

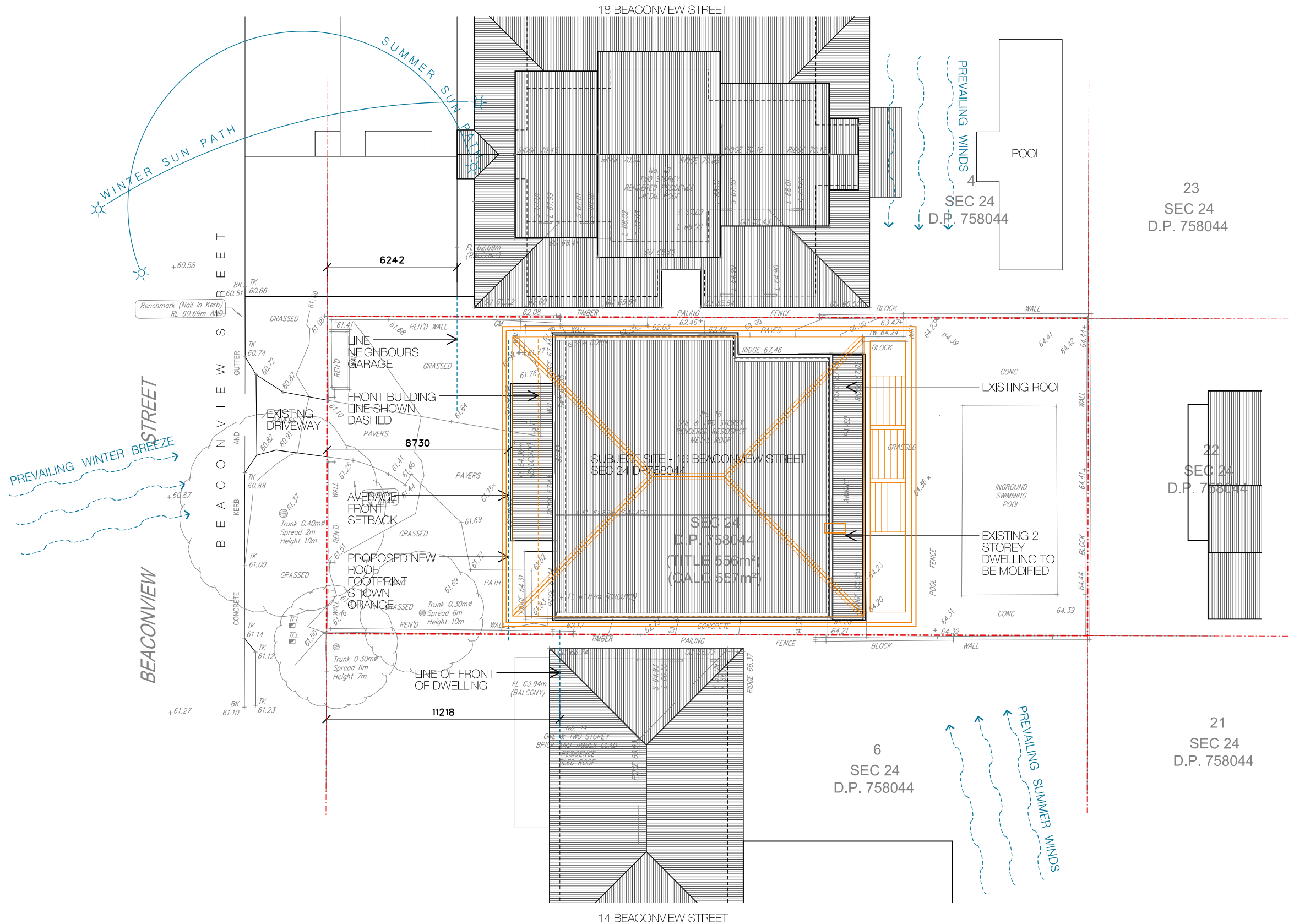
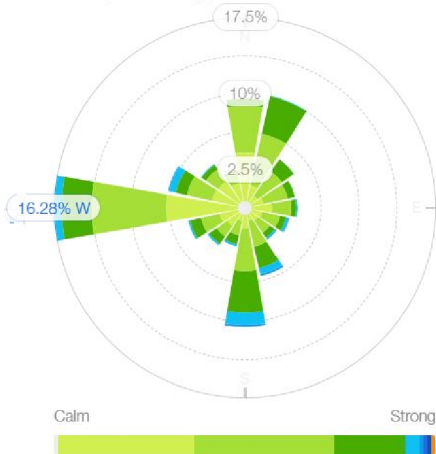


02 SITE IMAGES

N.T.S

Wind Rose

Annual (5 Year Average)



01 SITE PLAN

1:200

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project: SEC24 / DP758044
16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

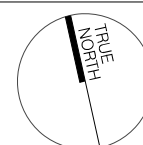
client: SAM AND SANDI AYLIFFE

A | 17.11.20 | DA ISSUE A
issue | date | description

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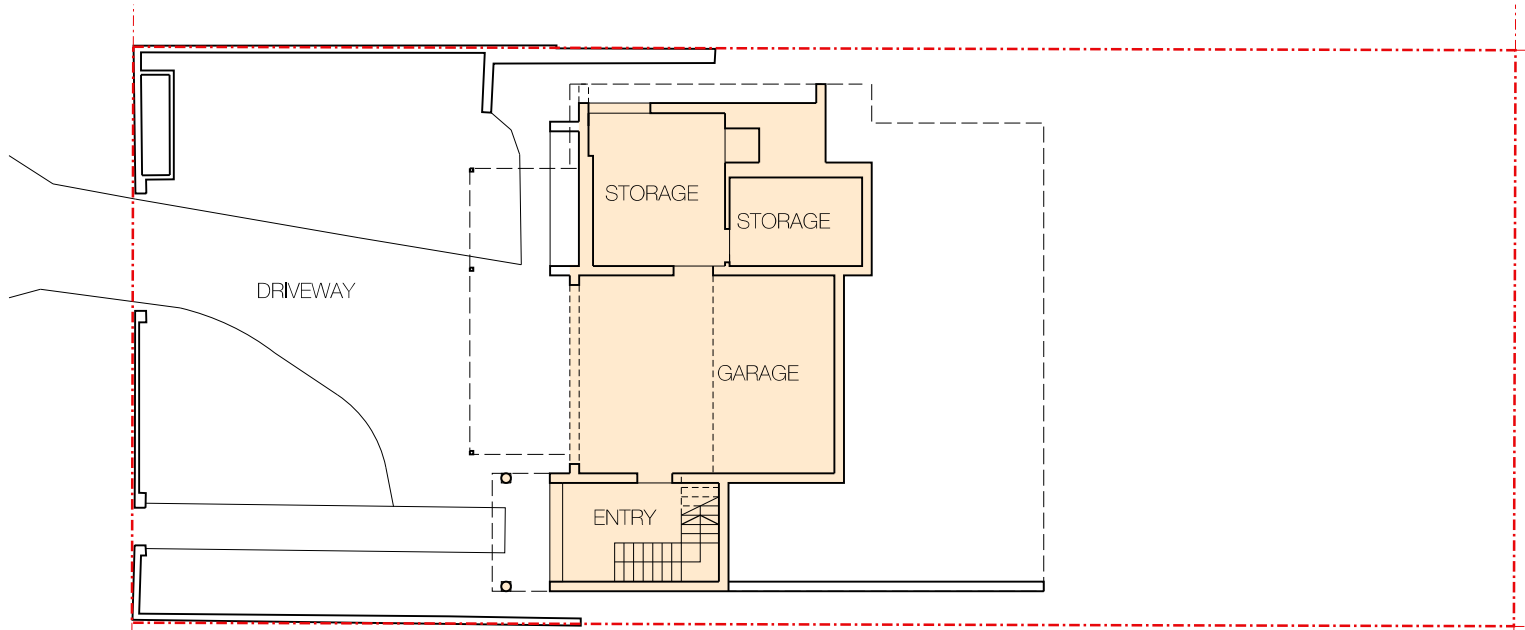
drawing: SITE ANALYSIS
PLAN / EXISTING ROOF PLAN

