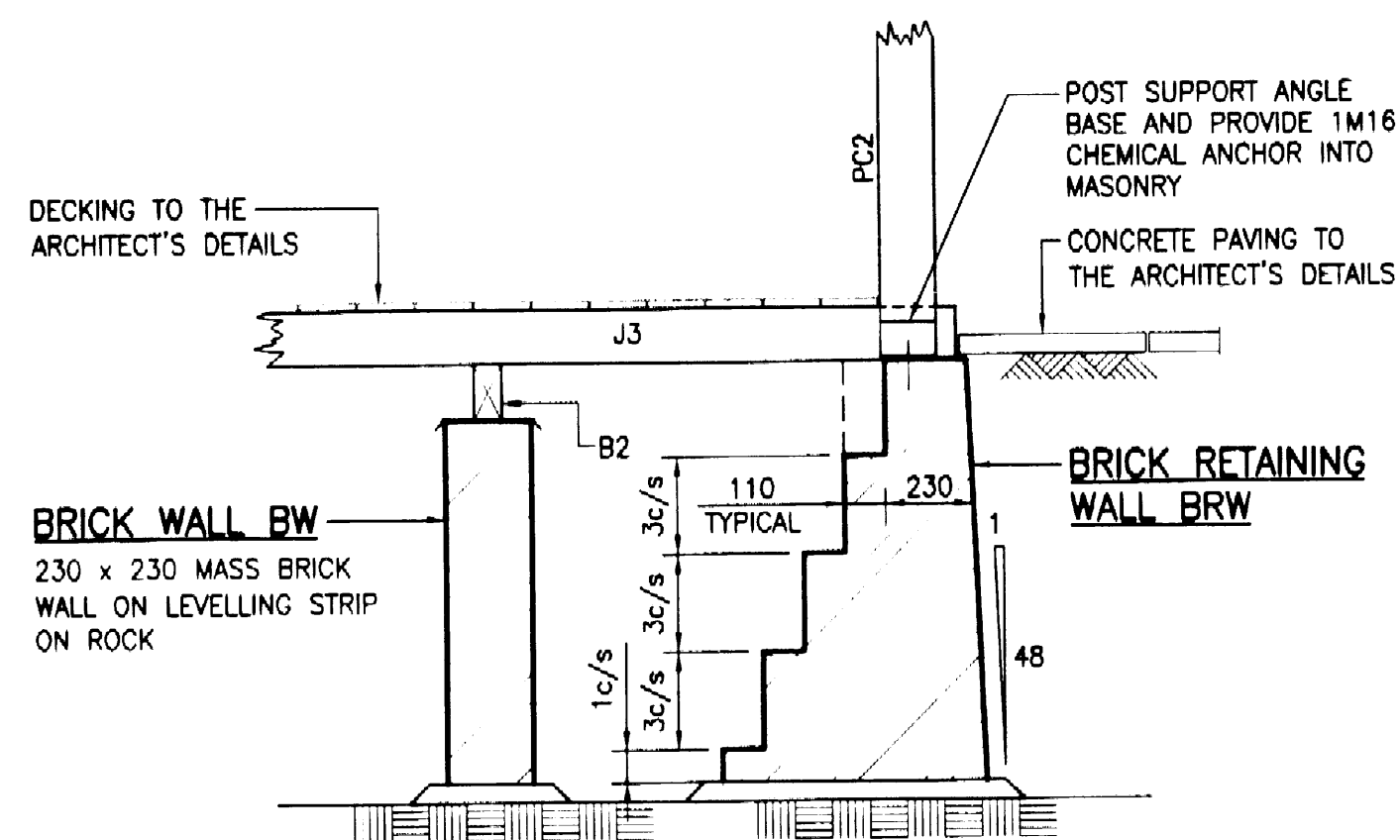
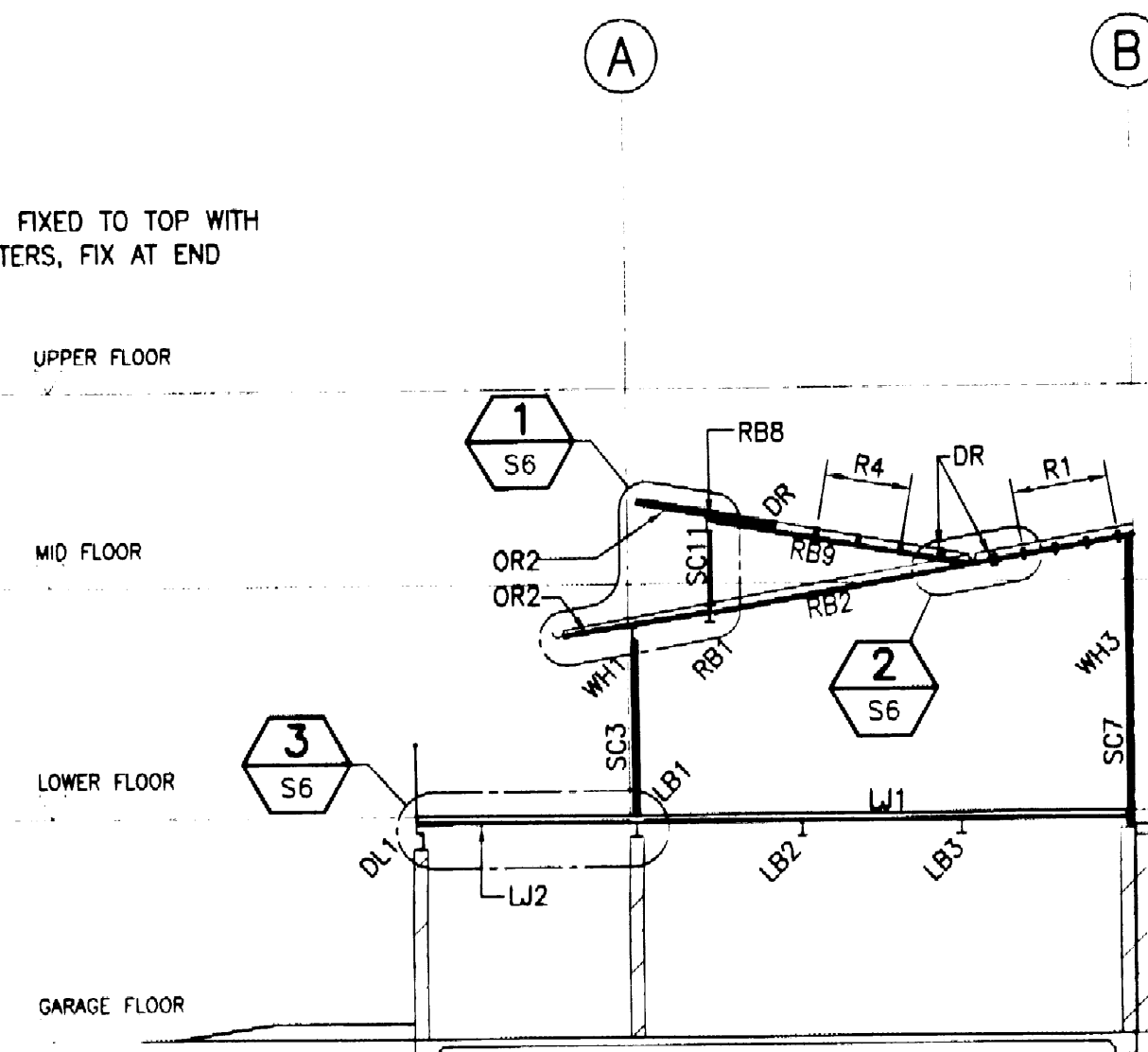
- PC DENOTES PERGOLA COLUMN OVER.
- SC DENOTES STEEL COLUMN OVER.
- SC DENOTES STEEL COLUMN UNDER.
- TP DENOTES TIMBER POST OVER.
- TP DENOTES TIMBER POST UNDER.
- ===== DENOTES LOAD BEARING WALLS UNDER.
- ===== DENOTES WALLS OVER.
- VB DENOTES TYPE "B" VERTICAL WALL BRACING UNDER (6 THICK F11 PLYWOOD) FIXED IN ACCORDANCE WITH AS 1684.
- ===== DENOTES DOUBLE HOOP IRON STRAP HOLD DOWN TIES TO FLOOR BELOW.
- EJ DENOTES EDGE JOIST.
- DJ DENOTES DOUBLE JOIST.
- DS DENOTES DOUBLE STUD.
- DR DENOTES DOUBLE RAFTER.
- GL DENOTES 30 x 1.2 GALVANISED STRAP FIXED TO TOP WITH 1/3.188 x 50 FLATHEAD NAIL OF RAFTERS, FIX AT END WITH 3/3.188 x 50 FLATHEAD NAILS.

