

SITE ANALYSIS PLAN

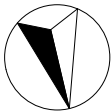
LOT 2
DP 622394

SITE AREA = 159.40 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 114.10m²
APPROVED NEW GROSS FLOOR AREA 27.52m²
PROPOSED NEW GROSS FLOOR AREA 4.30m²
TOTAL GROSS FLOOR AREA 145.92m²

TRUE NORTH:



NOTES (E & OE)

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D	24.03.22	DRAWINGS UPDATED
E	05.05.22	DA DRAWINGS UPDATED
F	07.03.23	MODIFICATION DRAWINGS
G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
JANUARY/22

JOB No:
982/22

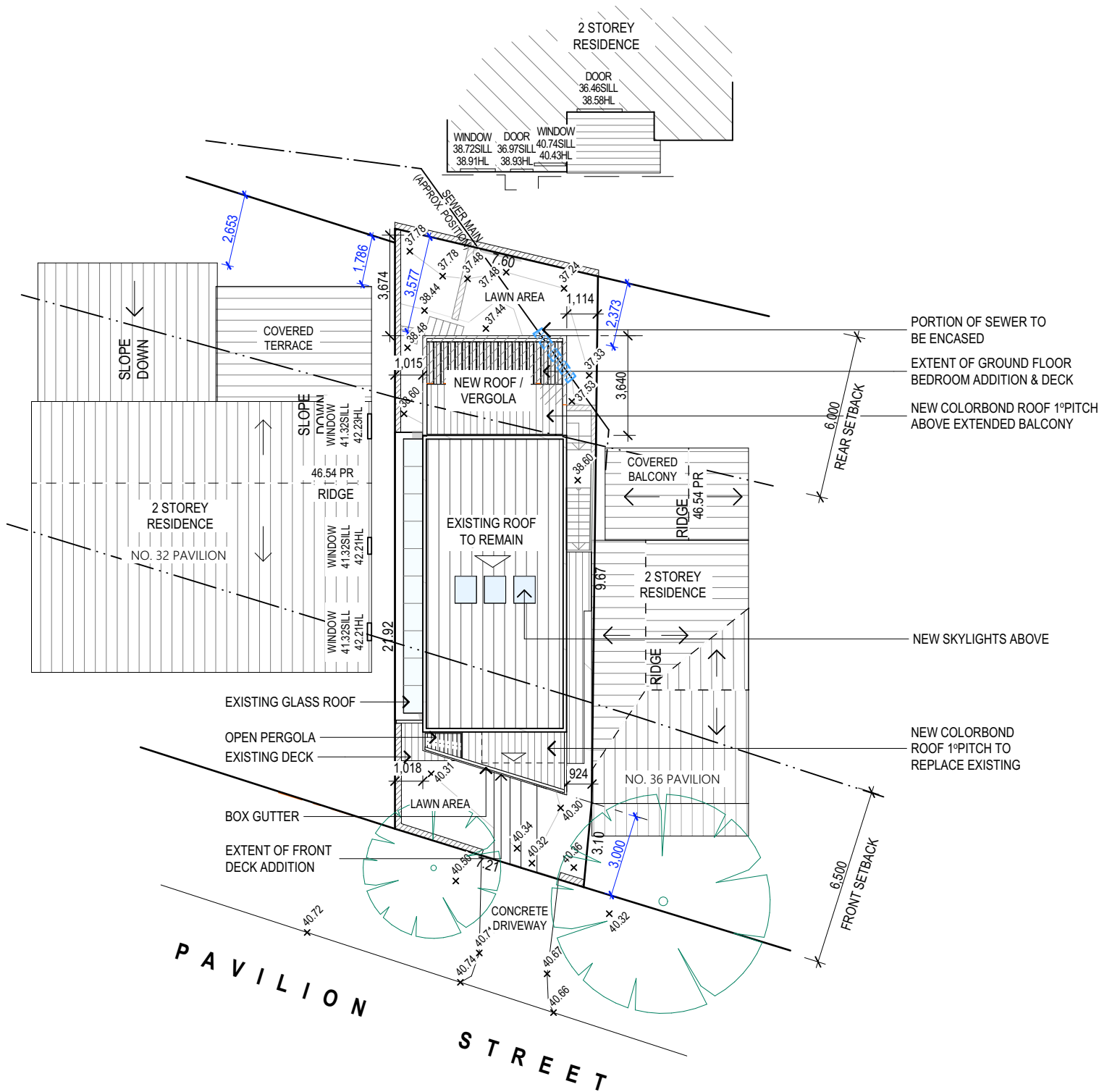
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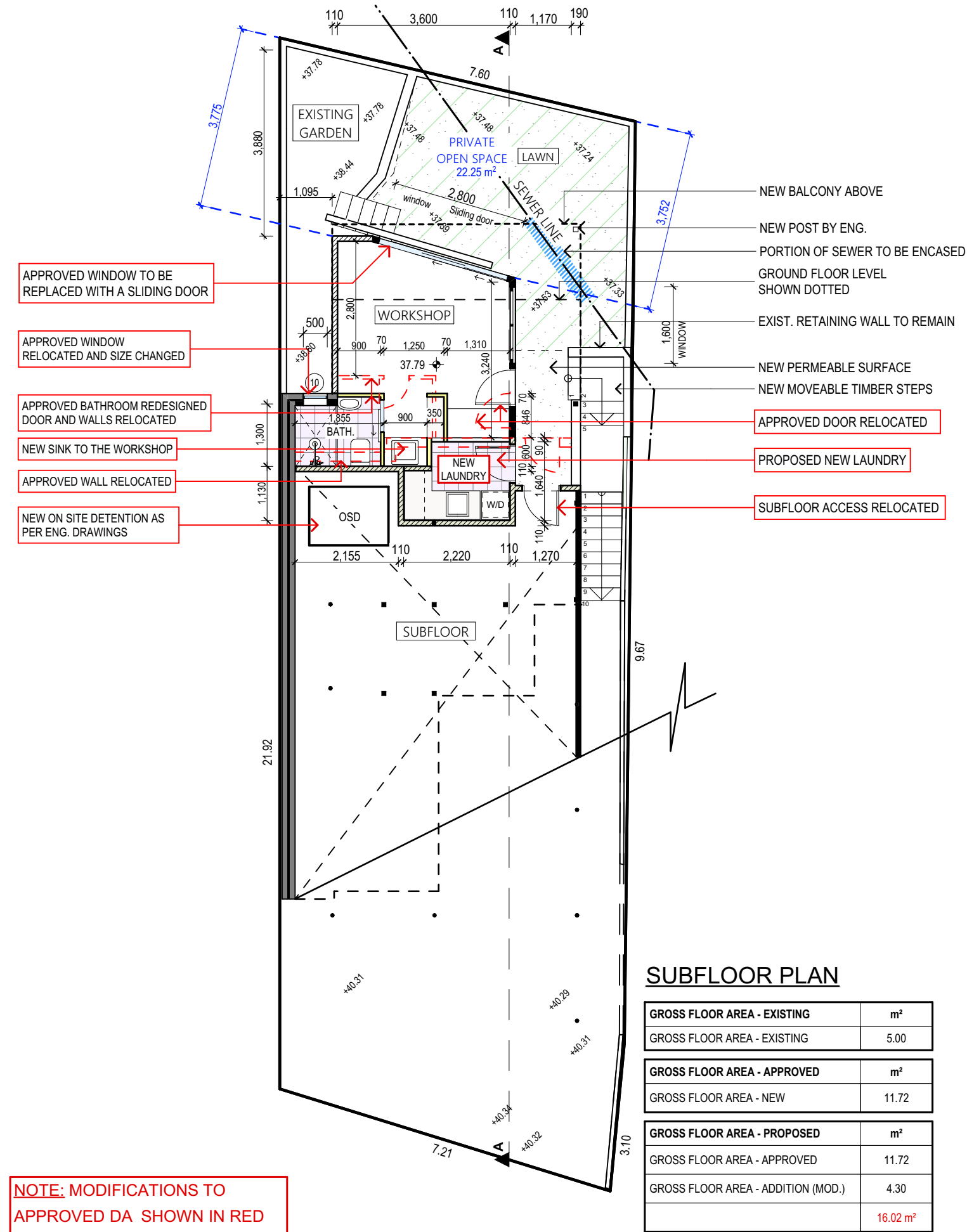
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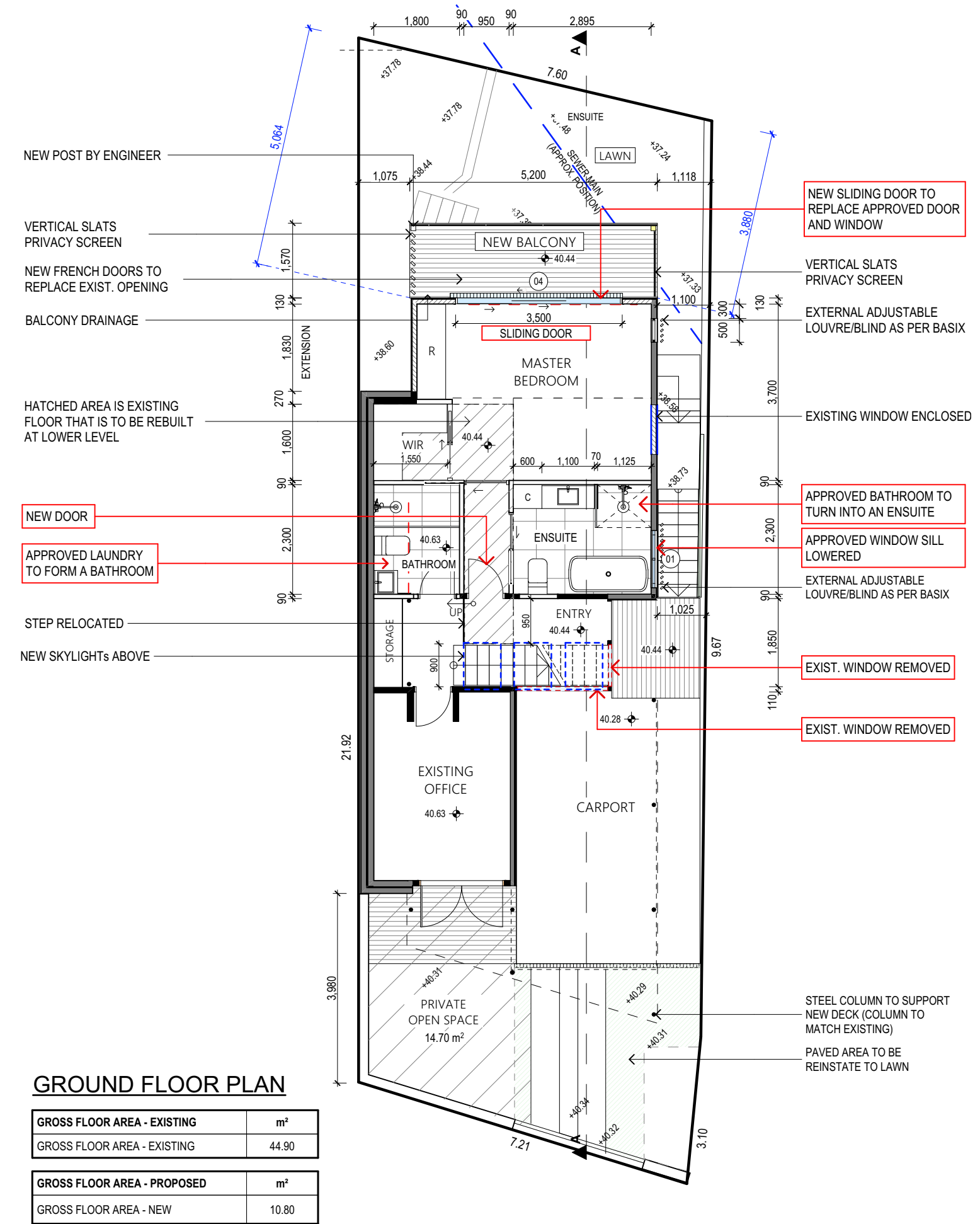
NOTE: CHANGES TO APPROVED
DA SHOWN IN RED