drawing no. DA 1041

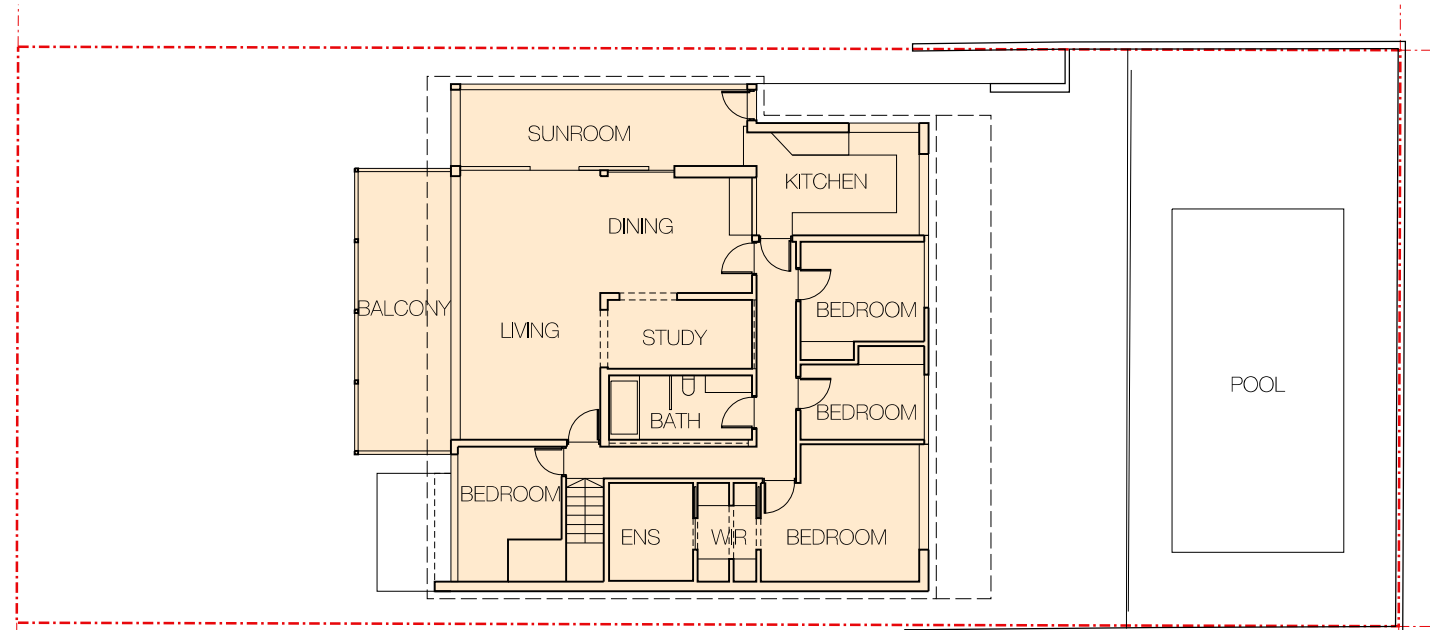
scale: 1:200 @A3

drawing issue: A

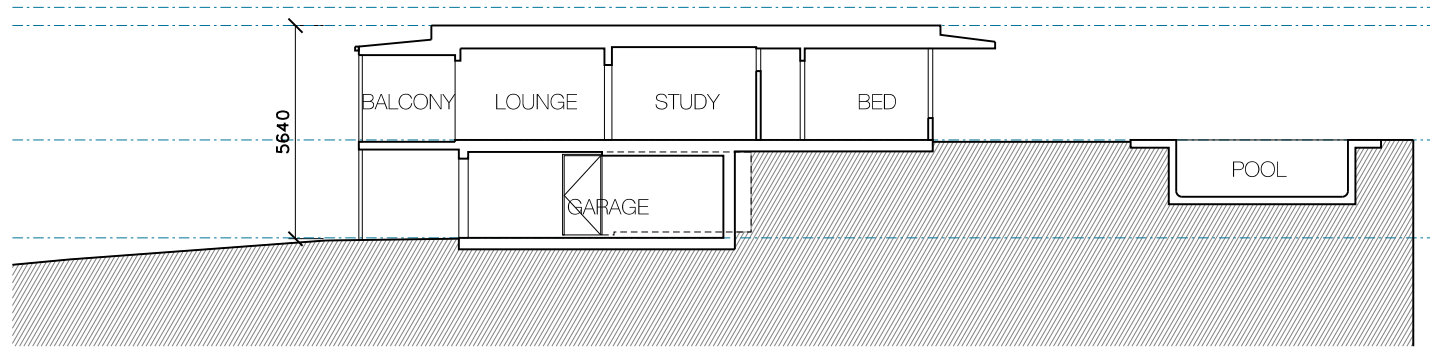
0m 2m 4m 10m



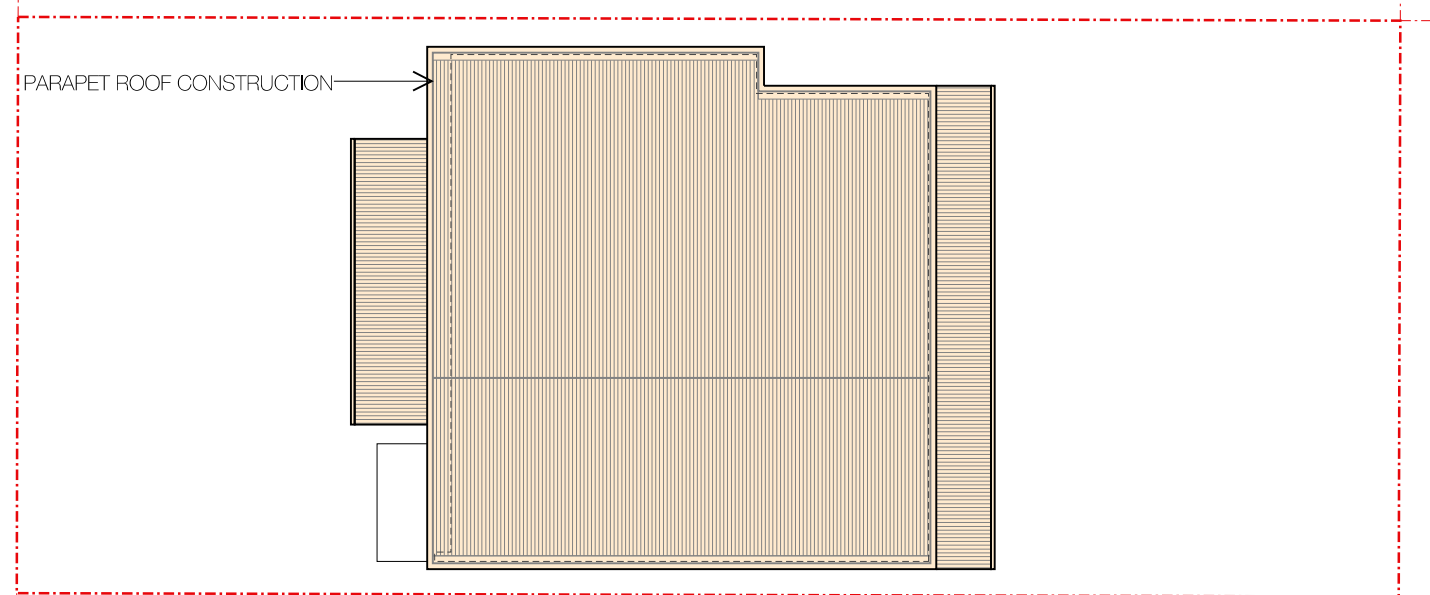
01 EXISTING LOWER GROUND FLOOR PLAN
1:200



02 EXISTING GROUND FLOOR PLAN
1:200

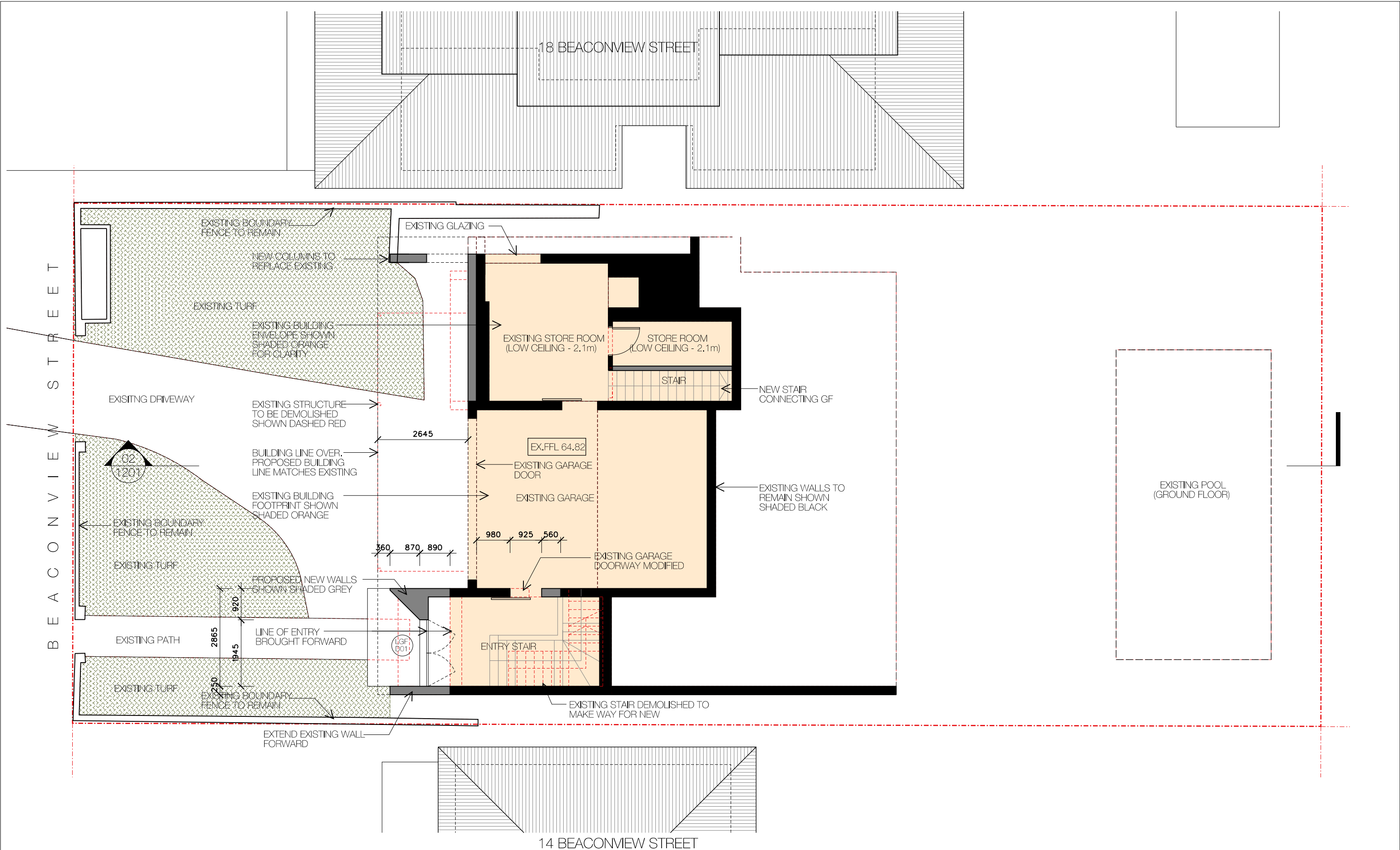


04 EXISTING SITE SECTION
1:200



03 EXISTING ROOF PLAN
1:200

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		A 17.11.20 DA ISSUE A issue date description	scale: 1:200 @A3 drawing issue: A
		COPYRIGHT© This document is the property of Rich Carr Architects Pty Ltd. This drawing shall only be used for the purpose for which it was commissioned. Unauthorised use of this drawing is prohibited.	0m 2m 4m 10m
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16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

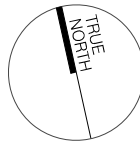
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drawing:
PROPOSED LGF