MEMBER SCHEDULE

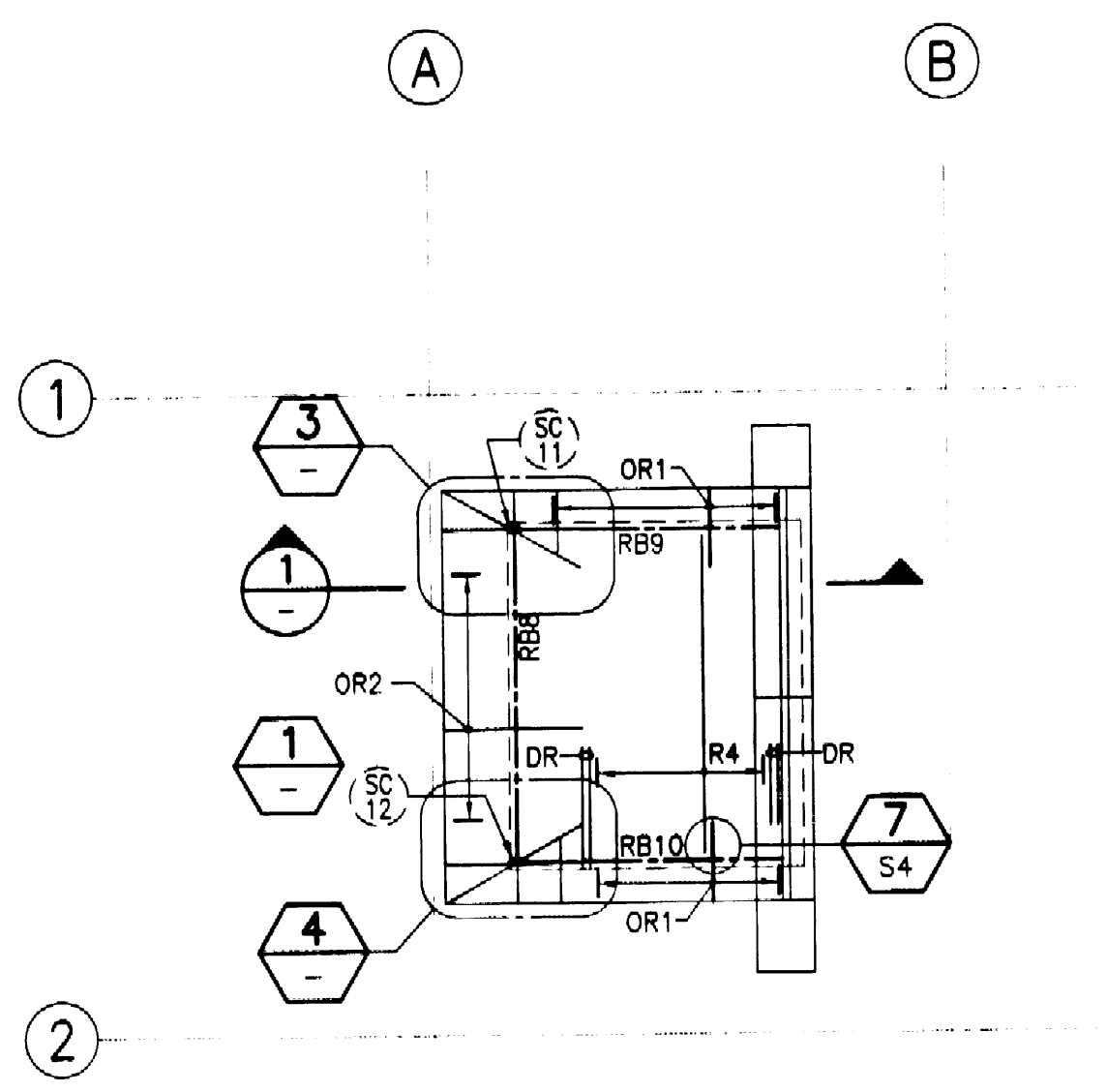
MID FLOOR		
SC1 to SC10	STEEL COLUMN	REFER DRAWING S3 FOR SIZE
SC11 & SC12	STEEL COLUMN	150 x 75 x 9 RHS
PC1 to PC5	PERGOLA COLUMN	150 x 150 (F17) SEASONED HARDWOOD
TP1 to TP5	TIMBER POST	100 x 100 (F17) SEASONED HARDWOOD
MB1	TIMBER BEAM	2/190 x 45 (F17) SEASONED HARDWOOD
MB2	STEEL BEAM	200 UB 30
MB3	STEEL BEAM	200 PFC (GALVANISED). M12 COACH SCREWS AT 600 CTS TO EDGE JOIST
J1	FLOOR JOIST	240 x 45 LVL AT 450 CTS (OR 200 x 45 LVL AT 300 CTS)
J2	FLOOR JOIST	240 x 45 S.T.P. AT 450 CTS
J3	FLOOR JOIST	140 x 45 (F7) S.T.P. AT 450 CTS
B1 & B2	BEARER	190 x 45 (F7) S.T.P.
LOWER ROOF		
RB1	ROOF BEAM	250 UB 25
RB2 & RB3	ROOF BEAM	250 UB 37
RB4	ROOF BEAM	2/145 x 45 (F7) S.T.P.
RB5 to RB7	ROOF BEAM	200 x 63 (F16) LVL
R1	RAFTERS	150 x 45 (F16) LVL AT 450 CTS
R2	RAFTERS	150 x 45 (F16) LVL AT 600 CTS
R3	RAFTERS	140 x 45 (F7) S.T.P. AT 600 CTS
WH1, WH2, WH5 & WH6	WINDOW HEAD	200 PFC
WH3	WINDOW HEAD	200 x 100 x 9 RHS
WH4	WINDOW HEAD	150 x 63 (F16) LVL
OR1	OUTRIGGER	140 x 45 (F7) S.T.P. AT 600 CTS
OR2	OUTRIGGER	90 x 45 (F7) S.T.P. AT 600 CTS
BA	BATTENS	45 x 45 (F7) S.T.P. AT 450 CTS
LOWER ROOF (OVER VOID)		
RB8 to RB10	ROOF BEAM	200 PFC
R4	RAFTERS	150 x 45 (F16) LVL AT 600 CTS
OR1	OUTRIGGER	140 x 45 (F7) S.T.P. AT 600 CTS
OR2	OUTRIGGER	90 x 45 (F7) S.T.P. AT 600 CTS

NOTE:
1. EXPOSED STEELWORK IS TO BE GALVANISED.
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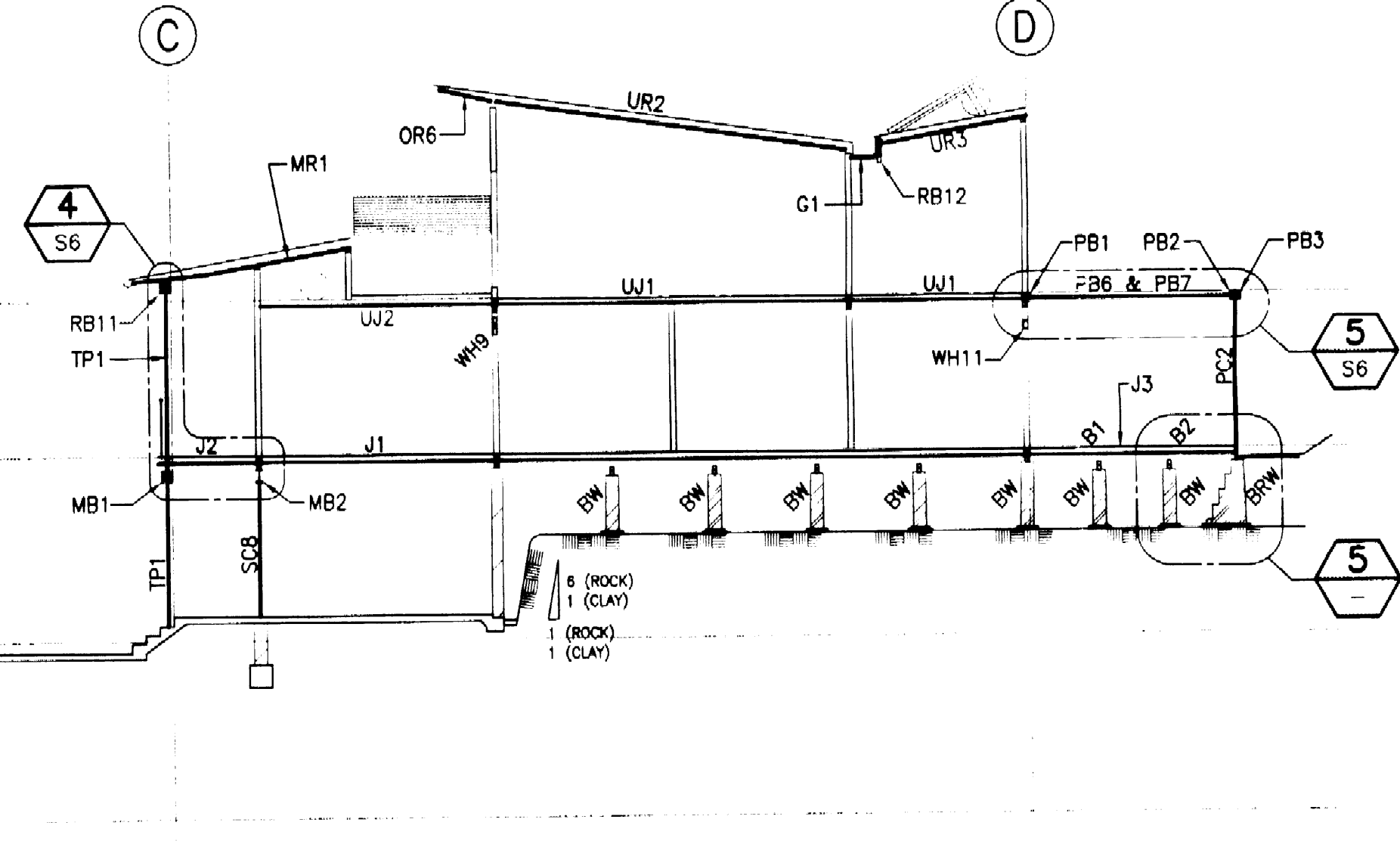
TIMBER FENCE ON TOP OF BLOCK RETAINING WALL TO THE ARCHITECT'S DETAIL.
TIMBER STAIRS BY BUILDER TO AS1684
BW DENOTES MINIMUM 230 x 230 MASS BRICK PIERS ON LEVELLING STRIP ON ROCK. SIZE AND SPACING ARE TO AS1684 REQUIREMENT.