SUBFLOOR PLAN

GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	5.00
GROSS FLOOR AREA - APPROVED	m ²
GROSS FLOOR AREA - NEW	11.72
GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - APPROVED	11.72
GROSS FLOOR AREA - ADDITION (MOD.)	4.30
	16.02 m ²

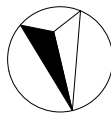


GROUND FLOOR PLAN

GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	44.90
GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	10.80

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SUBFLOOR AND GROUND FLOOR PLAN

DATE:
JANUARY/22

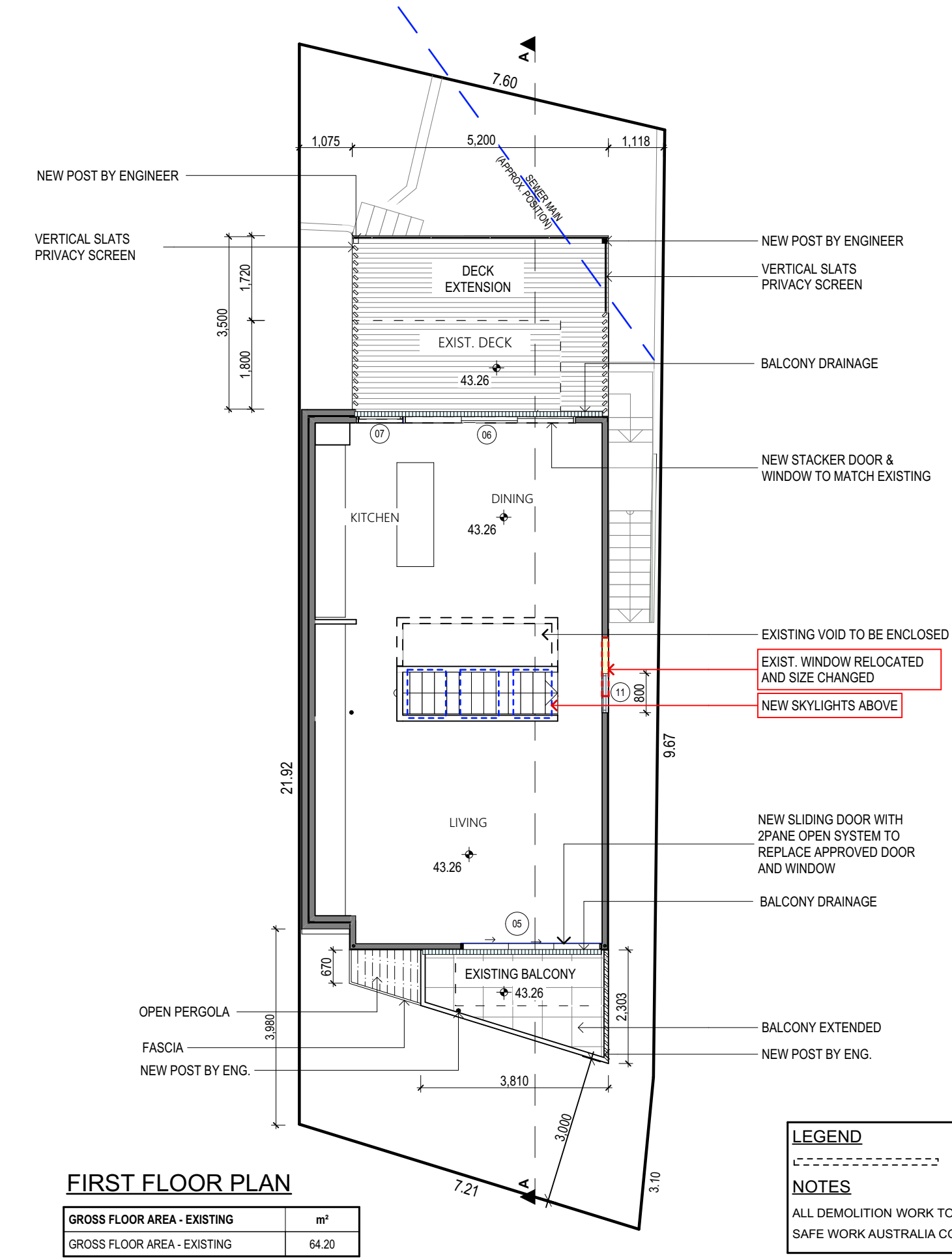
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DRAWING No:
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FIRST FLOOR PLAN

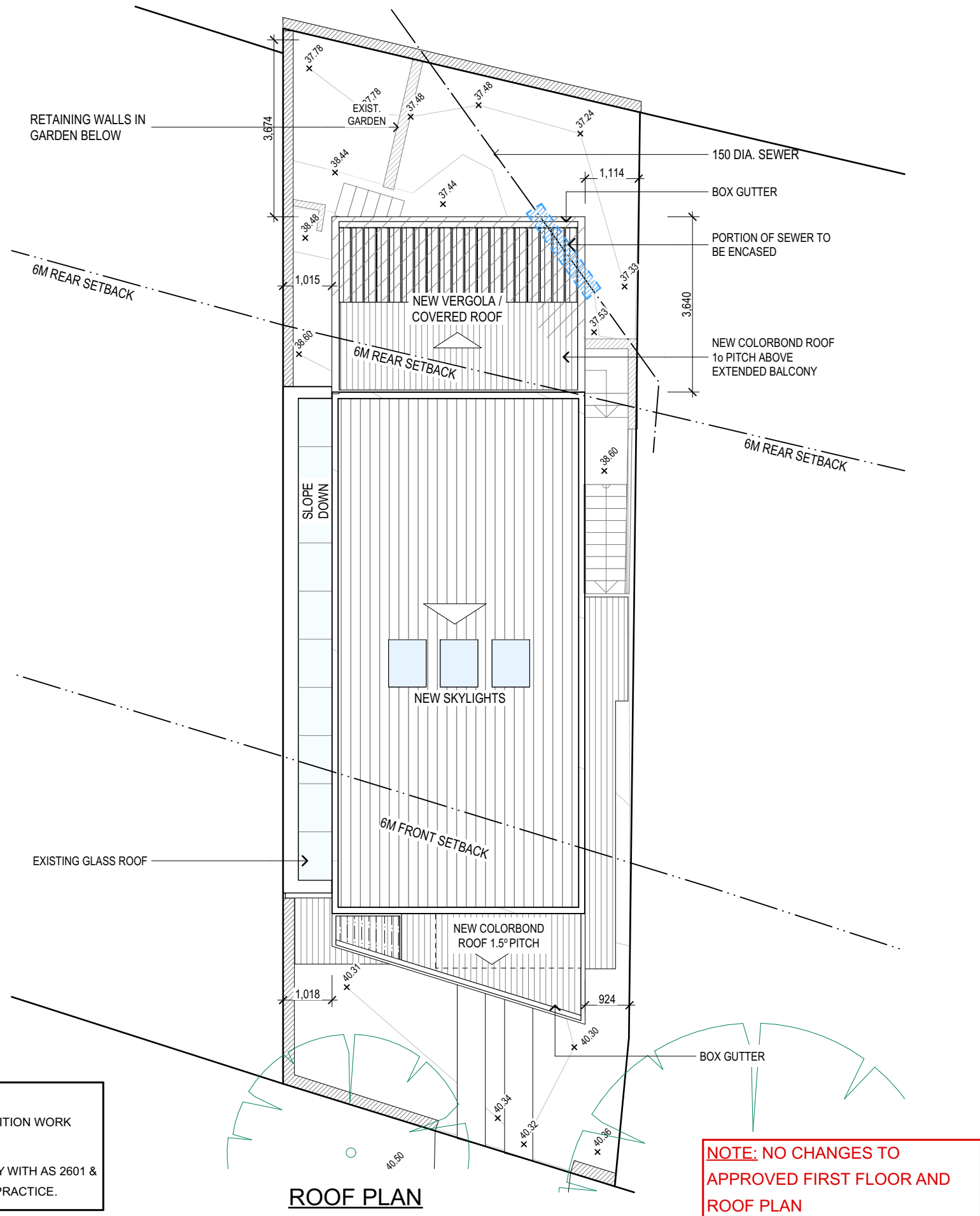
GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	64.20

LEGEND

--- DEMOLITION WORK

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.