drawing no.
DA 1101

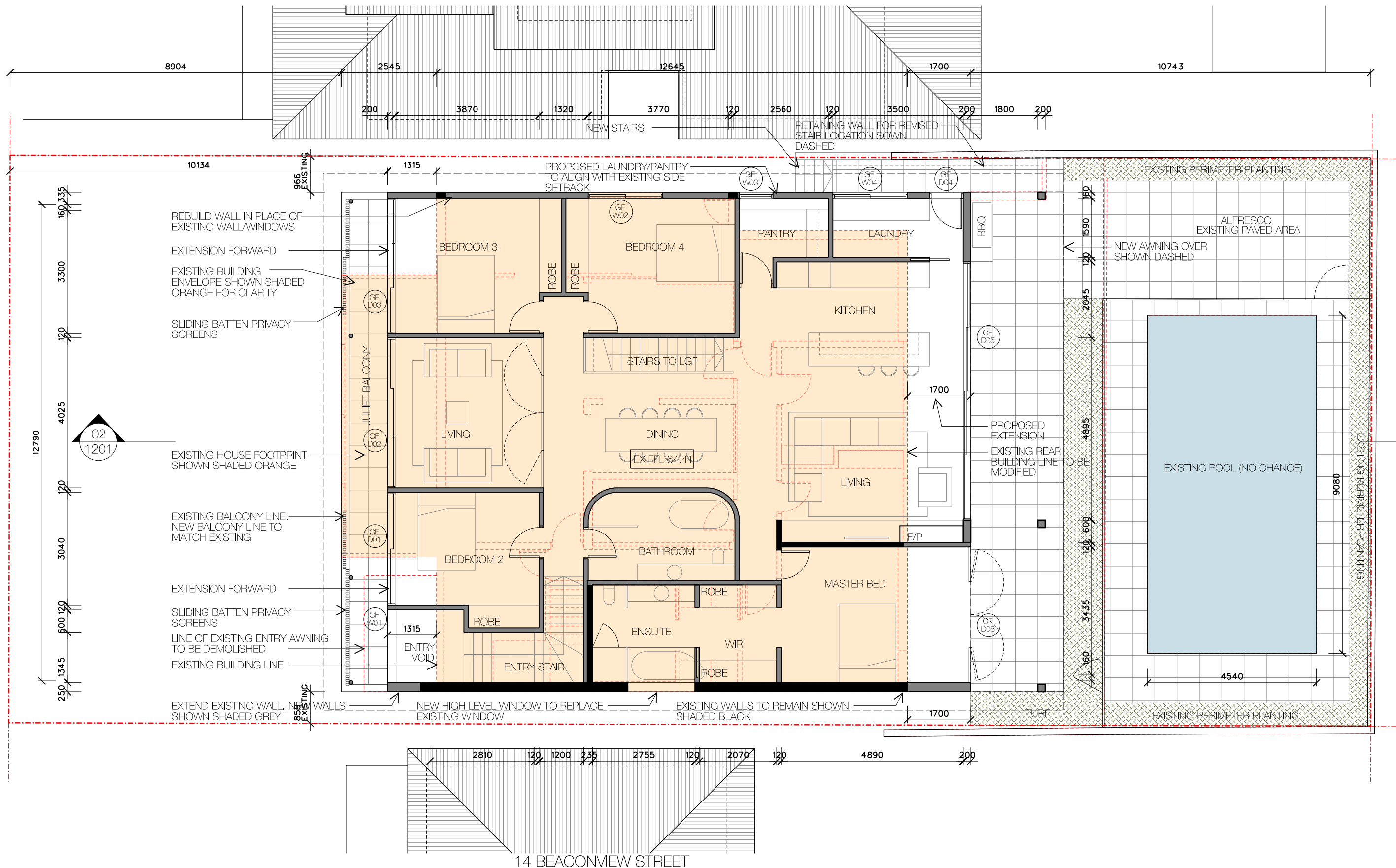
scale:
1:100 @A3

0m 1m 2m 5m

drawing issue:
A

BEACONVIEW STREET

18 BEACONVIEW STREET



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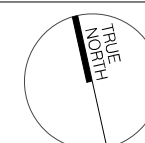
client: SAM AND SANDI AYLIFFE

issue: A date: 17.11.20 description: DA ISSUE A

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drawing: PROPOSED GF PLAN

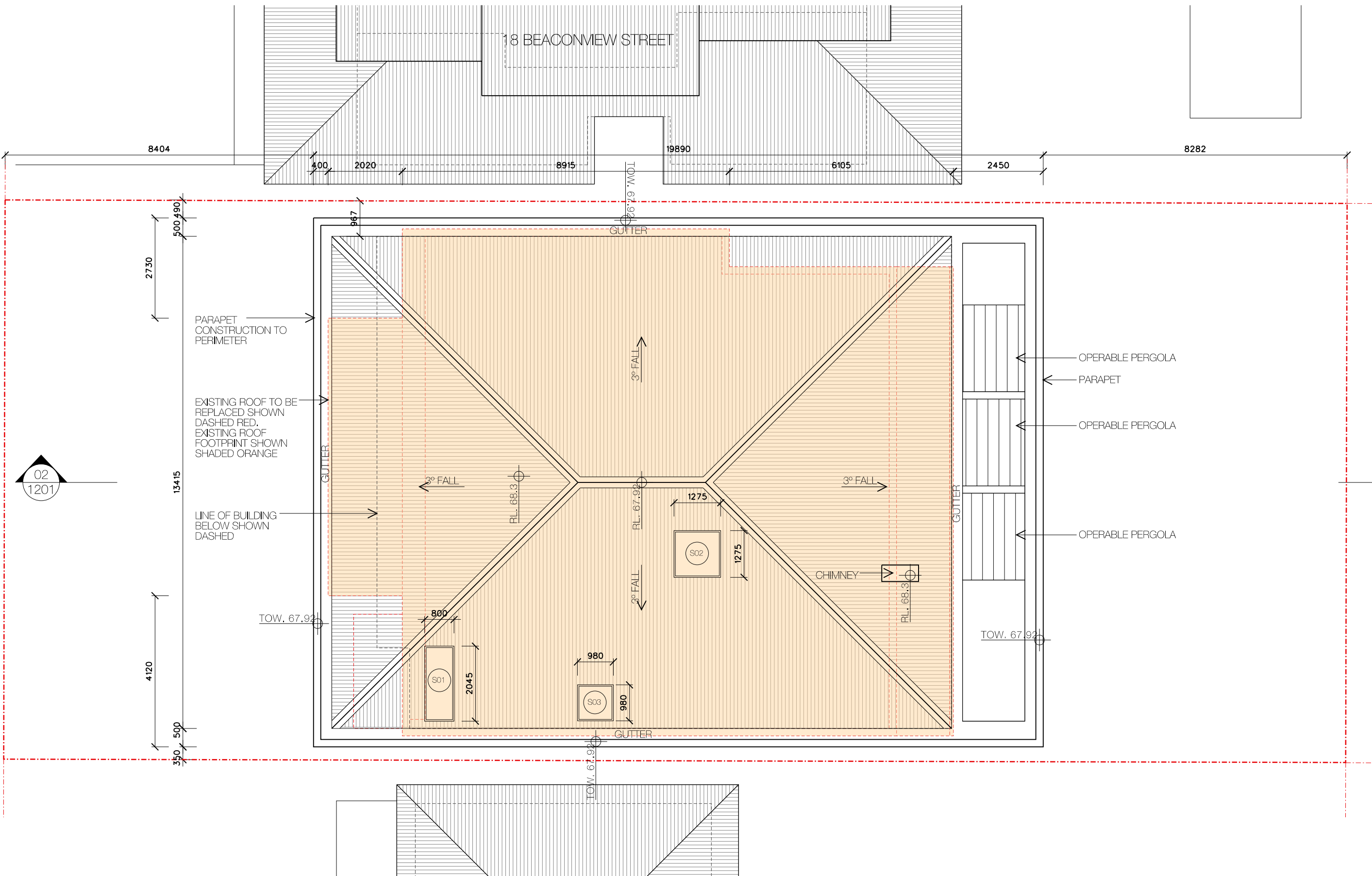
scale: 1:100 @A3

0m 1m 2m 5m

drawing no. DA 1101

drawing issue: A

B E A C O N V I E W S T R E E T



14 BEACONVIEW STREET

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16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

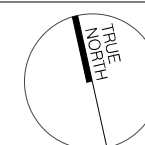
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issue	date	description

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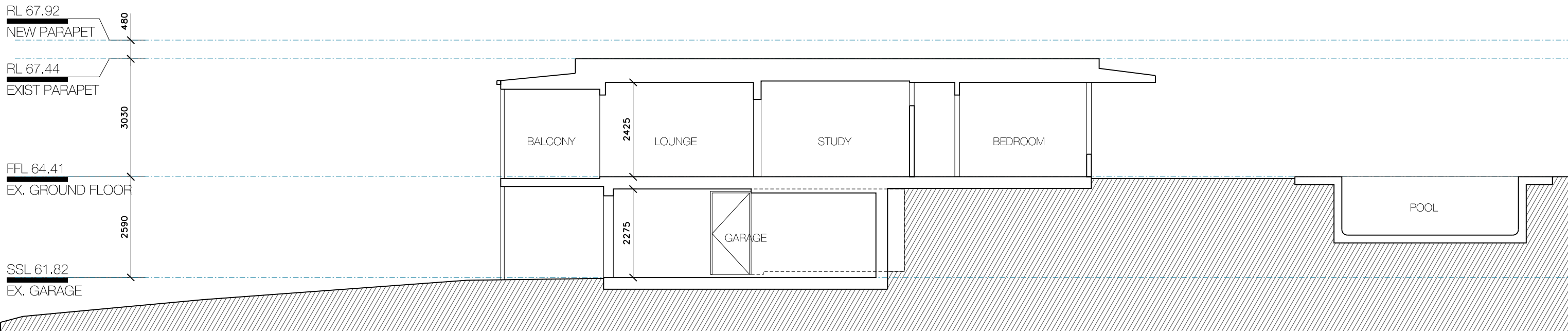
drawing:
PROPOSED
ROOF PLAN