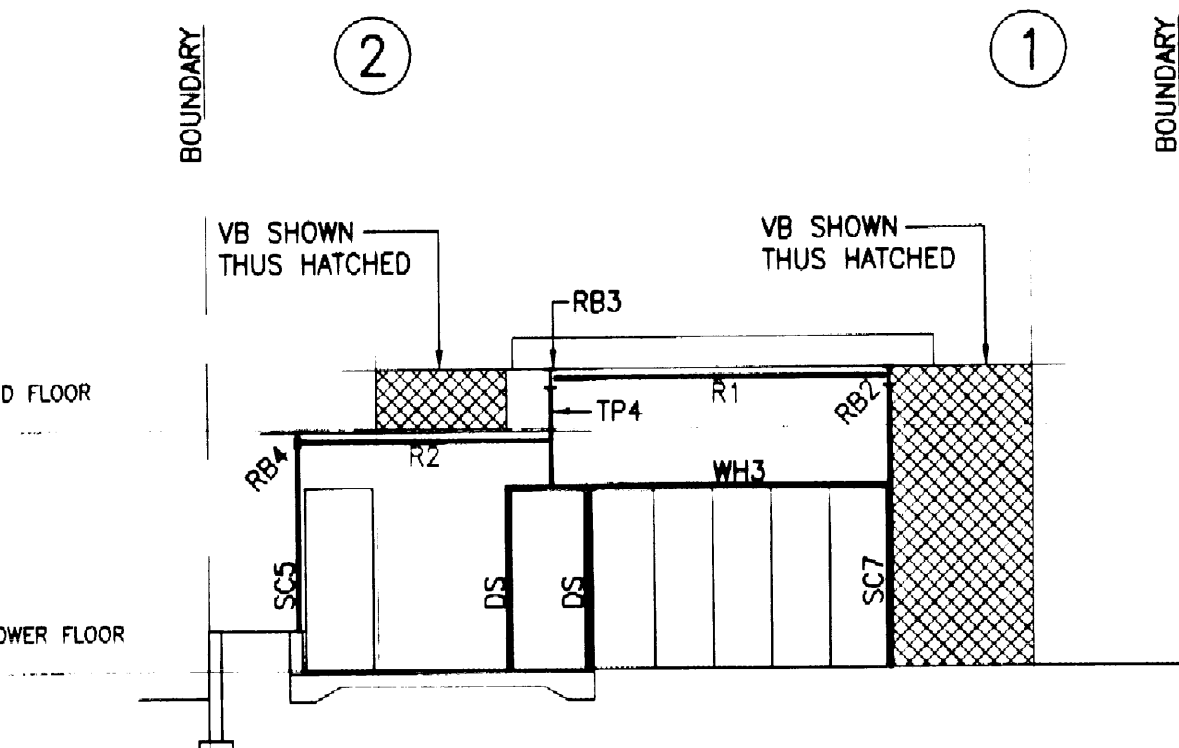
DETAIL 5



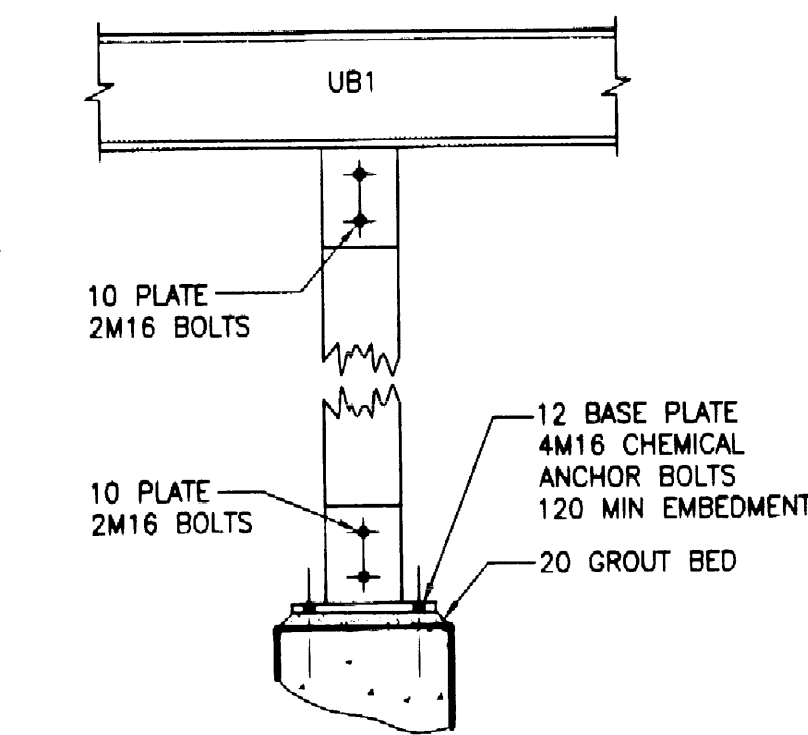
LOWER ROOF FRAMING PLAN (OVER VOID)