ROOF PLAN

NOTE: NO CHANGES TO APPROVED FIRST FLOOR AND ROOF PLAN

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34 Pavilion Street - Queenscliff NSW 2096

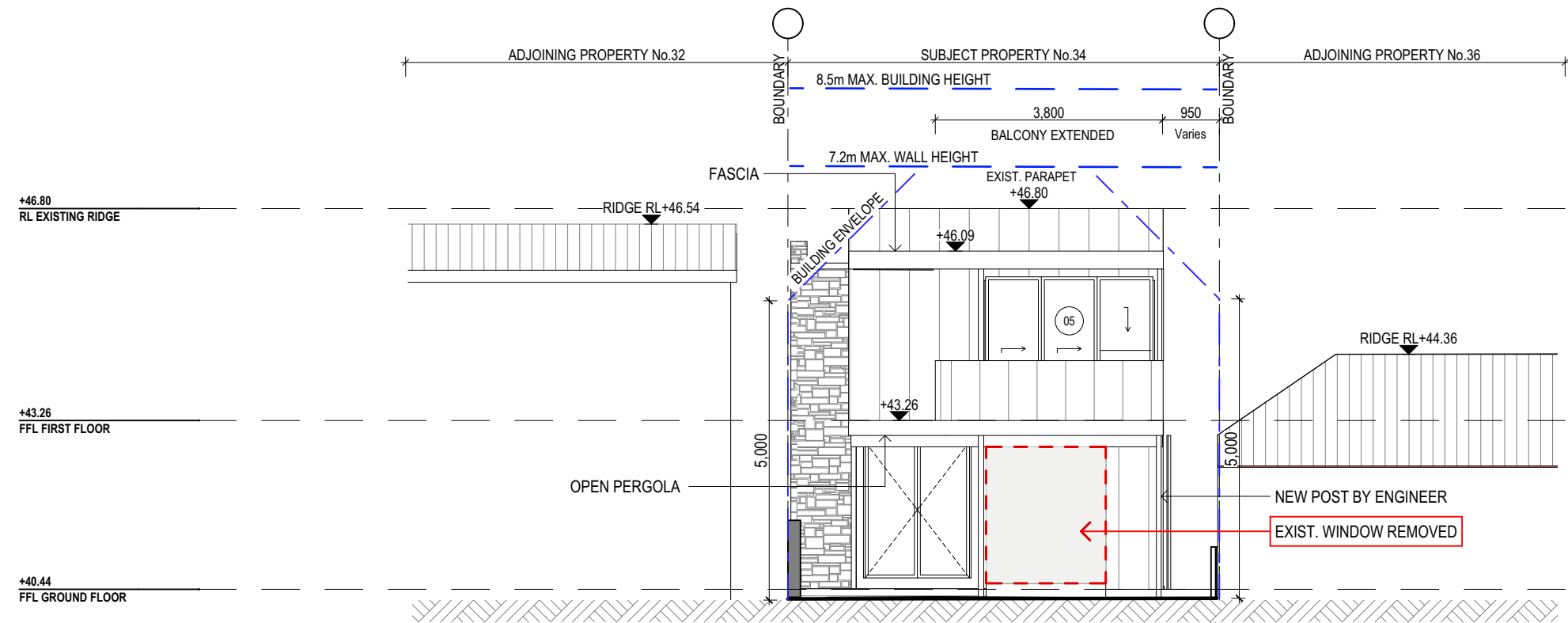
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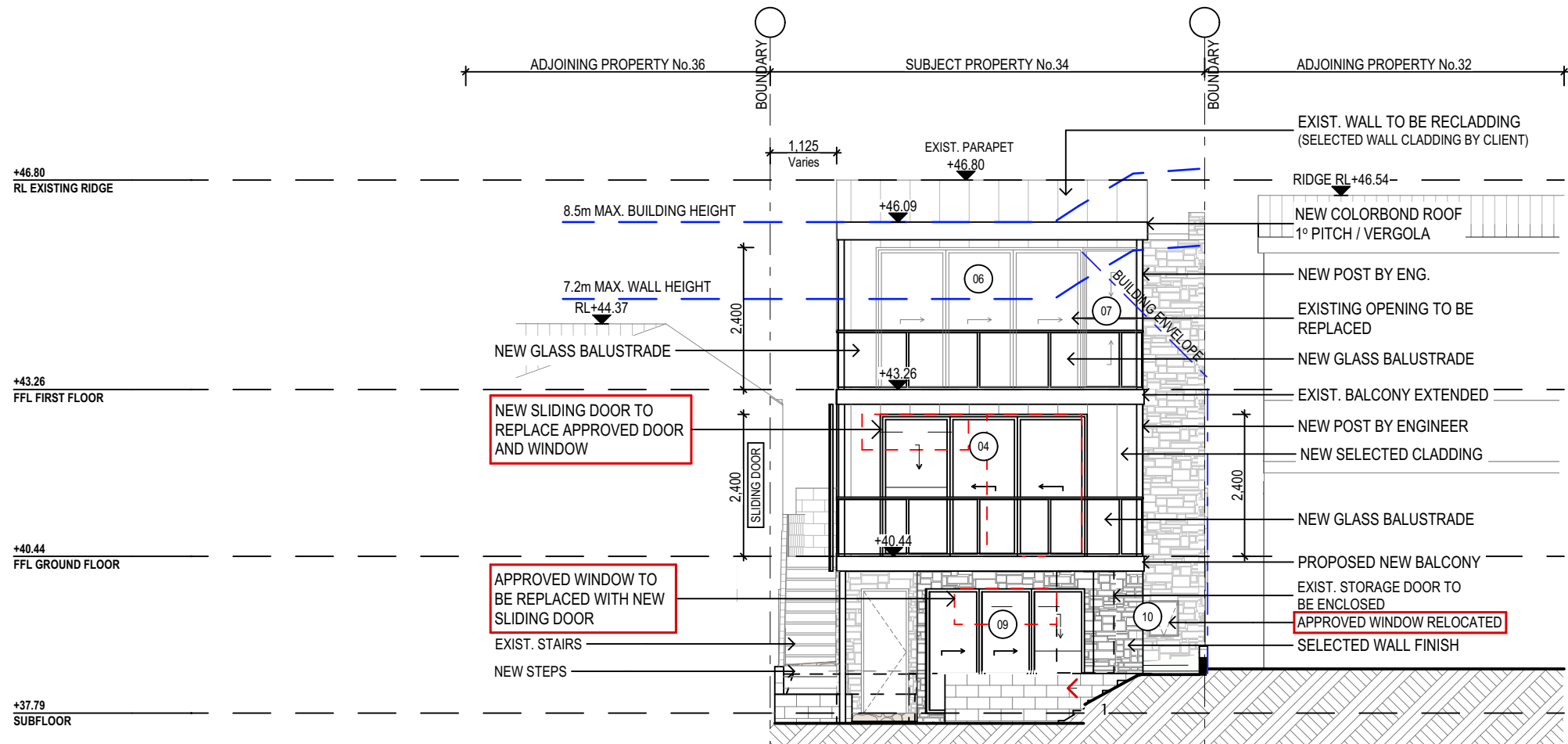
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FIRST FLOOR AND ROOF FLOOR