scale:
1:100 @A3

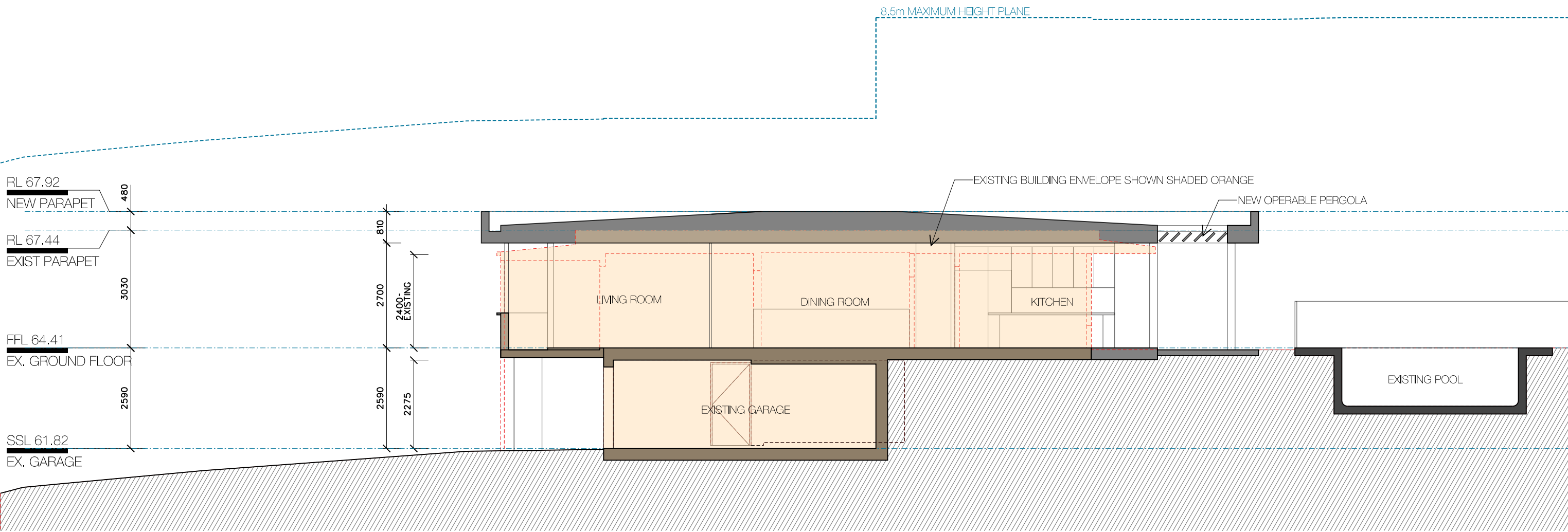
0m 1m 2m 5m

drawing no.
DA 1103

drawing issue:
A



01 EXISTING SECTION AA
1:100



02 PROPOSED SECTION AA
1:100

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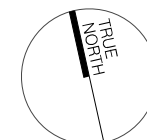
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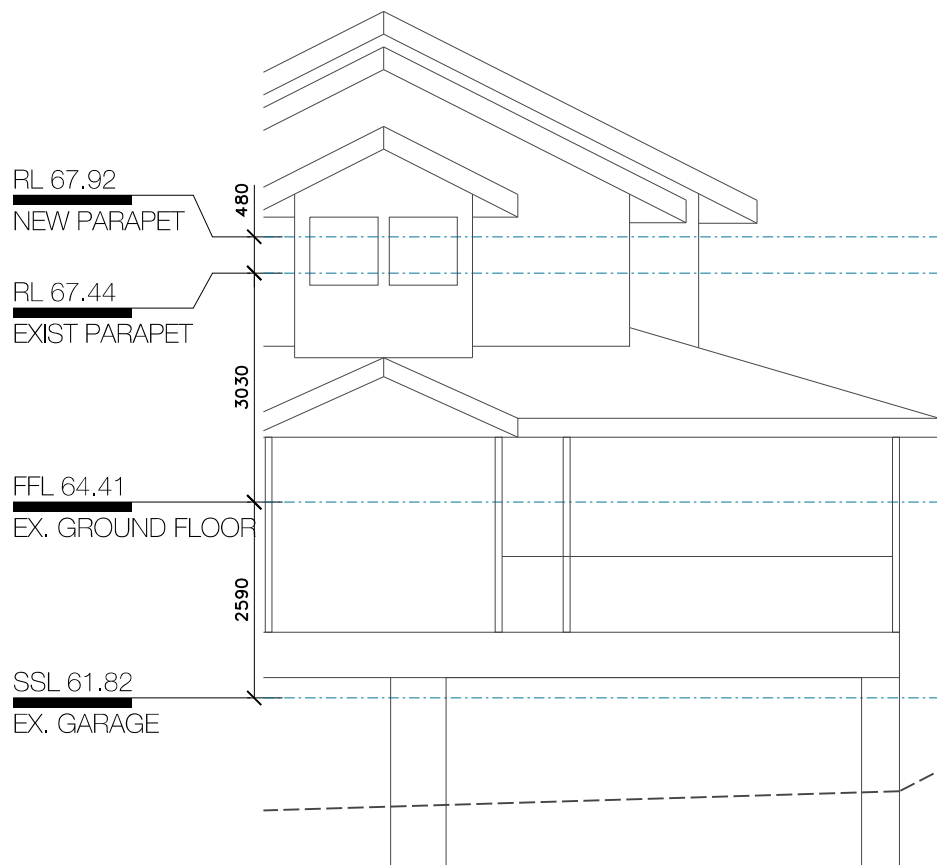
drawing:
SECTION AA

drawing no.
DA 1201

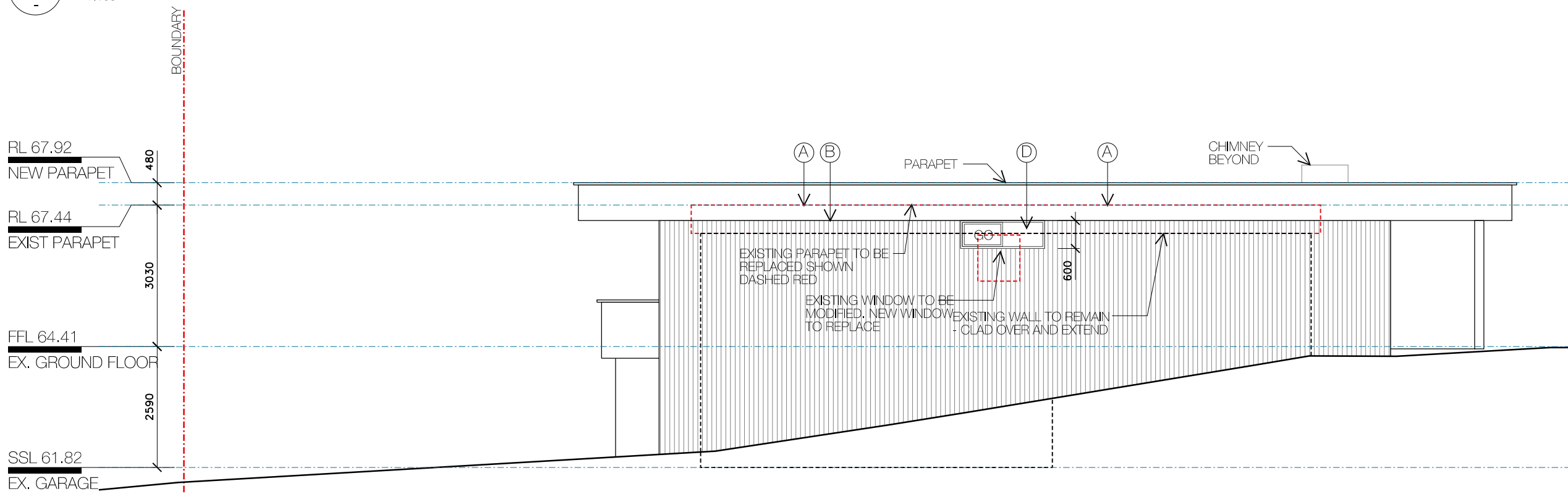
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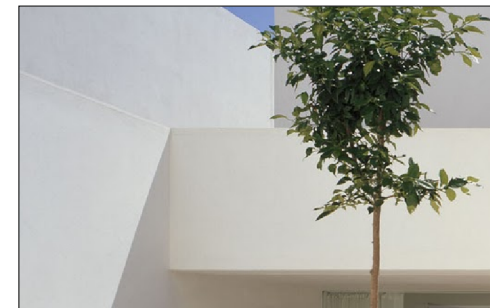
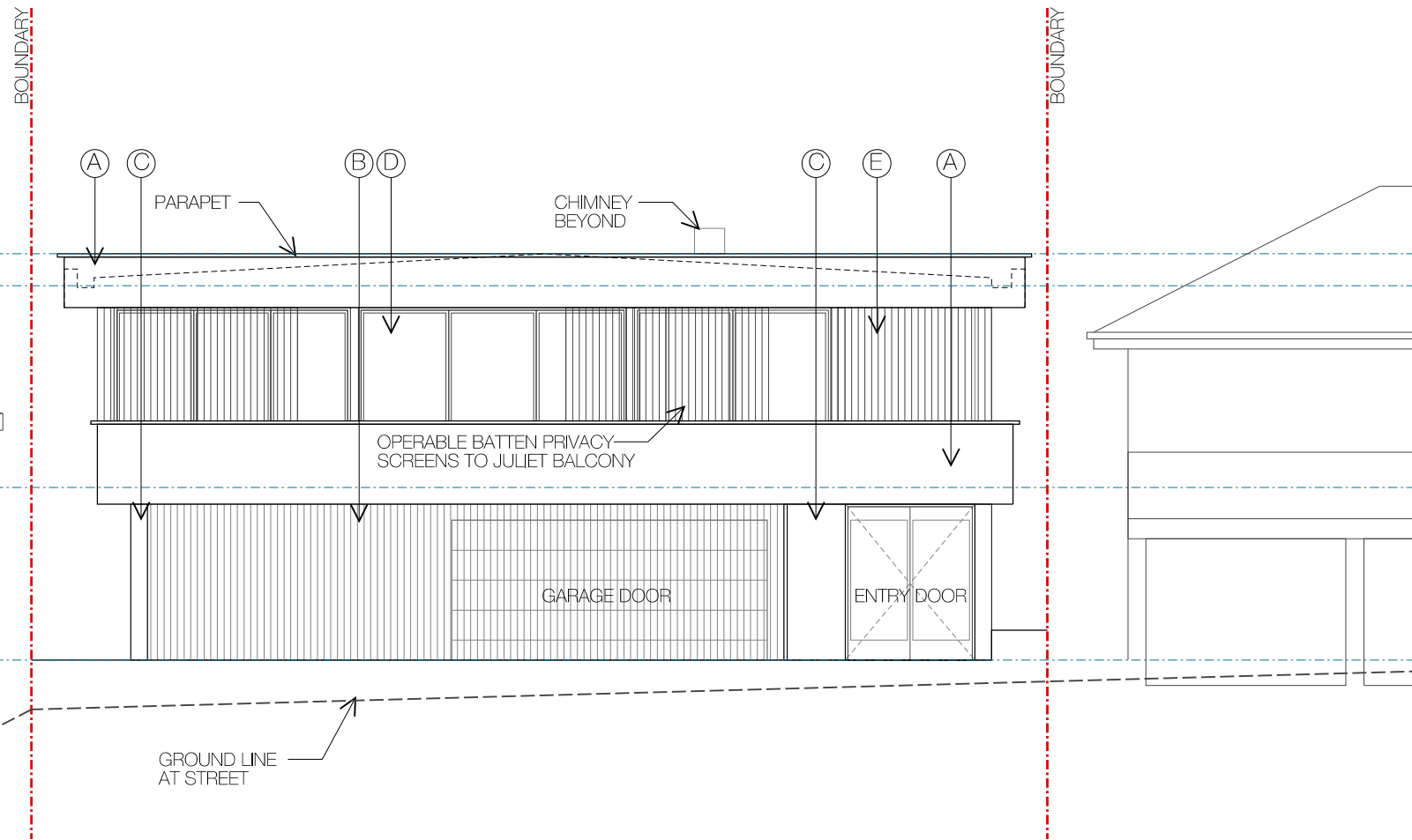
drawing issue:
A