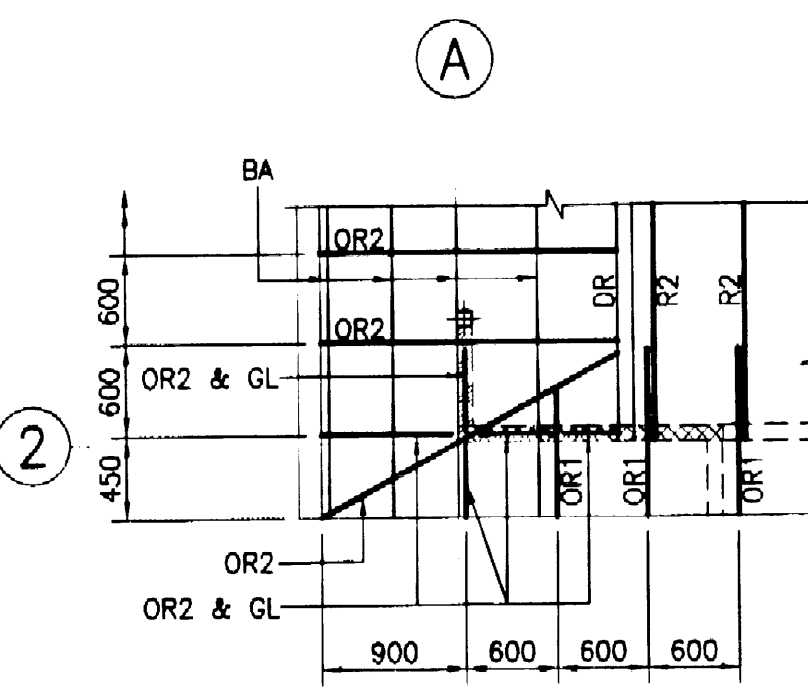
SECTION 1



SECTION 2



TIMBER POST TP5 DETAIL

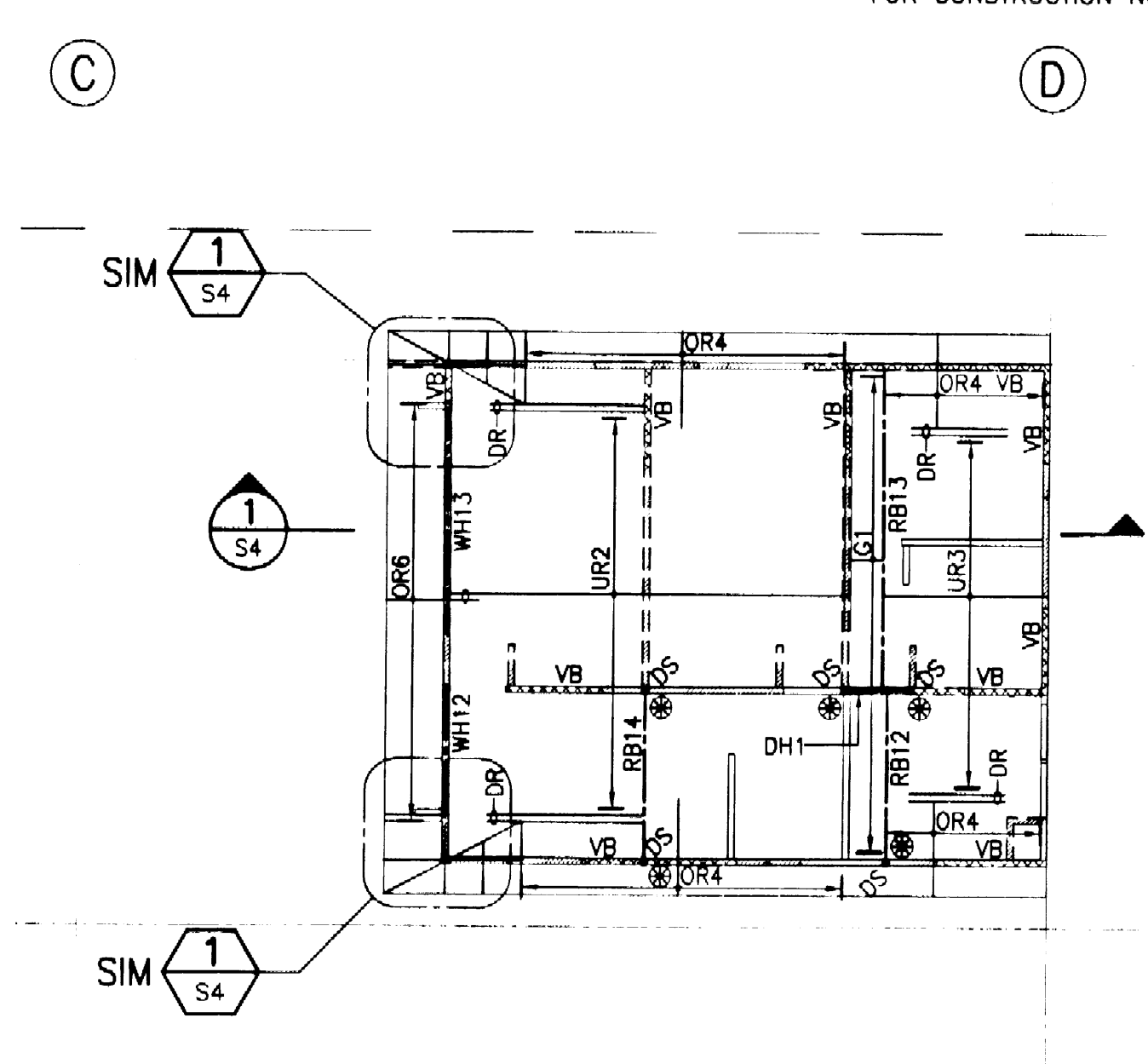
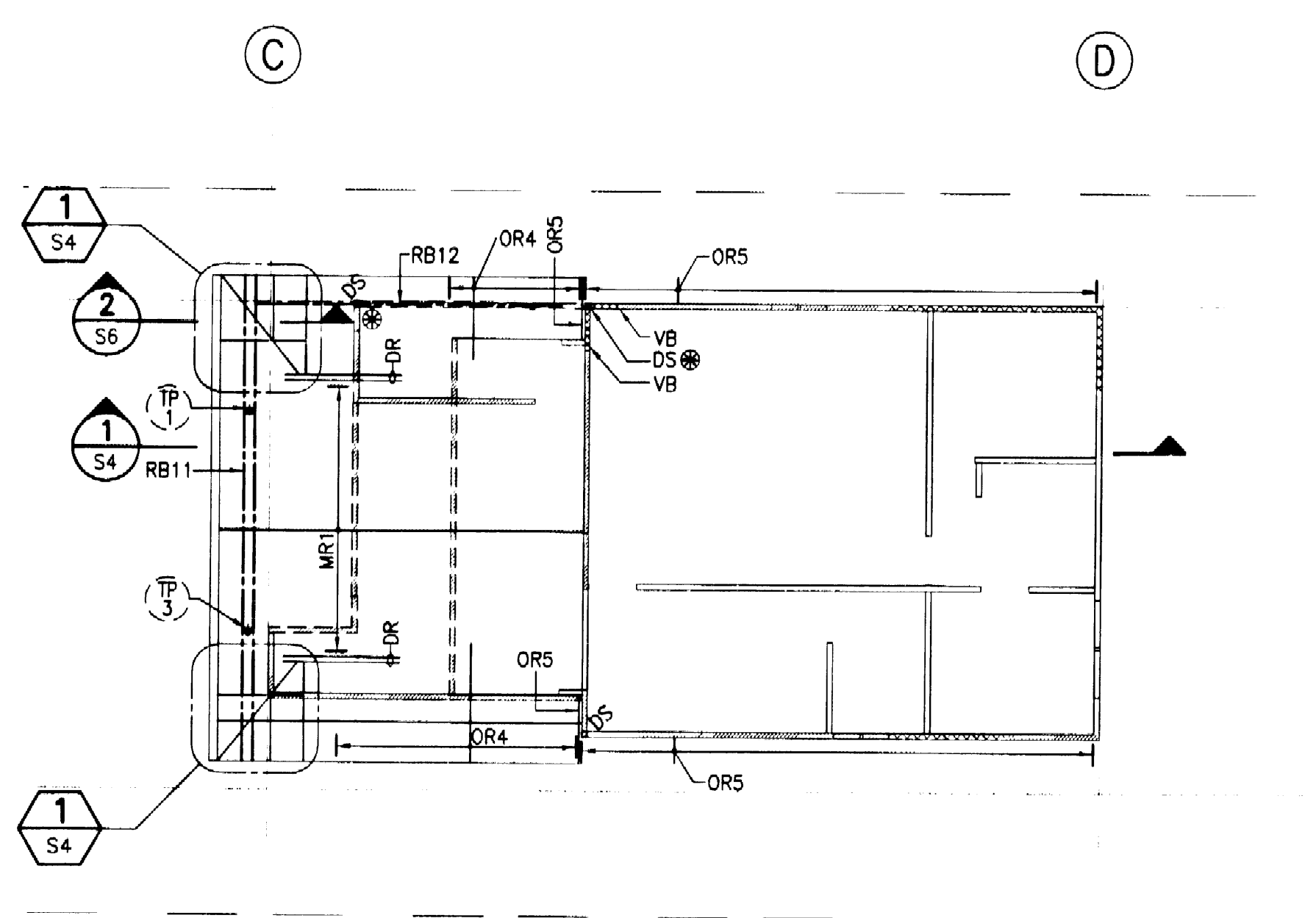
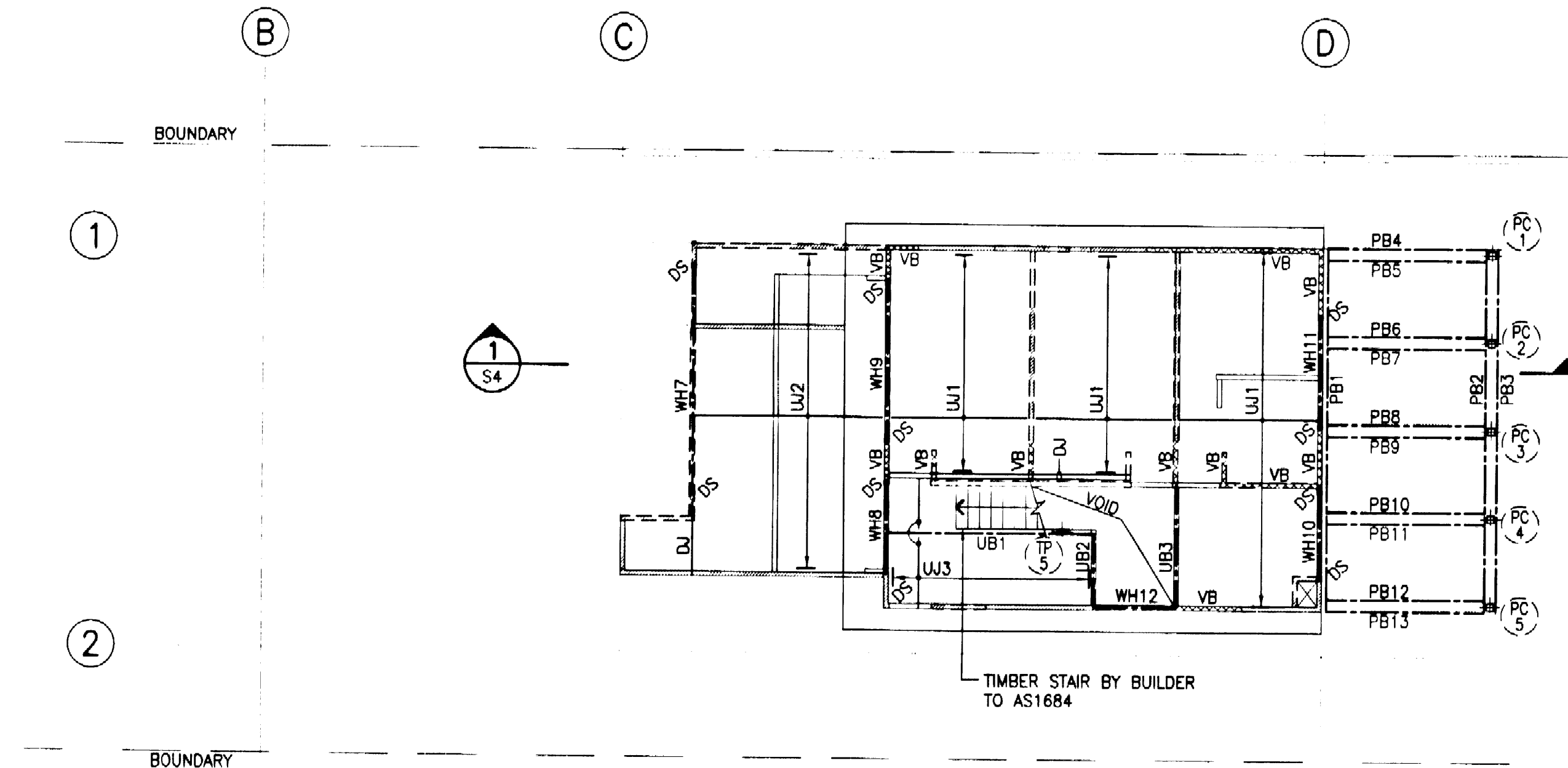