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JANUARY/22	LB	1:100 @ A3
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982/22	JJ	MOD.03



NORTH ELEVATION



SOUTH ELEVATION

NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED

LEGEND

DEMOLITION WORK

NOTES

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NOTES (E & OE)

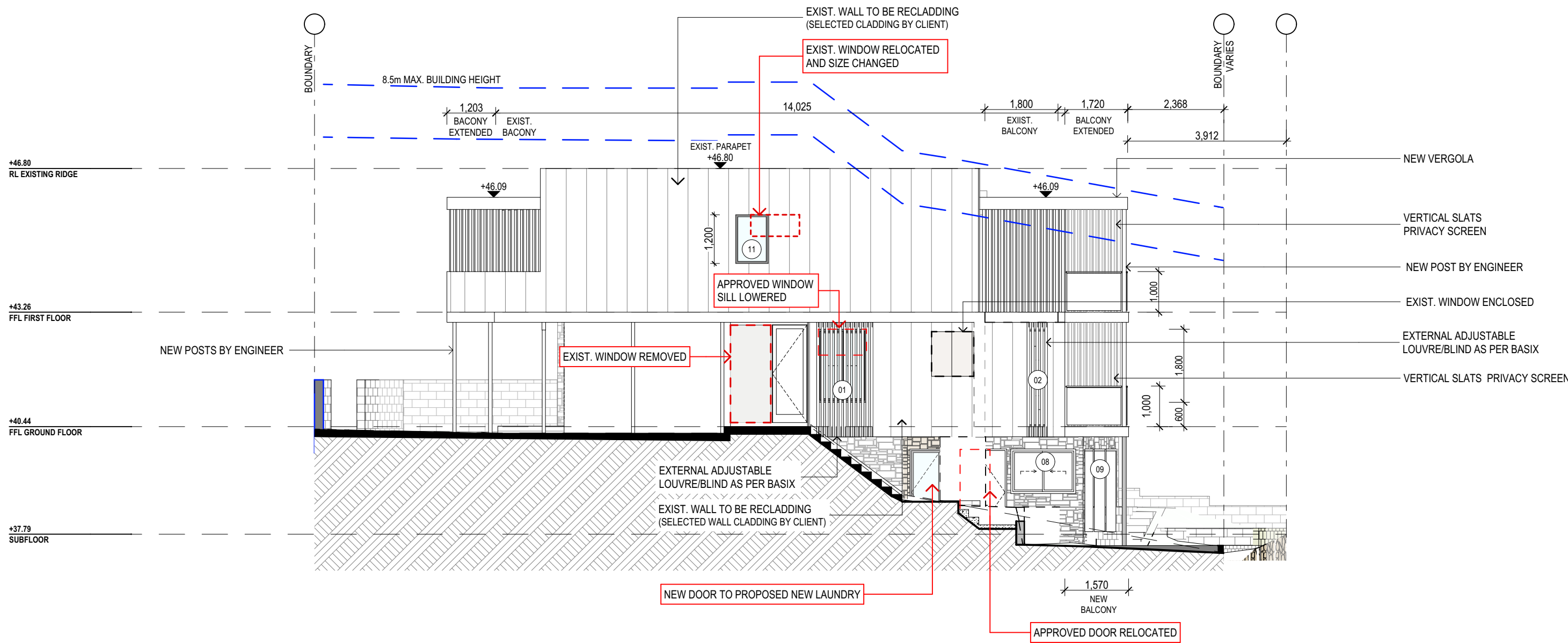
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34 Pavilion Street - Queenscliff NSW 2096
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NORTH AND SOUTH ELEVATIONS

DATE: JANUARY/22	DRAWN BY: LB	SCALE: 1:100 @ A3
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WEST ELEVATION

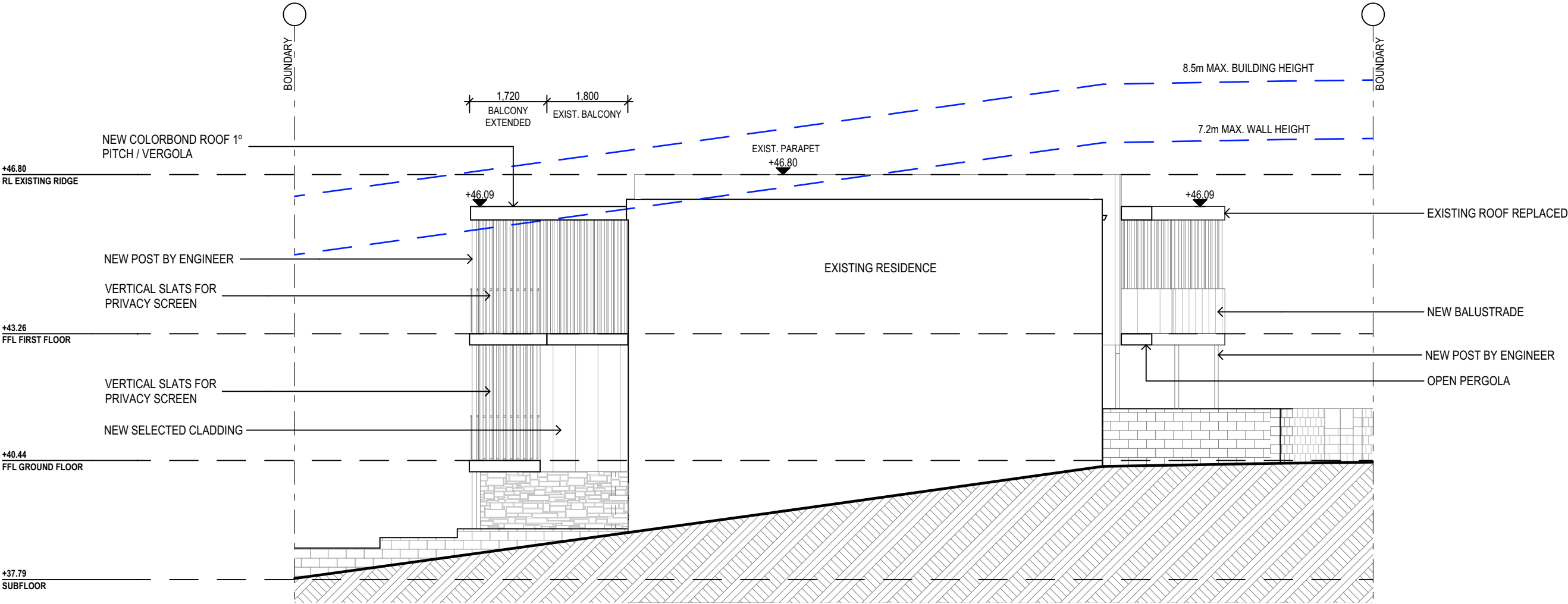
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LEGEND