01 WEST ELEVATION
1:100



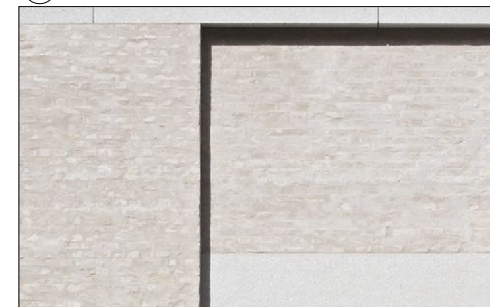
02 SOUTH ELEVATION
1:100



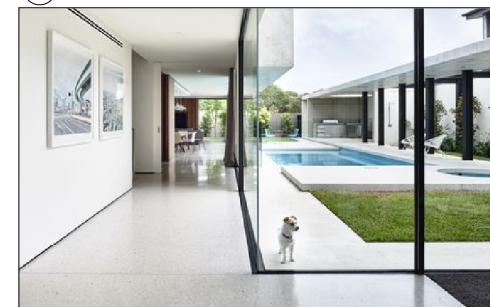
A WHITE RENDER FINISH



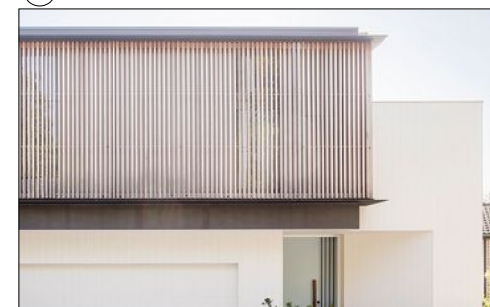
B VERTICAL WHITE EXPRESSED CLADDING



C LIMEWASHED BRICKWORK



D ALUMINIUM FRAMED GLAZING



E TIMBER OPERABLE BATTEN SCREENING

03 MATERIALS AND FINISHES
N.T.S

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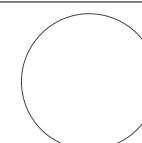
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drawing:
WEST & SOUTH
ELEVATIONS

drawing no.
DA 1301

scale:
1:100 @A3

drawing issue:
A

0m 1m 2m 5m

RL 67.92
NEW PARAPET

RL 67.44
EXIST PARAPET

FFL 64.41
EX. GROUND FLOOR

SSL 61.82
EX. GARAGE

01 EAST ELEVATION

1:100

RL 67.92
NEW PARAPET

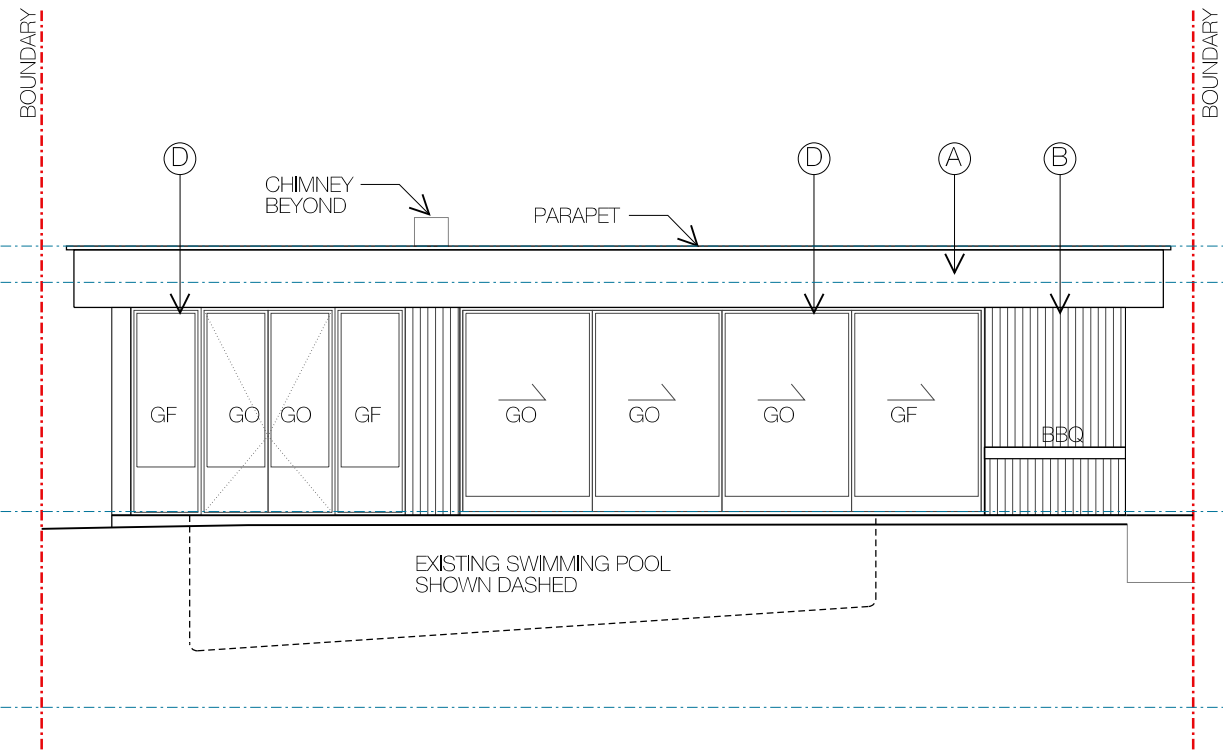
RL 67.44
EXIST PARAPET

FFL 64.41
EX. GROUND FLOOR

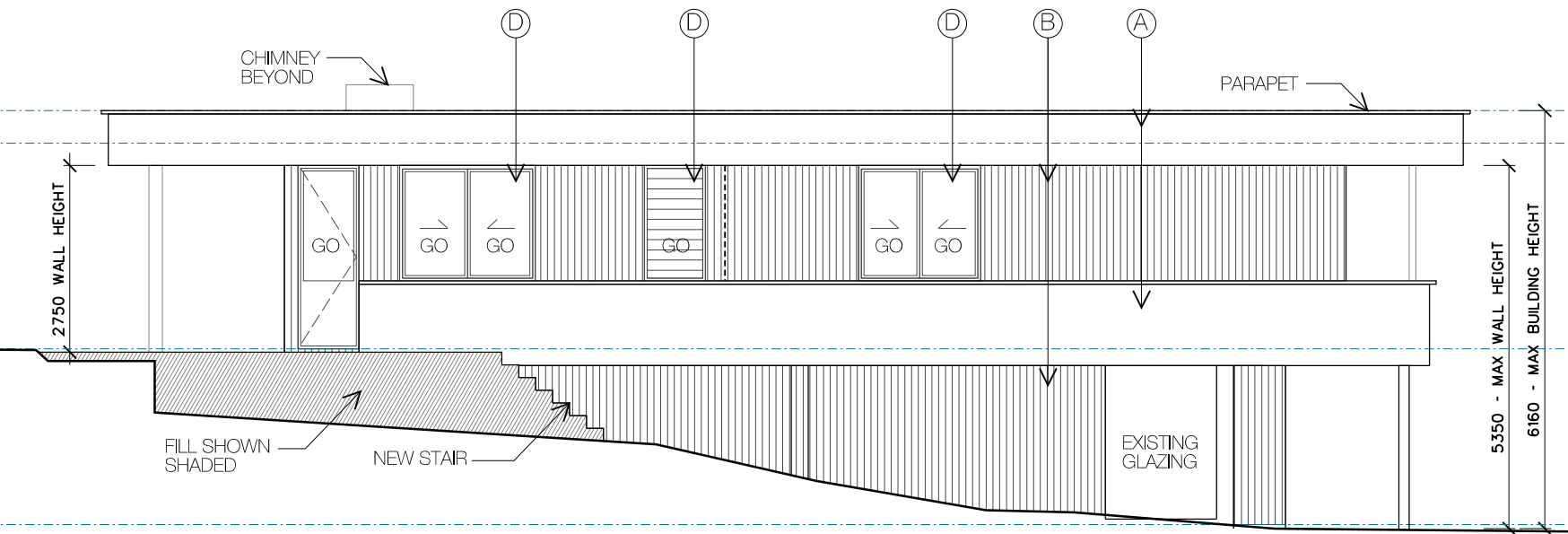
SSL 61.82
EX. GARAGE

02 NORTH ELEVATION

1:100



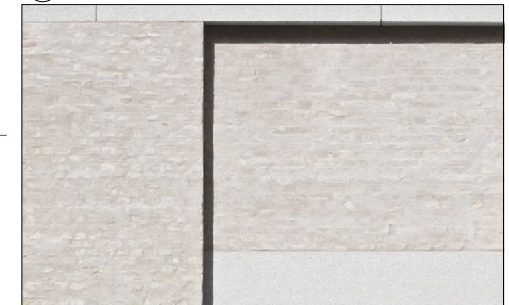
MAXIMUM HEIGHT CONTROL - 8.5M



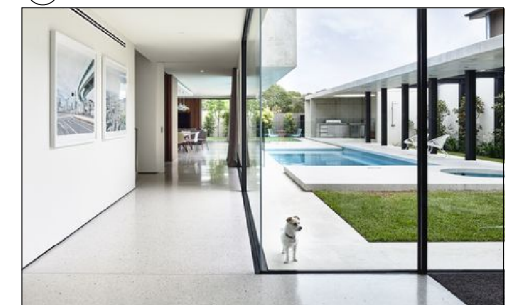
A WHITE RENDER FINISH



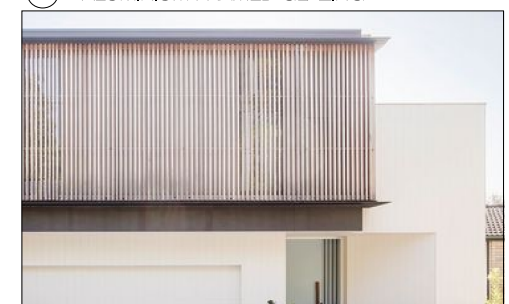
B VERTICAL WHITE EXPRESSED CLADDING



C LIMEWASHED BRICKWORK



D ALUMINIUM FRAMED GLAZING



E TIMBER OPERABLE BATTEN SCREENING

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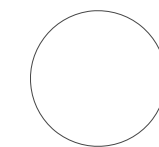
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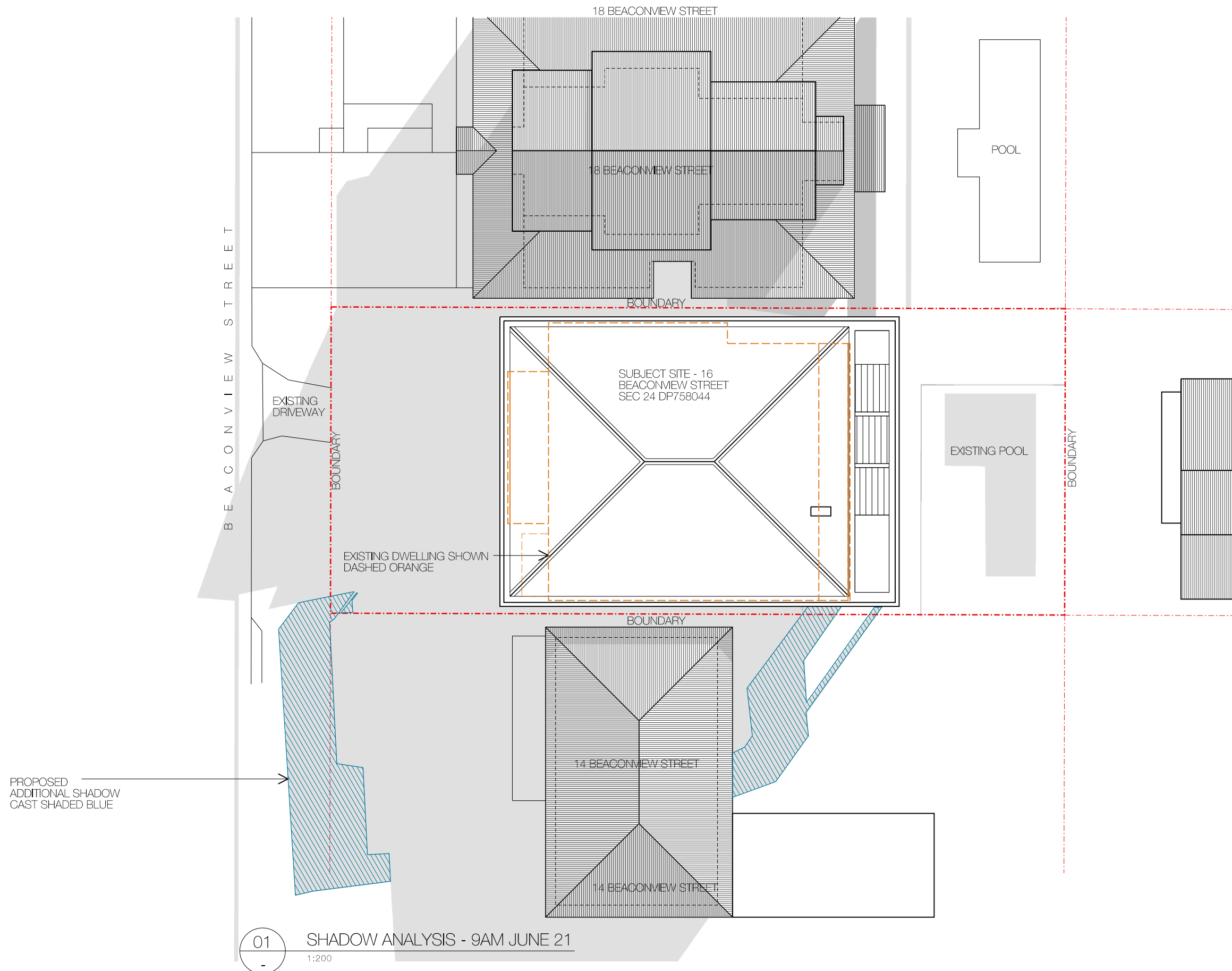
drawing:
EAST & NORTH
ELEVATIONS