DETAIL 1

DETAIL 2 - OPPOSITE HAND
DETAIL 3 & 4 - SIMILAR

CONSTRUCTION

	No.	Issue/Amendment	App'd	Date	No.	Issue/Amendment	App'd	Date
	P	ISSUE FOR PRELIMINARY		11.12.03				
	A	ISSUE FOR TENDER		19.12.03				
	C	RE-ISSUE FOR CONSTRUCTION		28.01.04				
Level 4, 1 Chandos Street, St Leonards NSW 2065 Tel 9480 9000 Fax 9480 9090								
Project: PROPOSED NEW RESIDENCE AT 88 ELIMATTA ROAD MONA VALE FOR Mr A. Nicholl								
Drawing Title: MID FLOOR AND LOWER ROOF FRAMING PLAN AND DETAILS								
Architect: Baker Kavanagh Architects Ph (02) 9318 9200			Designed: N.J.			Checked: J.		
Approved:			B.E. M.EngSc. F.I.E. AUSTR.			Drawn: K.B.		
Scale at A1: 1:100, 1:50, 1:10			Date: NOVEMBER 2003			Amdt: C		
Job No: 2003.0261			Drawing No: S4					



UPPER FLOOR FRAMING PLAN

1. (PC) DENOTES PERGOLA COLUMN UNDER.
2. DENOTES LOAD BEARING WALLS UNDER.
3. DENOTES WALLS OVER.
4. DENOTES TYPE "B" VERTICAL WALL BRACING UNDER (6 THICK F11 PLYWOOD) FIXED IN ACCORDANCE WITH AS 1684.
5. DENOTES DOUBLE HOOP IRON STRAP HOLD DOWN TIES TO FLOOR BELOW.
6. GL DENOTES 30 x 1.2 GALVANISED STRAP FIXED TO TOP WITH 1/3.18# x 50 FLATHEAD NAIL OF RAFTERS, FIX AT END WITH 3/3.18# x 50 FLATHEAD NAILS.

MEMBER SCHEDULE

UPPER FLOOR		
TP5	TIMBER POST	REFER DRAWING S4 FOR SIZE
PC1 to PC5	PERGOLA COLUMN	REFER DRAWING S4 FOR SIZE
UB1 to UB3	STEEL BEAM	150 PFC
PB1 to PB13	PERGOLA BEAM	150 x 45 SEASONED HARDWOOD
UJ1	FLOOR JOIST	200 x 45 (F16) LVL AT 450 CTS
UJ2	FLOOR JOIST	200 x 45 (F16) LVL AT 300 CTS
UJ3	FLOOR JOIST	130 x 45 (F16) LVL AT 450 CTS
WH7	WINDOW HEAD	200 x 100 x 9 RHS
WH8 & WH9	WINDOW HEAD	150 PFC
WH10 & WH11	WINDOW HEAD	200 x 63 (F16) LVL
MID ROOF		
TP1 & TP2	TIMBER POST	REFER DRAWING S4 FOR SIZE
RB11	ROOF BEAM	2/240 x 45 (F17) SEASONED HARDWOOD
RB12	ROOF BEAM	200 PFC
MR1	RAFTER	145 x 45 (F7) S.T.P. AT 600 CTS
OR4	OUTRIGGER	140 x 45 (F7) S.T.P. AT 600 CTS
OR5	OUTRIGGER	OUT OF 140 x 45 (F7) S.T.P. AT 600 CTS
UPPER ROOF		
OR4	OUTRIGGER	140 x 45 (F7) S.T.P. AT 600 CTS
OR6	OUTRIGGER	90 x 45 (F7) S.T.P. AT 600 CTS
RB12 to RB14	ROOF BEAM	240 x 63 (F16) LVL (OR 200 PFC)
UR2	RAFTERS	200 x 45 (F16) LVL AT 600 CTS
UR3	RAFTERS	150 x 45 (F7) S.T.P. AT 600 CTS
G1	GUTTER SUPPORT	100 x 45 (F8) AT 600 CTS
WH12 & WH13	WINDOW HEAD	200 x 63 (F16) LVL
DH1	DOOR HEAD	140 x 63 (F16) LVL

NOTE:

1. EXPOSED STEELWORK IS TO BE GALVANISED.
2. S.T.P. = SEASONED TREATED PINE.
3. DU = DOUBLE JOIST.
4. DS = DOUBLE STUD.
5. DR = DOUBLE RAFTER.

MID ROOF FRAMING PLAN

UPPER ROOF FRAMING PLAN

No.	Issue/Amendment	App'd	Date	No.	Issue/Amendment	App'd	Date
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C	RE-ISSUE FOR CONSTRUCTION		13.02.04				

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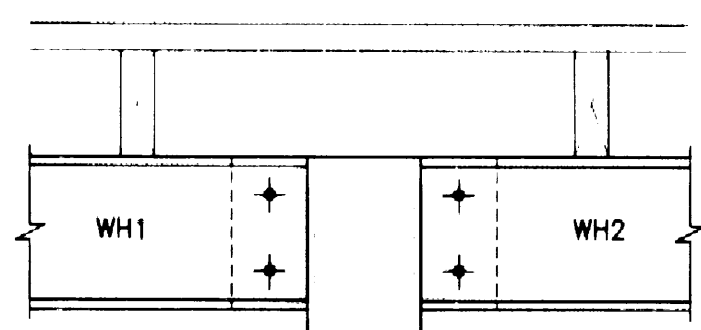
Project:
PROPOSED NEW RESIDENCE AT
35 ELIMATTA ROAD
MONA VALE
FOR
Mr A. Nicholl

Drawing Title:
UPPER FLOOR & ROOF FRAMING
PLAN AND DETAILS

Architect Baker Kavanagh Architects Ph (02) 9318 9200			Designed N.J.	
Approved <i>Side Janiade</i> B.E. M.Engg. F.I.L. AUST.			Checked <i>g</i>	
Scale at A1 1:100, 1:10		Date DECEMBER 2003		Drawn K.B.
Job No. 2003.0261		Drawing No. S5		Amtd. C