DEMOLITION WORK

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EAST ELEVATION

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 34 PAVILION STREET - QUEENSCLIFF

LIGHTING
40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WATER
SHOWER RATING MIN. 3 STARS
TAP RATING MIN. 3 STARS
WC RATING MIN. 3 STARS

INSULATION

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)
Concrete slab on ground floor	Nil
External wall: other / undecided	R1.70 (including construction)

GLAZING - DOORS & WINDOWS
Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W1, W2, W4, D4, D5, D6, W7, W8, W9, W10, W11
External adjustable louvre / blind
W1, W2

NOTE: NO CHANGES TO
APPROVED EAST ELEVATION

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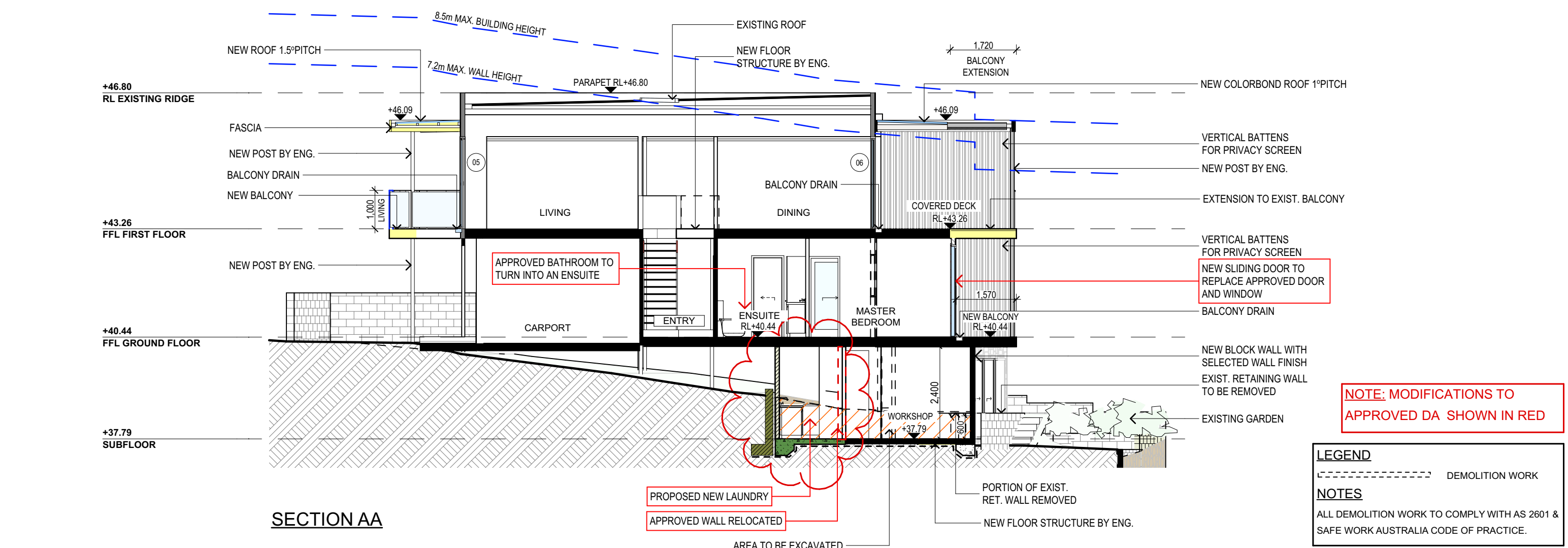
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34 Pavilion Street - Queenscliff NSW 2096
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Jan Beach

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EAST ELEVATION / BASIX

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SPECIFICATION NOTES

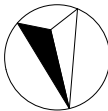
<p>INTERNAL LINING</p> <ul style="list-style-type: none">- PROVIDE PLASTERBOARD LINING.- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589 <p>EXTERNAL WALLS:</p> <ul style="list-style-type: none">- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.- LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5. <p>FLOOR:</p> <ul style="list-style-type: none">- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING. <p>WET AREAS:</p> <ul style="list-style-type: none">- ALL WATERPROOFING TO AS 3740- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERSWALLS TO MANUFACTURES INSTRUCTIONS <p>BEARERS AND JOISTS:</p> <ul style="list-style-type: none">- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623. <p>ANT CAPS:</p> <ul style="list-style-type: none">- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660. <p>PROFILED STEEL ROOF:</p> <ul style="list-style-type: none">- COLORBOND ROOF CLADDING- NCC VOL.2 PART 3.5.1.- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562. <p>ROOF TILES OR SHINGLES:</p> <ul style="list-style-type: none">- NCC VOL.2 PART 3.5.2. <p>CONCRETE:</p> <ul style="list-style-type: none">- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.	<p>FOOTINGS:</p> <ul style="list-style-type: none">- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304. <p>BRICK AND BLOCKWORK:</p> <ul style="list-style-type: none">- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773. <p>CARPENTRY:</p> <ul style="list-style-type: none">- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE. <p>TIMBER FRAMING:</p> <ul style="list-style-type: none">- TO COMPLY WITH NCC VOL.2 PART 3.4- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER. <p>TERMITE CONTROL:</p> <ul style="list-style-type: none">- TO BE IN ACCORDANCE WITH TO AS3660.1- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4. <p>FLASHING AND CAPPINGS:</p> <ul style="list-style-type: none">- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION. <p>CONCRETE BLOCKS OR BRICKS:</p> <ul style="list-style-type: none">- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.	<p>LIGHTING:</p> <ul style="list-style-type: none">- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS <p>DOORS & WINDOWS:</p> <ul style="list-style-type: none">- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.- ALUMINIUM FRAMED WINDOWS AND DOORS.- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS. <p>STAIRS, HANDRAILS AND BALUSTRADES:</p> <ul style="list-style-type: none">- NCC VOL.2 PARTS 3.9.1 AND 3.9.2- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm. <p>SLIP RESISTANCE:</p> <ul style="list-style-type: none">- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198. <p>STORMWATER:</p> <p>EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES</p> <ul style="list-style-type: none">- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.- IN ACCORDANCE WITH NCC VOL.2 PART 3.5.3- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE- COLORBOND GUTTERS AND DOWNPIPES- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200	<p>WATERPROOFING FOR EXTERNAL TILED BALCONIES:</p> <ul style="list-style-type: none">- WATERPROOFING TO COMPLY WITH AS4654 <p>GLAZING:</p> <ul style="list-style-type: none">- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6 <p>SMOKE DETECTORS/ALARMS:</p> <ul style="list-style-type: none">- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED. <p>WASTE MANAGEMENT:</p> <ul style="list-style-type: none">- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE. <p>SEDIMENT CONTROL:</p> <ul style="list-style-type: none">- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM. <p>NOTE:</p> <p>ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.</p>
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NOTE: NO CHANGES TO
APPROVED LANDSCAPE PLAN