scale:
1:100 @A3



drawing no.
DA 1302

drawing issue:
A



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project: SEC24 / DP758044
16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

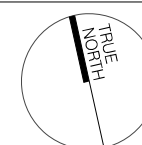
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issue	date	description

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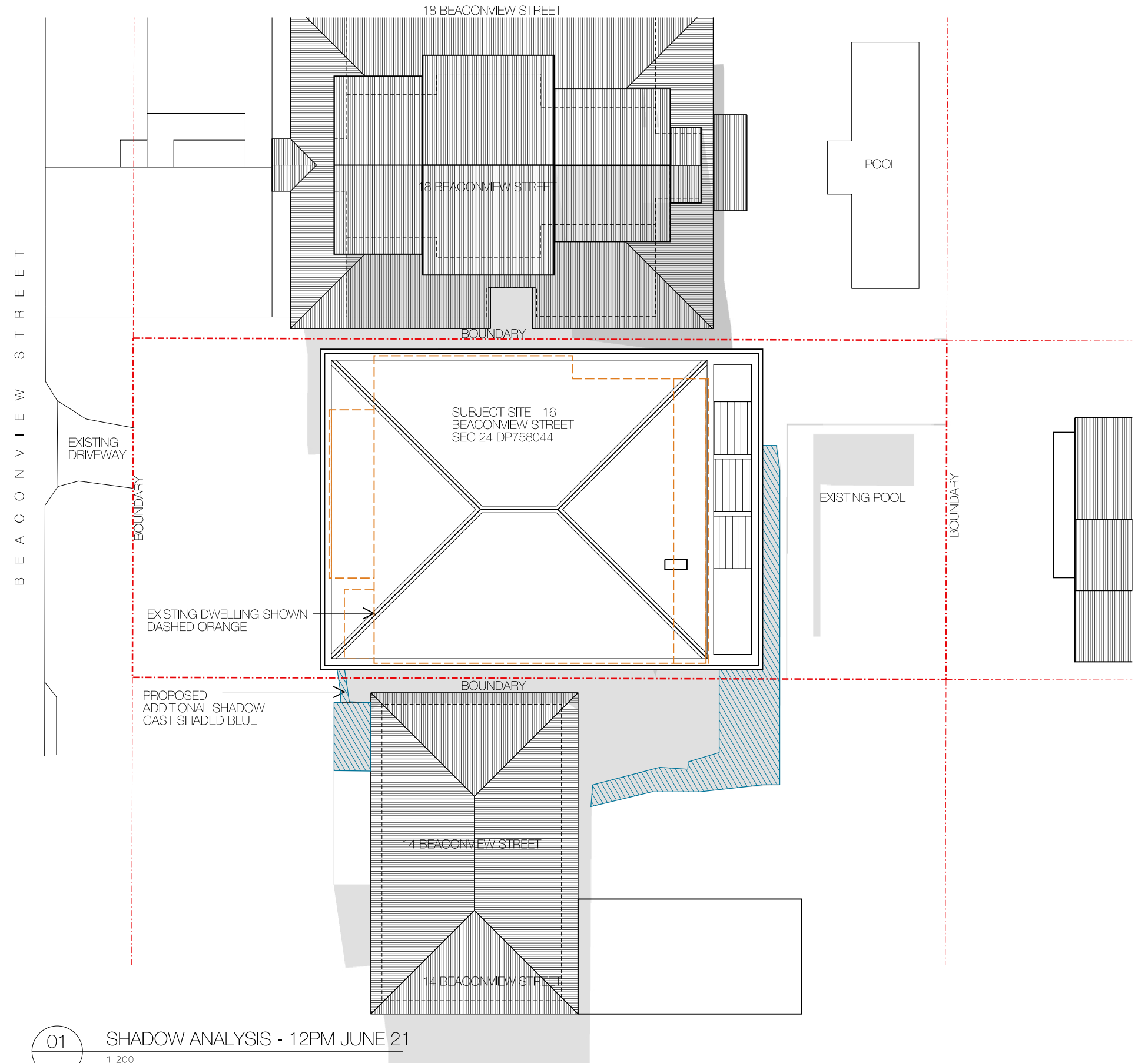
drawing:
SHADOW ANALYSIS DA 1701
9AM - JUNE 21

drawing no.

scale:
1:200 @A3

0m 2m 4m 10m

drawing issue:
A



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project: SEC24 / DP758044
16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

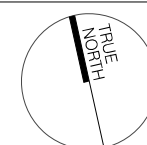
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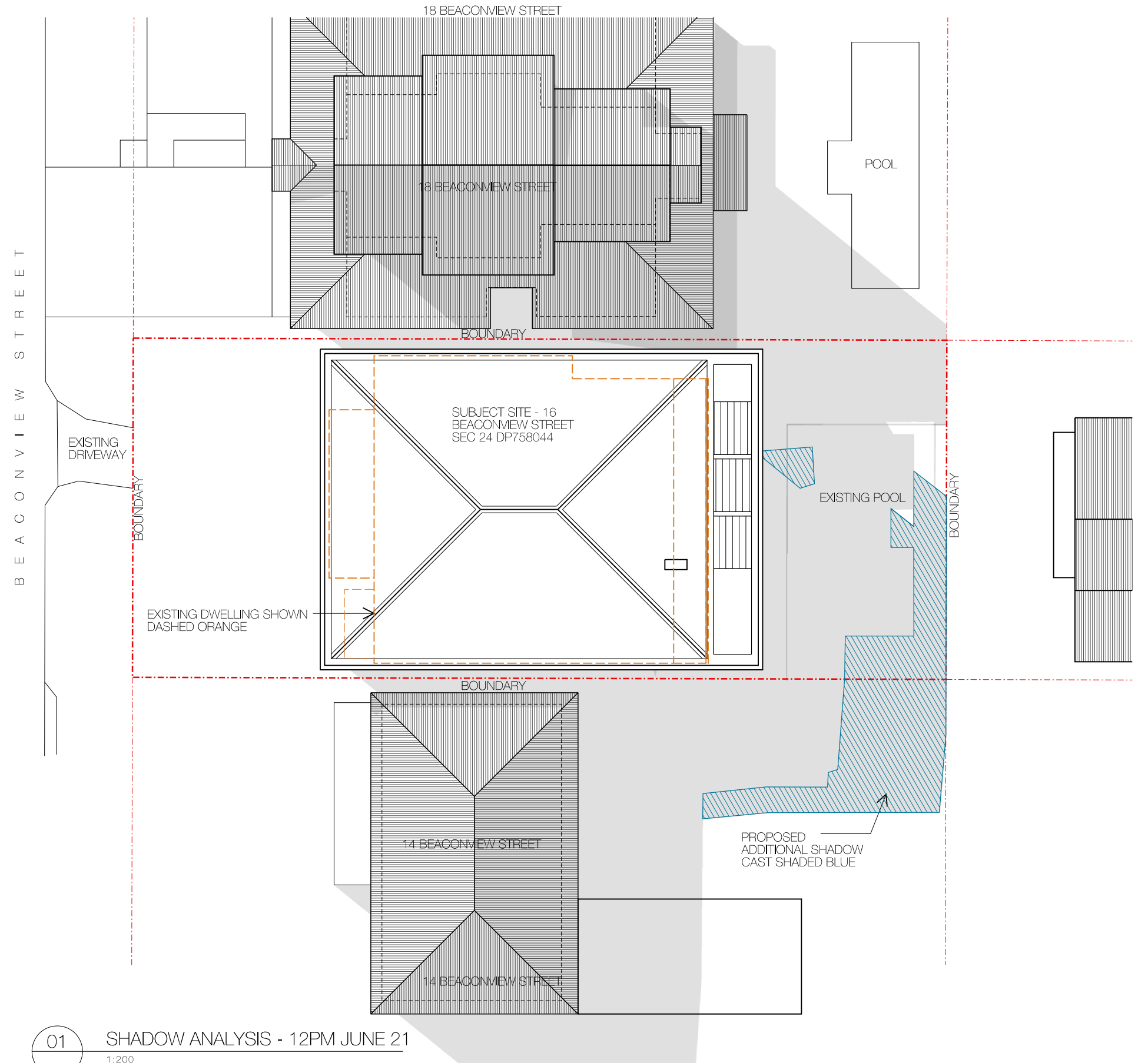
drawing: SHADOW ANALYSIS DA 1702
12PM - JUNE 21

drawing no.

scale:
1:200 @A3

0m 2m 4m 10m

drawing issue:
A



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project:
16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