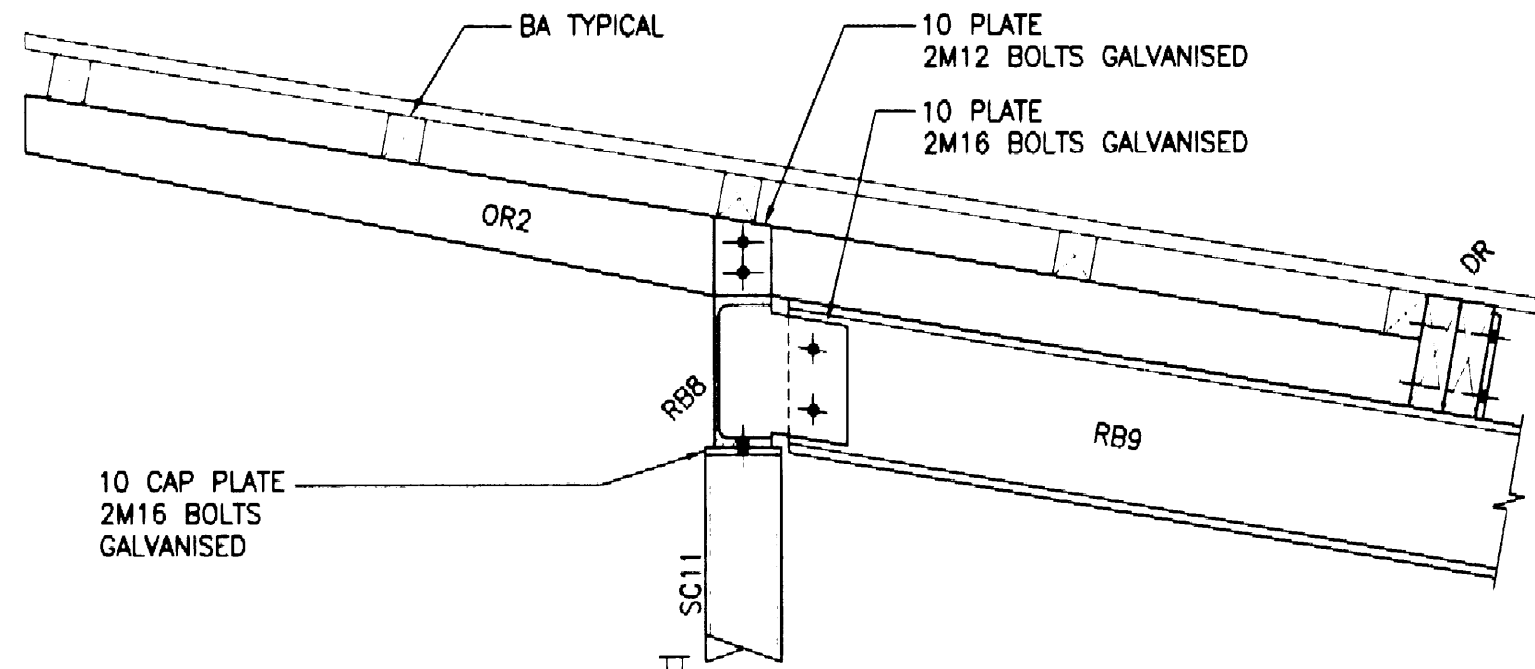
CONSTRUCTION

REFER TO DRAWING No. S1
FOR CONSTRUCTION NOTES



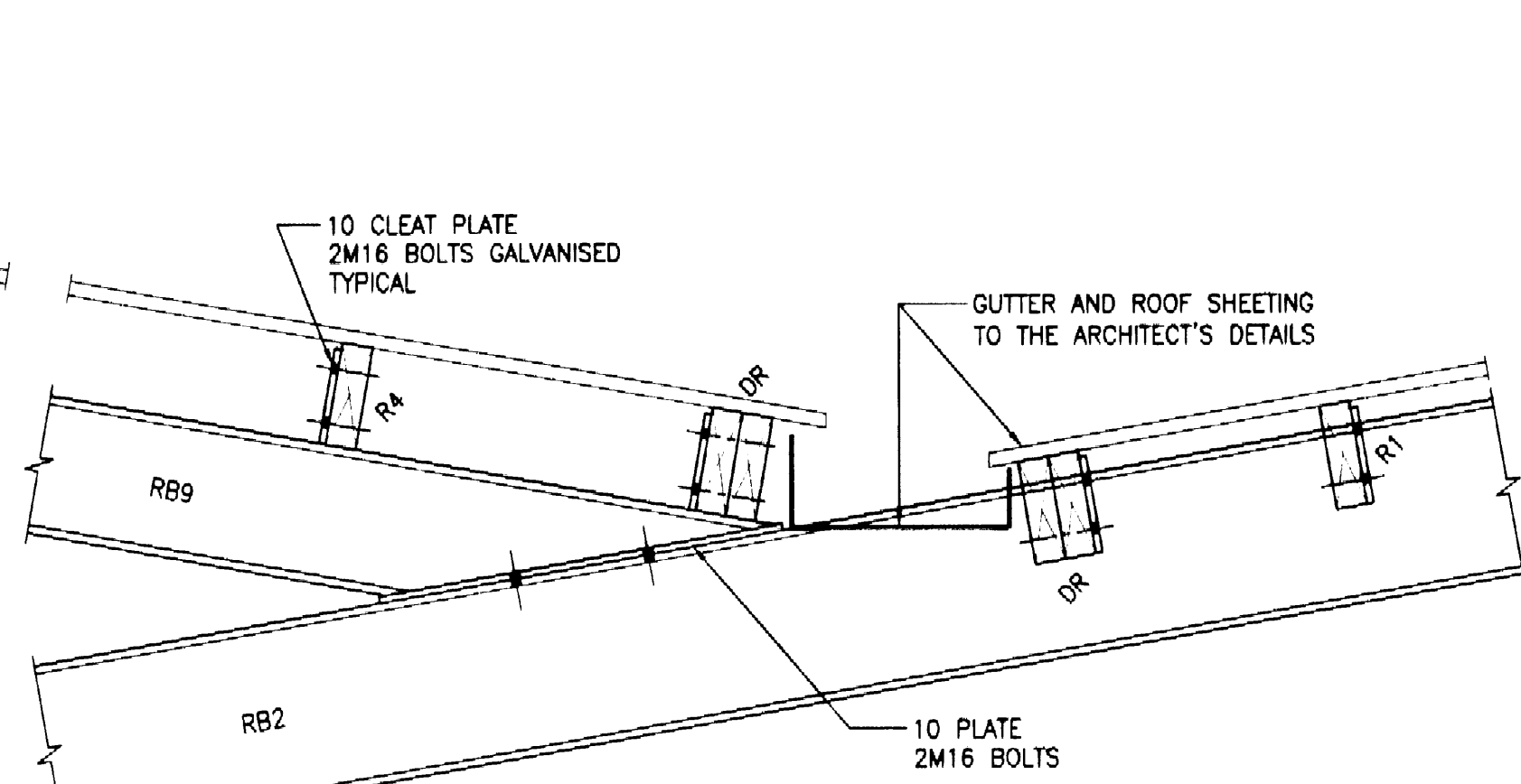
SECTION A

TYPICAL FOR SC2 to SC4 to WH1 & WH2



DETAIL 1

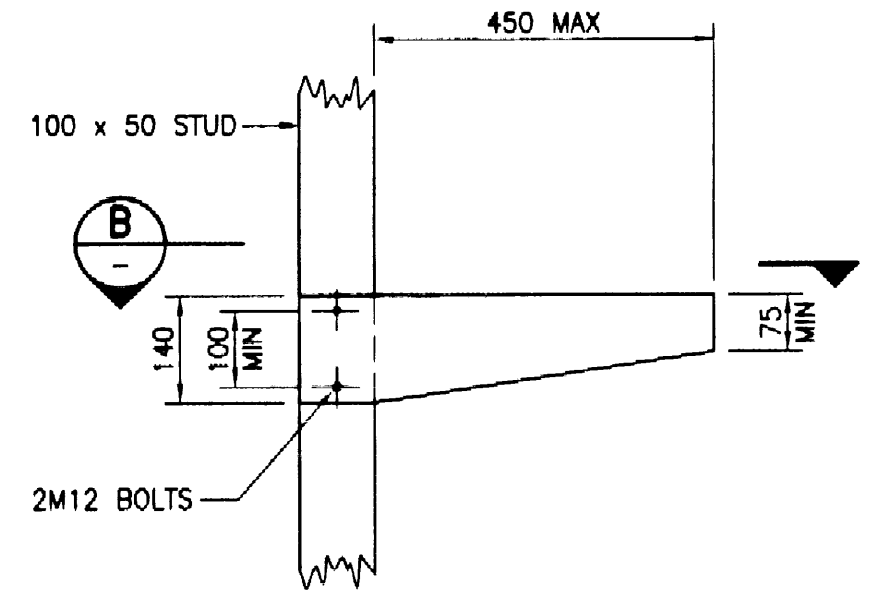
S4



DETAIL 2

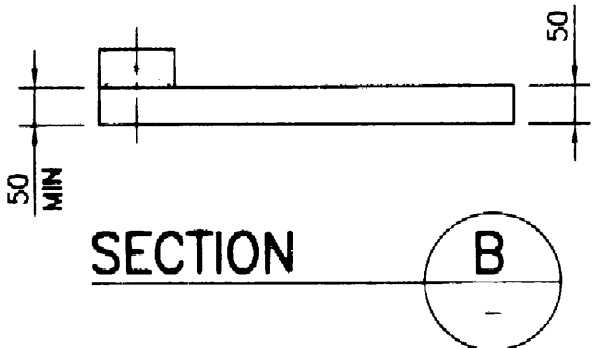
S4

THE ARCHITECT IS TO CONFIRM THIS
DETAIL PRIOR TO FABRICATION



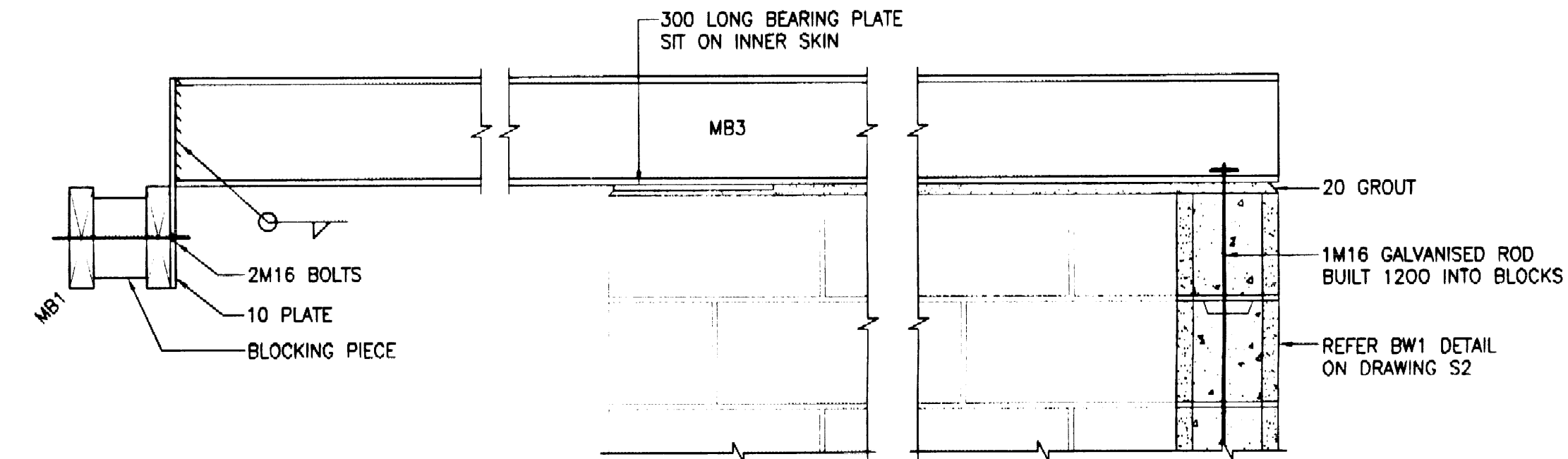
TYPICAL OUTRIGGER TO STUD CONNECTION

OUTRIGGER OR2, OR3 & OR5



SECTION B