CALCULATIONS			
SITE AREA			159.40m ²
LANDSCAPE CONTROL		40%	63.76m ²
LANDSCAPED AREA NOT COUNTED			
EXISTING LANDSCAPED AREA		28.60%	45.60m ²
PROPOSED NEW LANDSCAPED AREA			6.50m ²
TOTAL NEW LANDSCAPED AREA	***NO CHANGE***	28.60%	45.60m ²
EXISTING HARD SURFACE AREA			99.77m ²
NEW HARD SURFACE AREA			8.40m ²
TOTAL HARD SURFACE AREA		66.30%	105.70m ²

TRUE NORTH:



NOTES (E & OE)

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ACN 651 693 346

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A	11.02.22	DRAWINGS UPDATED
B	28.02.22	DRAWINGS UPDATED
C	16.03.22	DRAWINGS UPDATED
D	24.03.22	DRAWINGS UPDATED
E	05.05.22	DA DRAWINGS UPDATED
F	07.03.23	MODIFICATION DRAWINGS
G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE:
JANUARY/22

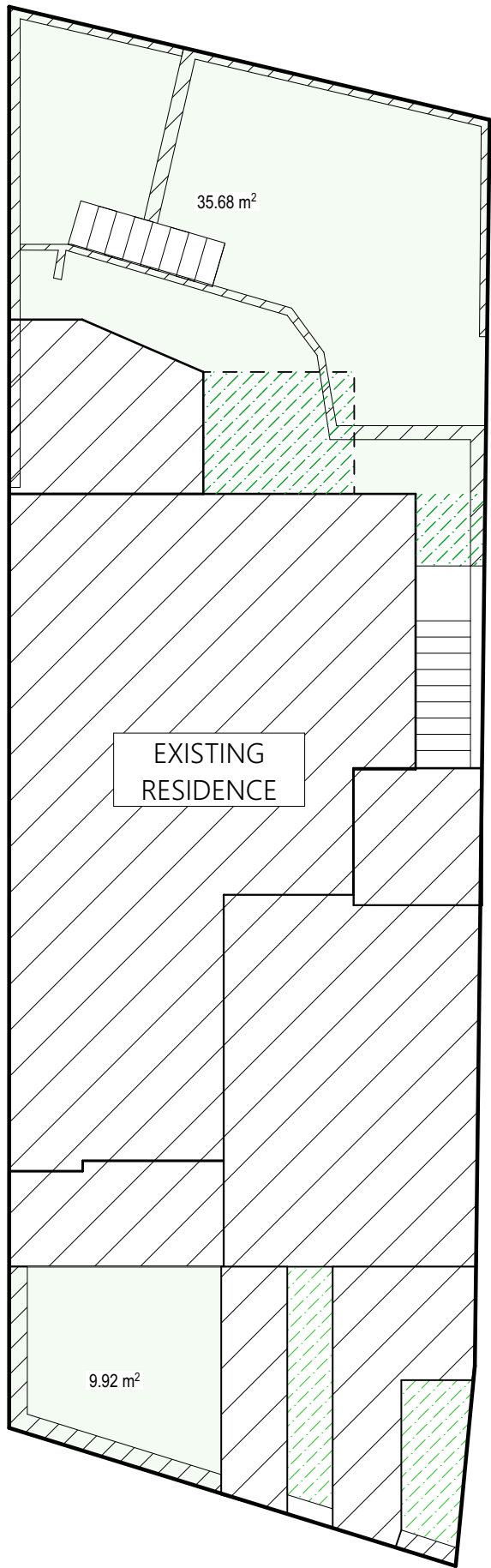
JOB No:
982/22

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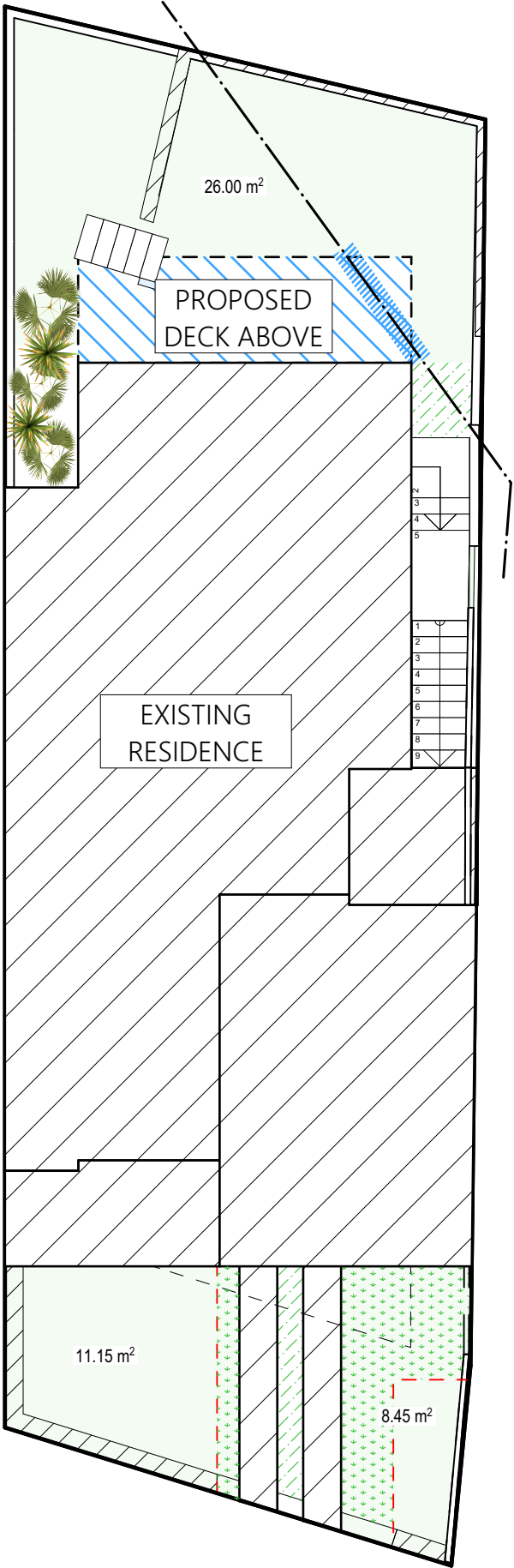
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JJ