SEC24 / DP758044

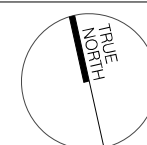
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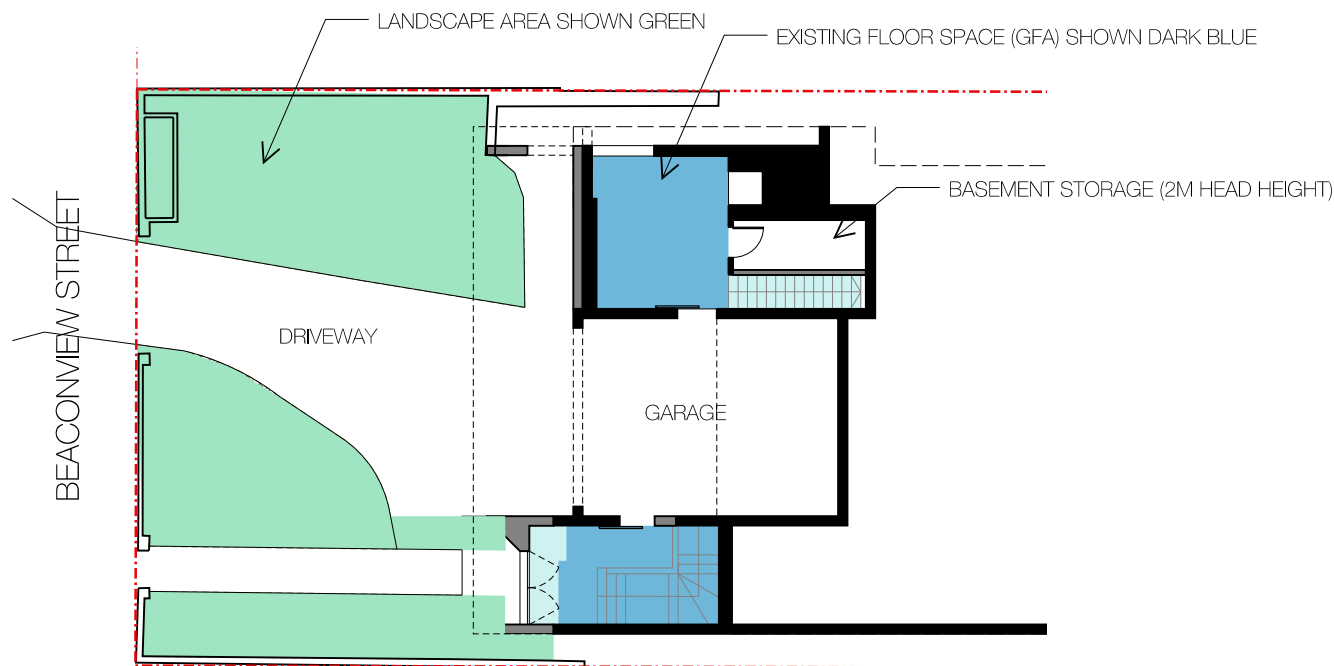
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SHADOW ANALYSIS DA 1703
3PM - JUNE 21

drawing no.

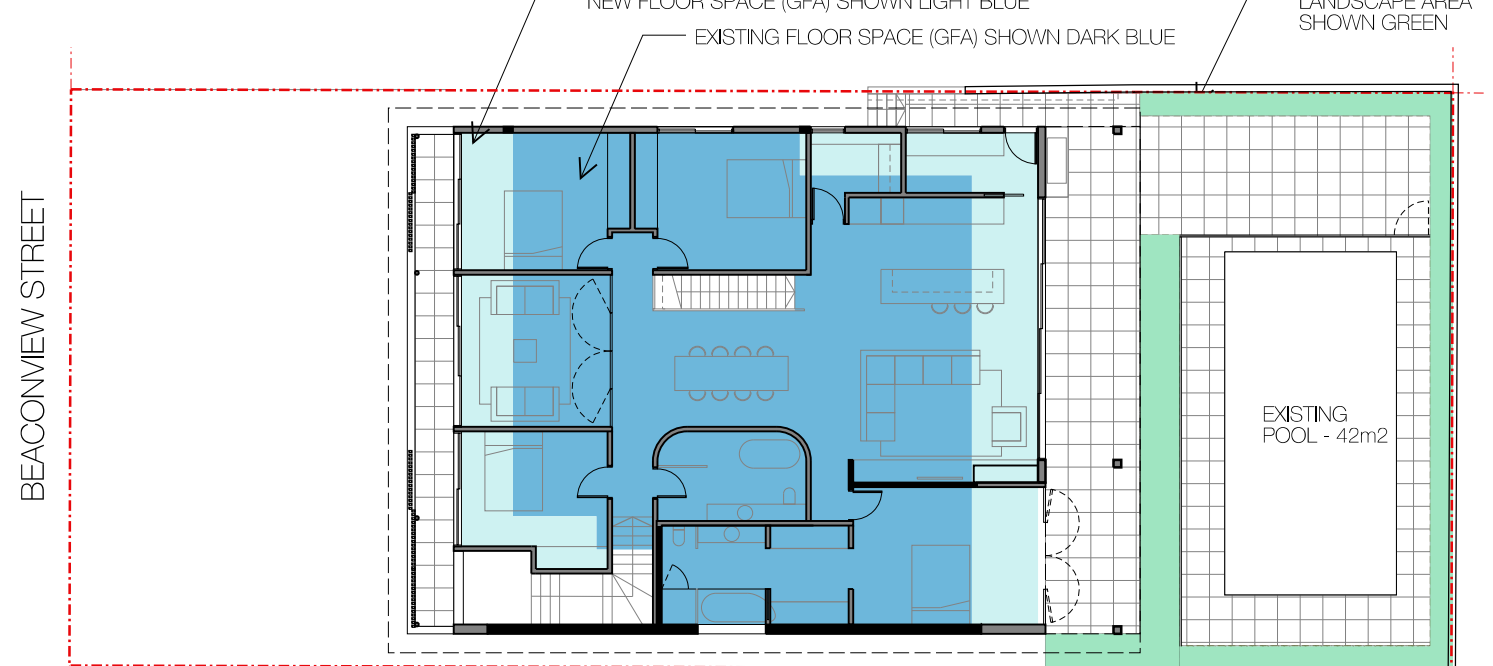
scale:
1:200 @A3

drawing issue:
A

0m 2m 4m 10m



01 LOWER GROUND FLOOR
1:200



02 GROUND FLOOR
1:200

SITE CONTROLS

ADDRESS	16 BEACONVIEW STREET, BALGOWLAH HEIGHTS
SITE	LOT 5/SEC24/DP758044
ZONING	R2 LOW DENSITY RESIDENTIAL
SITE AREA (m2)	557

	REQUIRED DA CONTROLS	PROPOSED	COMPLIES
MAX GFA (m2)	330m2	217	YES
MIN OPEN SPACE (OS3)	55%	59.25%	YES
	306.35	330	YES
MIN LANDSCAPE AREA	35%	35.91%	YES
	107.2225	110	YES
MIN REAR YARD LANDSCAPE AREA (DEEPSOIL)	50%	18.61%	YES
	153.175	57	YES
MIN PRIVATE OPEN SPACE	18m2	18m2	YES
MAXIMUM HEIGHT	3.5m	6.18m	YES

BASIX NOTES

WINDOWS AND DOORS	LOCATION		DIRECTION	WIDTH	HEIGHT	AREA m2	TYPE	SHADING	NOTES
LGF - WINDOWS	NOT BASIX APPLICABLE								
GF - WINDOWS	GF-W01	ENTRY	WEST	1945	X 1700	3.3	ALUMINIUM FRAMED FIXED WINDOW	1730MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
	GF-W02	BEDROOM 4	NORTH	2000	X 1700	3.4	ALUMINIUM FRAMED SLIDING WINDOW	500 EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 5.7,SHGC:0.43)
	GF-W03	PANTRY	NORTH	900	X 1700	1.5	ALUMINIUM FRAMED LOUVRE WINDOW	500 EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 5.7,SHGC:0.43)
	GF-W04	LAUNDRY	NORTH	2000	X 1700	3.4	ALUMINIUM FRAMED SLIDING WINDOW	500 EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 5.7,SHGC:0.43)
	GF-W05	ENSUITE	SOUTH	1800	X 600	1.1	ALUMINIUM FRAMED SLIDING WINDOW	500 EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
SKYLIGHTS	S01	ENTRY		800	X 2045	1.6	FIXED GLASS SKYLIGHT	N/A	TIMBER, LOW-E/ARGON FILLED/CLEAR EXTERNAL (OR U-VALUE:2.5, SHGC 0.456)
	S02	MASTER BATHROOM		1275	X 1275	1.6	OPERABLE SKYLIGHT	N/A	TIMBER, LOW-E/ARGON FILLED/CLEAR EXTERNAL (OR U-VALUE:2.5, SHGC 0.456)
	S03	ENSUITE		970	X 970	0.9	FIXED GLASS SKYLIGHT	N/A	TIMBER, LOW-E/ARGON FILLED/CLEAR EXTERNAL (OR U-VALUE:2.5, SHGC 0.456)
LGF - DOORS	LGF-D01	ENTRY	WEST	1945	X 2400	4.7	ALUMINIUM FRAMED GLASS FRENCH DOORS	1230MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
GF - DOORS	GF-D01	BEDROOM 2	WEST	3040	X 2700	8.2	ALUMINIUM FRAMED GLASS SLIDING DOOR	1730MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
	GF-D02	LIVING	WEST	4025	X 2700	10.9	ALUMINIUM FRAMED GLASS SLIDING DOOR	1730MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
	GF-D03	BEDROOM 3	WEST	3635	X 2700	9.8	ALUMINIUM FRAMED GLASS SLIDING DOOR	1730MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
	GF-D04	LAUNDRY	NORTH	900	X 2700	2.4	ALUMINIUM FRAMED GLASS HINGE DOOR	500 EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 5.7,SHGC:0.43)
	GF-D05	LIVING/KITCHEN	EAST	6940	X 2700	18.7	ALUMINIUM FRAMED GLASS SLIDING DOOR	2500MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)
	GF-D06	MASTER BEDROOM	EAST	3635	X 2700	9.8	ALUMINIUM FRAMED FRENCH DOORS	2500MM EAVE	STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE 7.63,SHGC:0.75)

INSULATION REQUIREMENTS	ADDITIONAL INSULATION REQ. (R VALUE)
CONCRETE SLAB ON GROUND	NIL
SUSPENDED FLOOR ABOVE GARAGE: FRAMED (R0.7)	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R1.3 (OR 1.7 INCLUDING CONSTRUCT)
INTERNAL WALL SHARED WITH GARAGE: PLASTERBOARD (R0.36)	NIL
INSULATION REQUIREMENTS	ADDITIONAL INSULATION REQ. (R VALUE)
CONCRETE SLAB ON GROUND	NIL
SUSPENDED FLOOR ABOVE GARAGE: FRAMED (R0.7)	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R1.3 (OR 1.7 INCLUDING CONSTRUCT)
INTERNAL WALL SHARED WITH GARAGE: PLASTERBOARD (R0.36)	NIL
FLAT CEILING, FLAT ROOF: FRAMED	CEILING: R2.5 (UP), ROOF: FOIL/SARKING - DARK SOLAR ABSORPTANCE >0.7

LEGEND

	EXISTING WALLS TO REMAIN
	PROPOSED NEW WALLS
	EXISTING FLOOR SPACE
	PROPOSED ADDITIONAL FLOOR SPACE
	LANDSCAPE AREA (DEEP SOIL)
	PROPERTY BOUNDARY