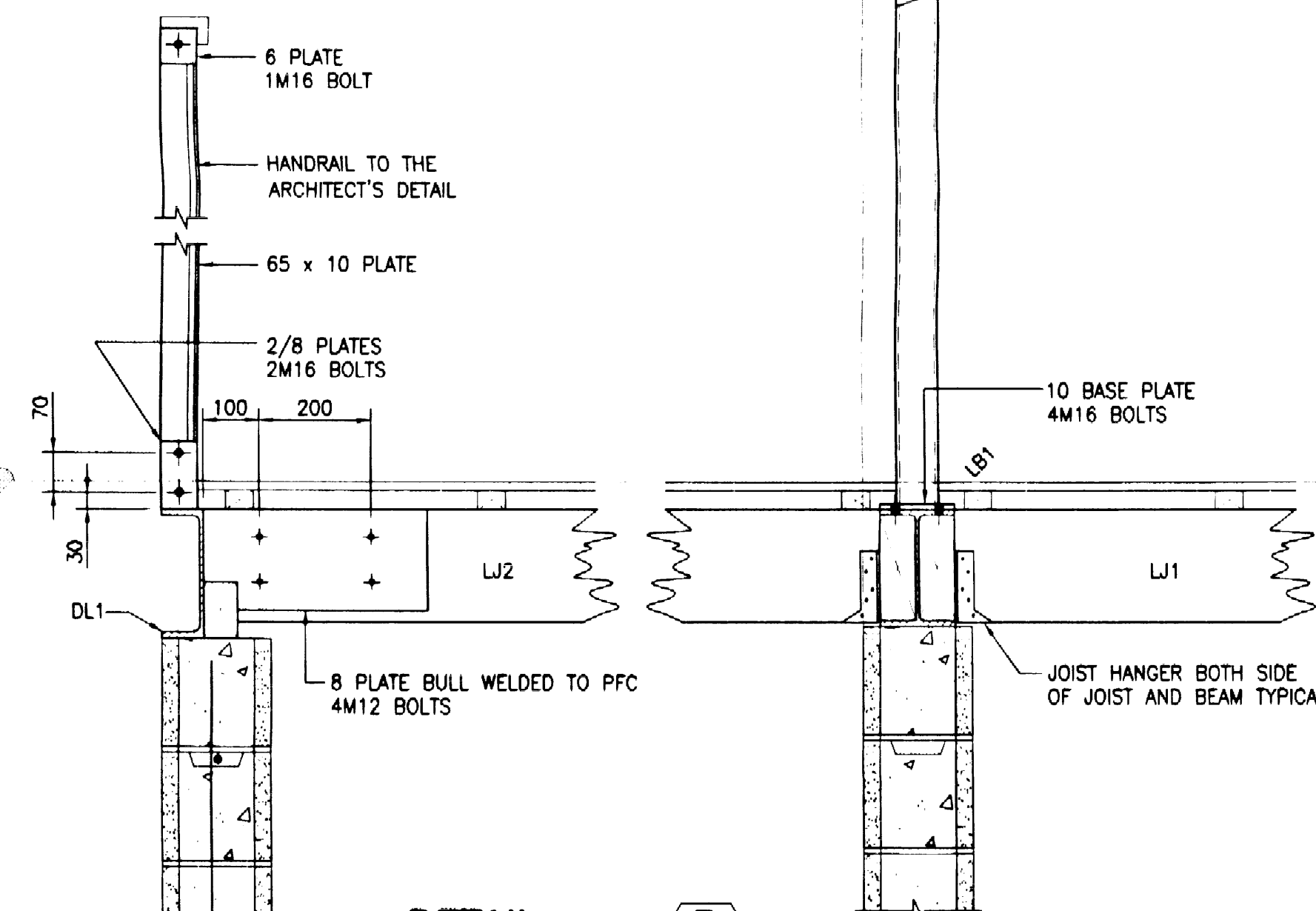
B



DETAIL 6

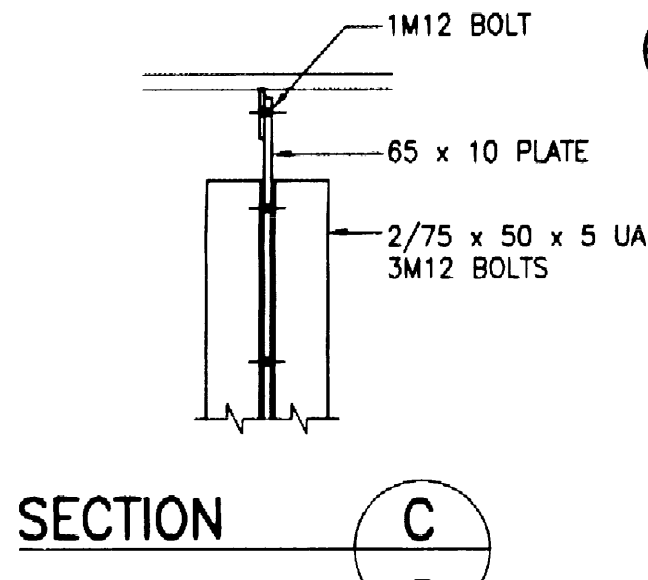
S4

SECTION DETAIL



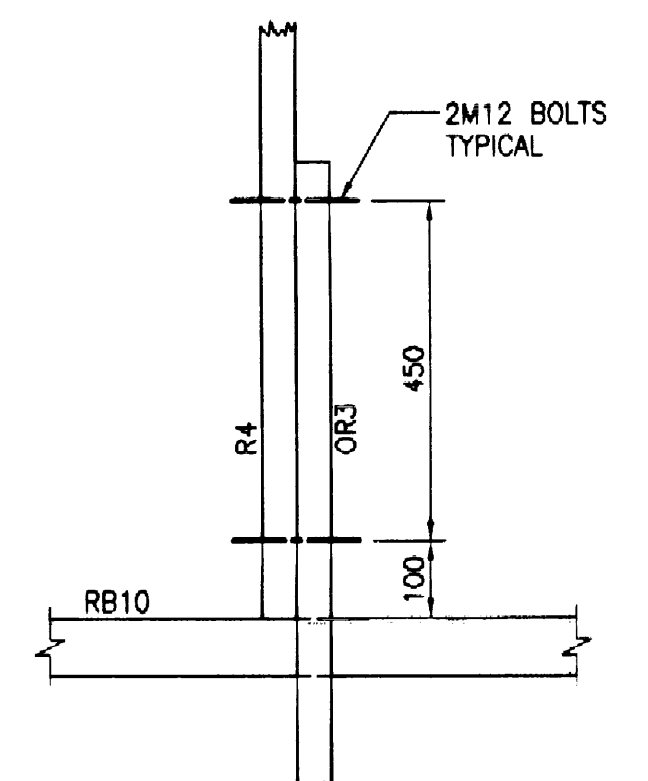
DETAIL 3

S4



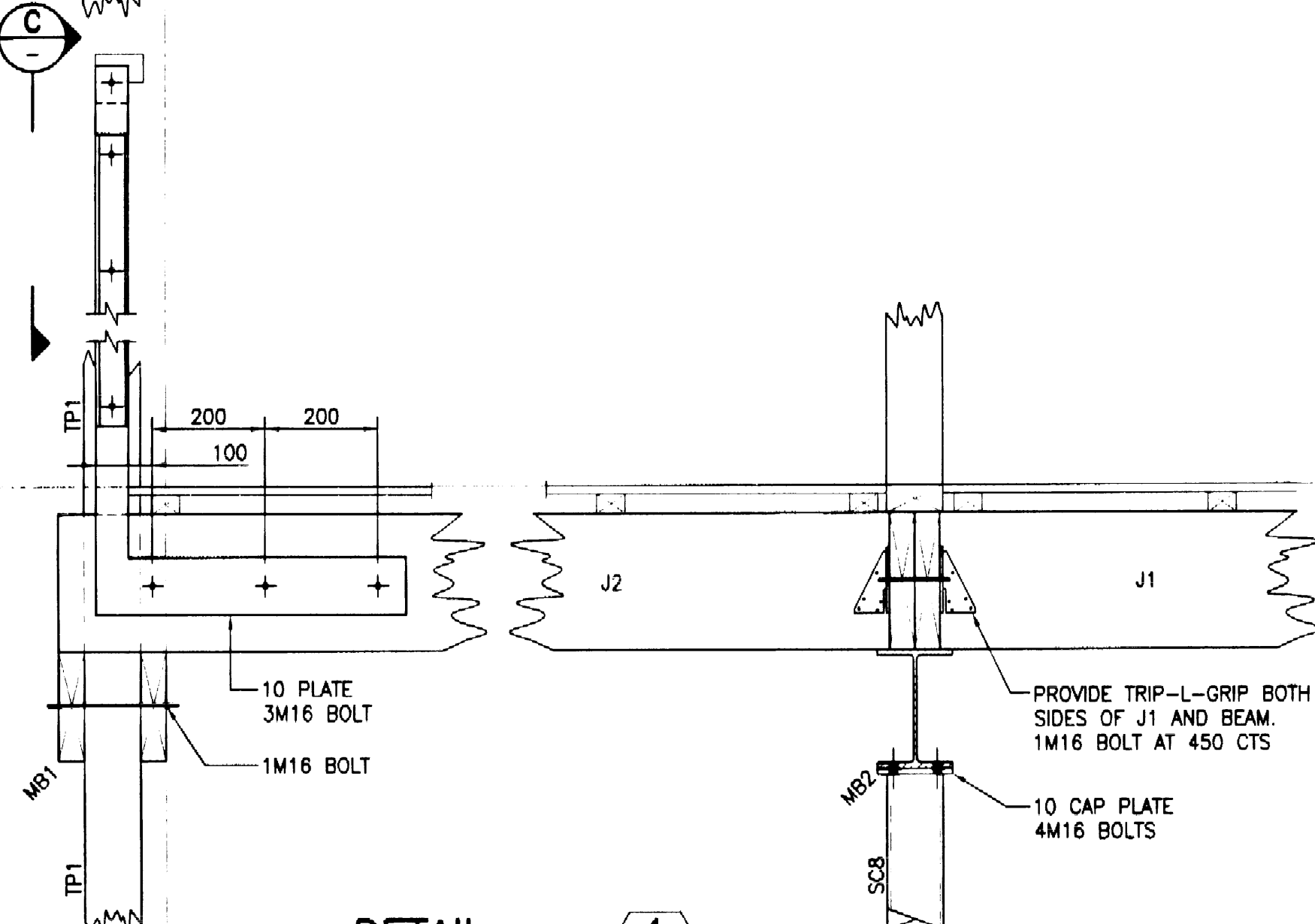
SECTION C

C



DETAIL 7

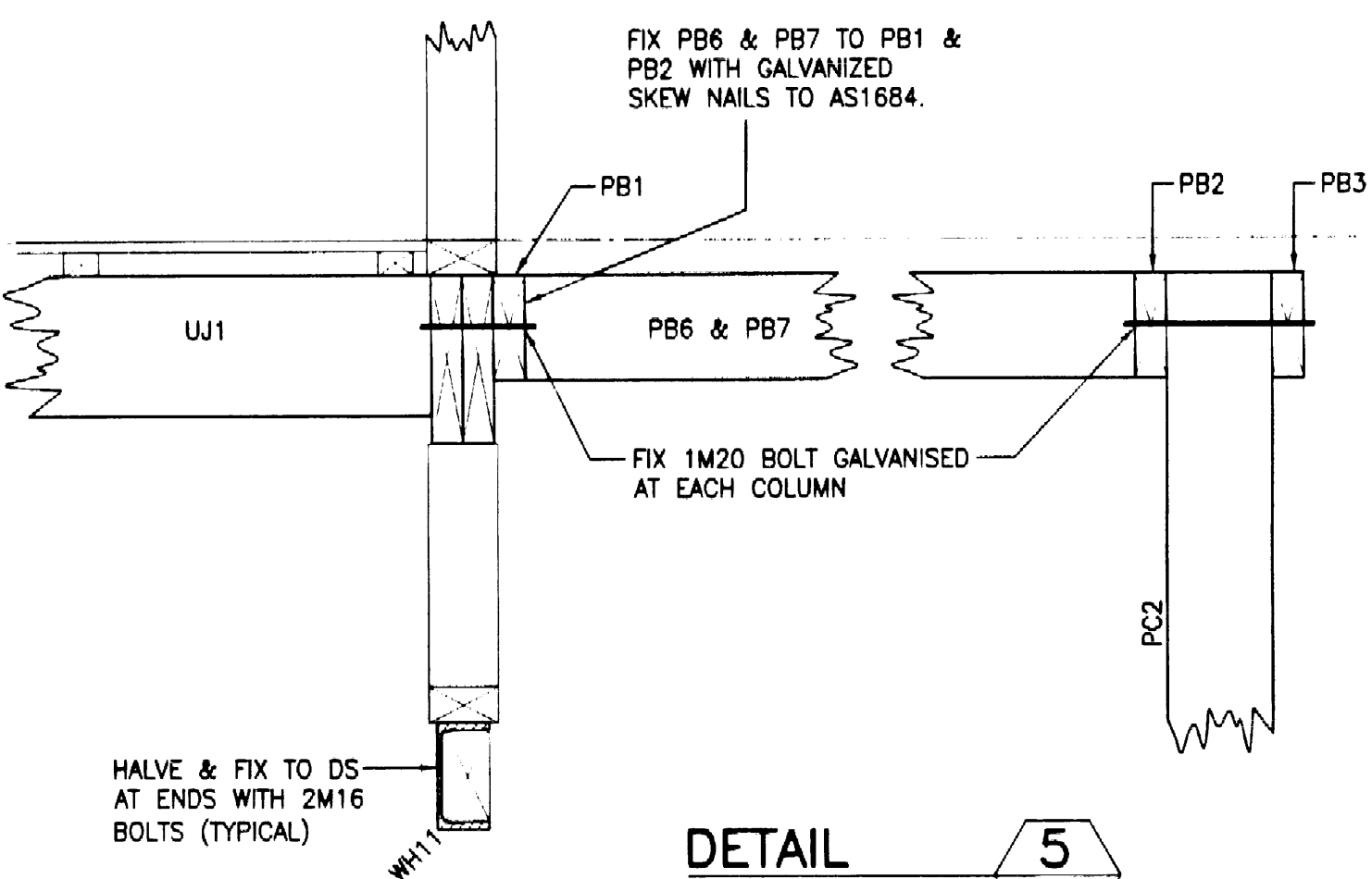
S4



DETAIL 4

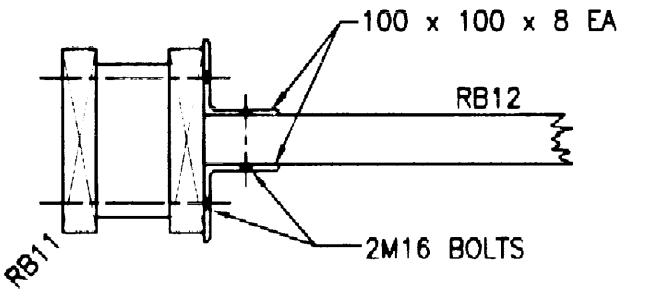
S4

(GLASS PANEL FOR HANDRAIL NOT SHOWN FOR
CLARITY. FOR FIXING, REFER TO THE ARCHITECT'S DETAILS)



DETAIL 5

S4



SECTION 2

S5

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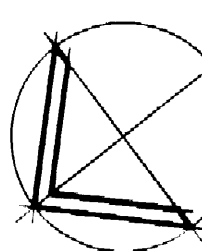
No.	Issue/Amendment	App'd	Date



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Project
PROPOSED NEW RESIDENCE AT
28 ELIMATTA ROAD
MONA VALE
FOR
Mr A. Nicholl

Drawing Title

DETAILS

CONSTRUCTION

Architect Baker Kavanagh Architects Ph (02) 9318 9200	Designed N.J.
Approved Baker Kavanagh Architects B.E. M.EngSc. F.I.E. AUST.	Checked K.B.
Scale of A1 1:10	Date NOVEMBER 2003
Job No. 2003.0261	Drawing No. S6
	Amtd. C