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DRAWING No:
MOD.08



EXISTING LANDSCAPE CALCULATION PLAN



PROPOSED LANDSCAPE CALCULATION PLAN

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

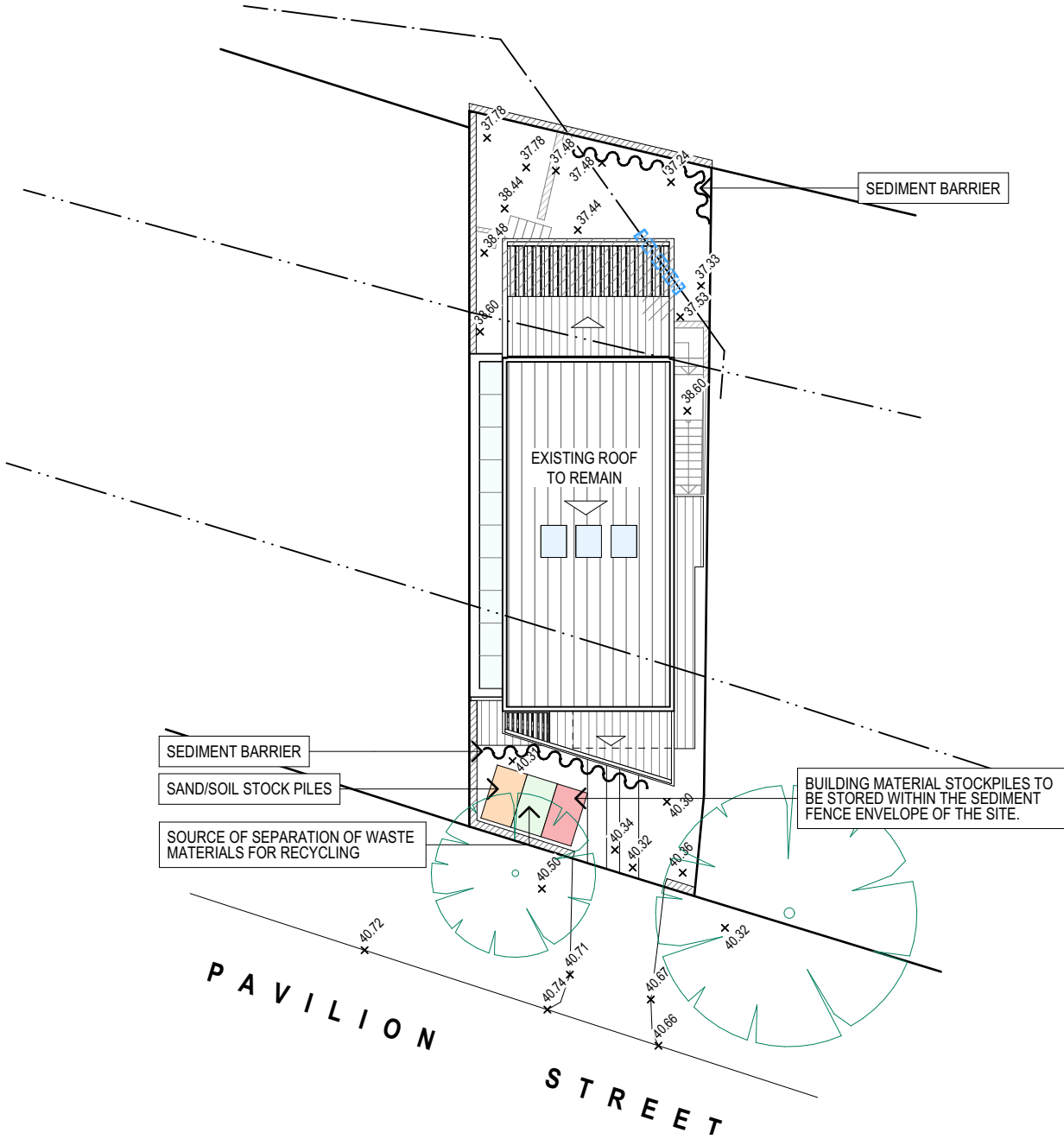
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

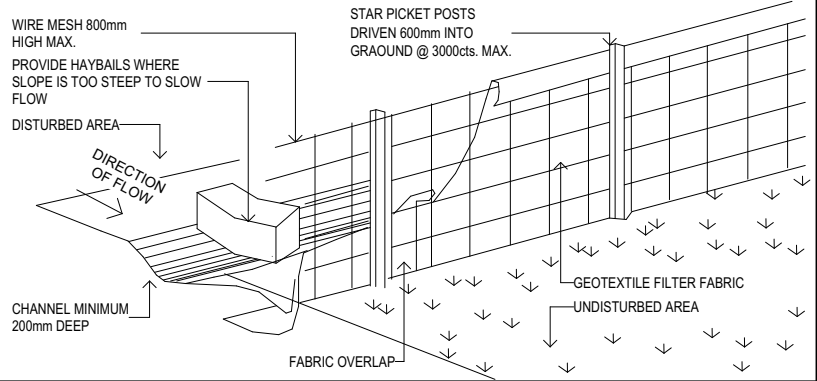
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

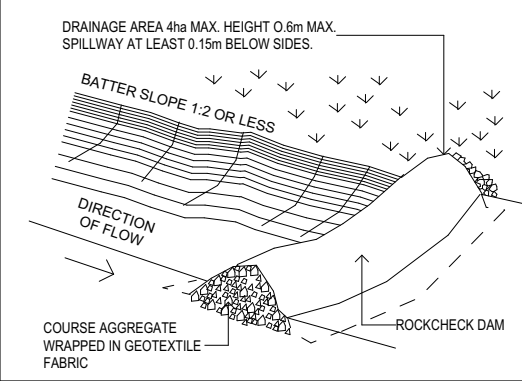


EROSION AND SEDMENT CONTROL

TYPICAL SEDIMENT FENCE - nts

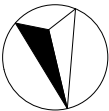


TYPICAL DIVERSION CHANNEL - nts



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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

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EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

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