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16 BEACONVIEW STREET, BALGOWLAH HEIGHTS

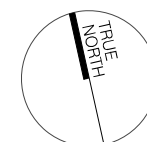
client: SAM AND SANDI AYLIFFE

A 17.11.20 DA ISSUE A
issue date description

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drawing: DEVELOPMENT CALCULATIONS

scale: 1:200 @A3

0m 2m 4m 10m

drawing no. DA 1801

drawing issue: A

LEGEND



MATERIALS STOCKPILE AREA DURING CONSTRUCTION PHASE



PROPOSED SHED FOR STORAGE DURING CONSTRUCTION PHASE



WASTE STOCK PILE AREA DURING CONSTRUCTION PHASE



SEDIMENT FENCING AS PER EPA AND COUNCIL REQUIREMENTS



EXISTING BUILDING FOR DEMOLITION SHOWN DASHED RED - NOTE REFER TO FLOOR PLANS FOR EXTENT OF DEMOLITION

TYPICAL SEDIMENT FENCE
DETAIL - N.T.S

TYPICAL SEDIMENT FENCE
DETAIL - N.T.S

TYPICAL GRAVEL SAUSAGE
DETAIL - N.T.S

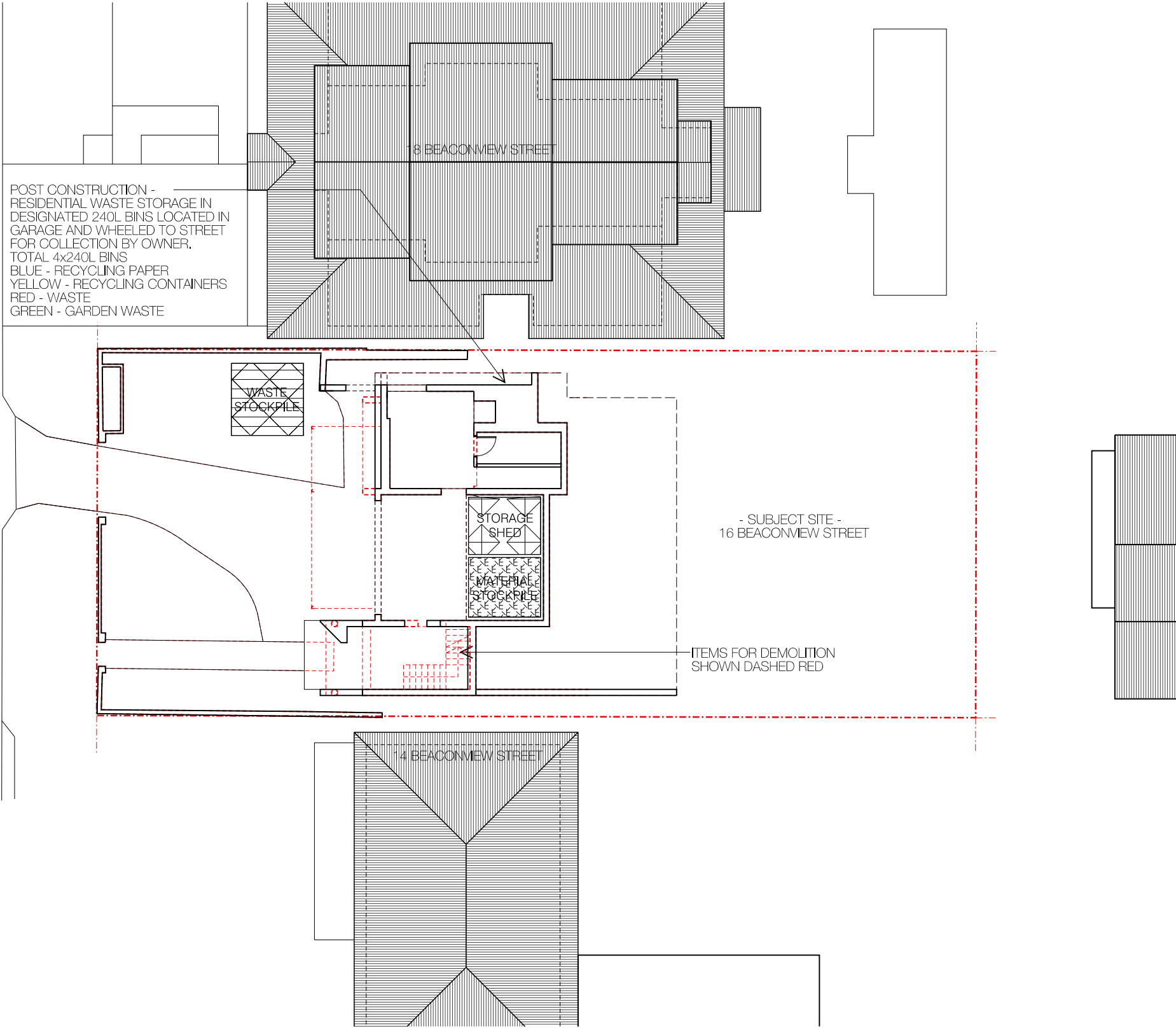
WATER AND SEDIMENT
CONTROL MEASURES

1. PRE-EXISTING SITE ACCESS POINTS ARE RETAINED DURING CONSTRUCTION. SITE ACCESS POINTS ARE STABILISED WITH GEO-TEXTILE FABRIC AND BLUE METAL. A VEHICLE GRID ENSURES MINIMAL SOIL PARTICLES ARE REMOVED FROM THE SITE.
2. GEO-TEXTILE SEDIMENT FENCES ARE LOCATED ALONG THE LOWER SITE BOUNDARIES TO PREVENT RUNOFF.
3. KERBSIDE DRAINS ARE PROTECTED WITH GRAVEL SAUSAGES.
4. MATERIAL STOCKPILES ARE COVERED AND LOCATED WITHIN SEDIMENT FENCES.
5. EXCAVATED MATERIAL IS PLACED UPSLOPE OF SERVICE TRENCHES. TRENCHES ARE FILLED AND COMPACTED IMMEDIATELY AFTER INSTALATION OF SERVICES.
6. PAVED AREAS AND FOOTPATHS ARE SWEEPED DAILY AND SEDIMENT IS COLLECTED.
7. EROSION AND SEDIMENT CONTROLS ARE TO BE CHECKED DAILY AND REPAIRED WHEN NECESSARY.

WASTE GENERATION –
CONSTRUCTION STAGE

ALL CONSTRUCTION AND WASTE MATERIALS TO BE STORED DESIGNATED AREAS NOMINATED DURING CONSTRUCTION STAGE.

ALL DEMOLITION AND EXCAVATION MATERIALS TO BE COLLECTED WEEKLY FROM SITE DURING DEMOLITION/EXCAVATION STAGE.



01 SITE PLAN - LGF SHOWN
1:200

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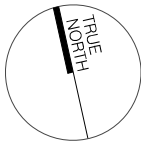
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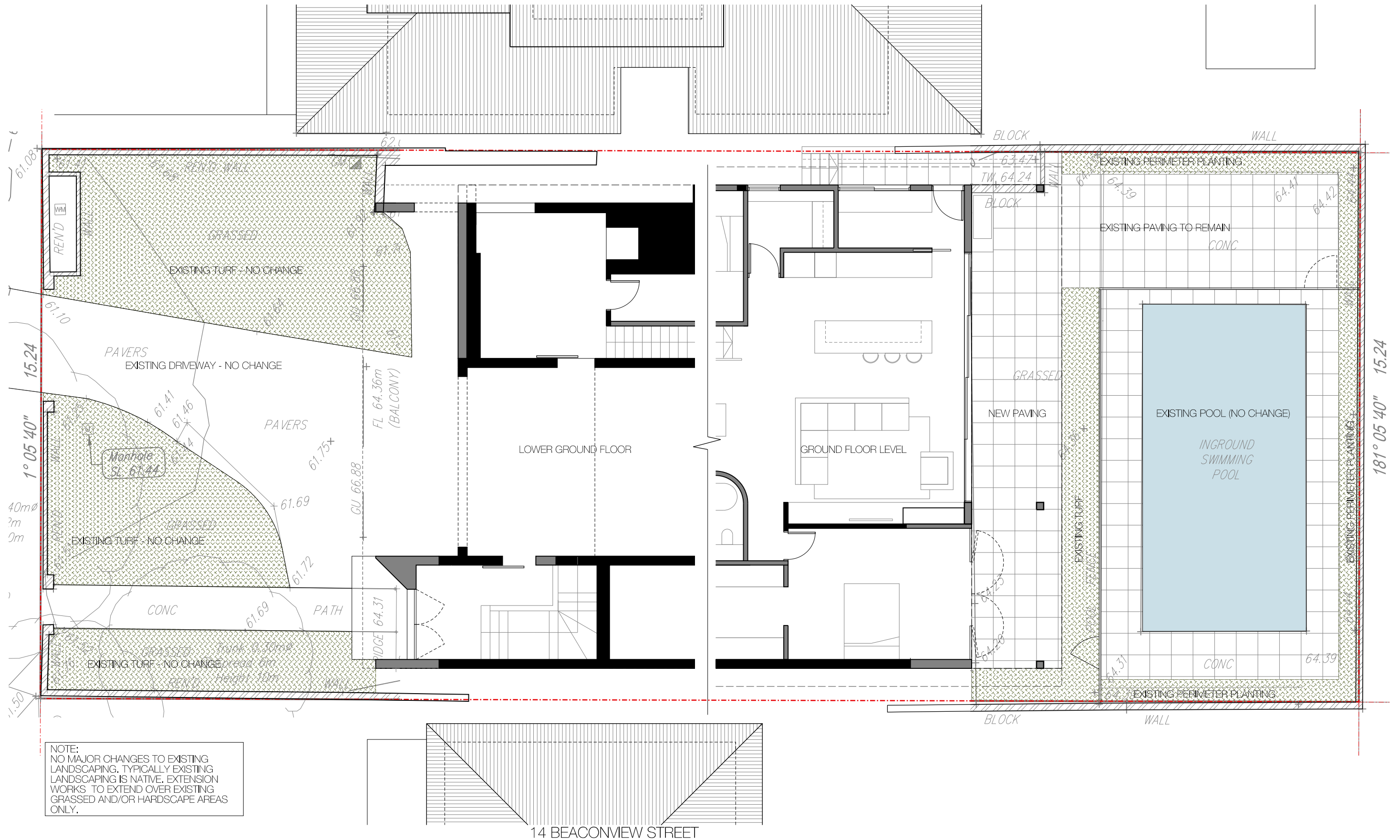


drawing: WMP & SEDMENT EROSION MANAGEMENT PLAN
drawing no. DA 1901

scale:
1:200 @A3

0m 2m 4m 10m

drawing issue:
A



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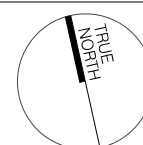
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drawing:
LANDSCAPE
PLAN

scale:
1:100 @A3

0m 1m 2m 5m

drawing no.
DA 2001

drawing issue:
A