

adjoining dwelling no. 46

existing dwelling

proposed alterations
to bottom floor

proposed new
secondary dwelling

adjoining dwelling no. 50

All work to Geotech,
and BASIX requirements.



REVISION



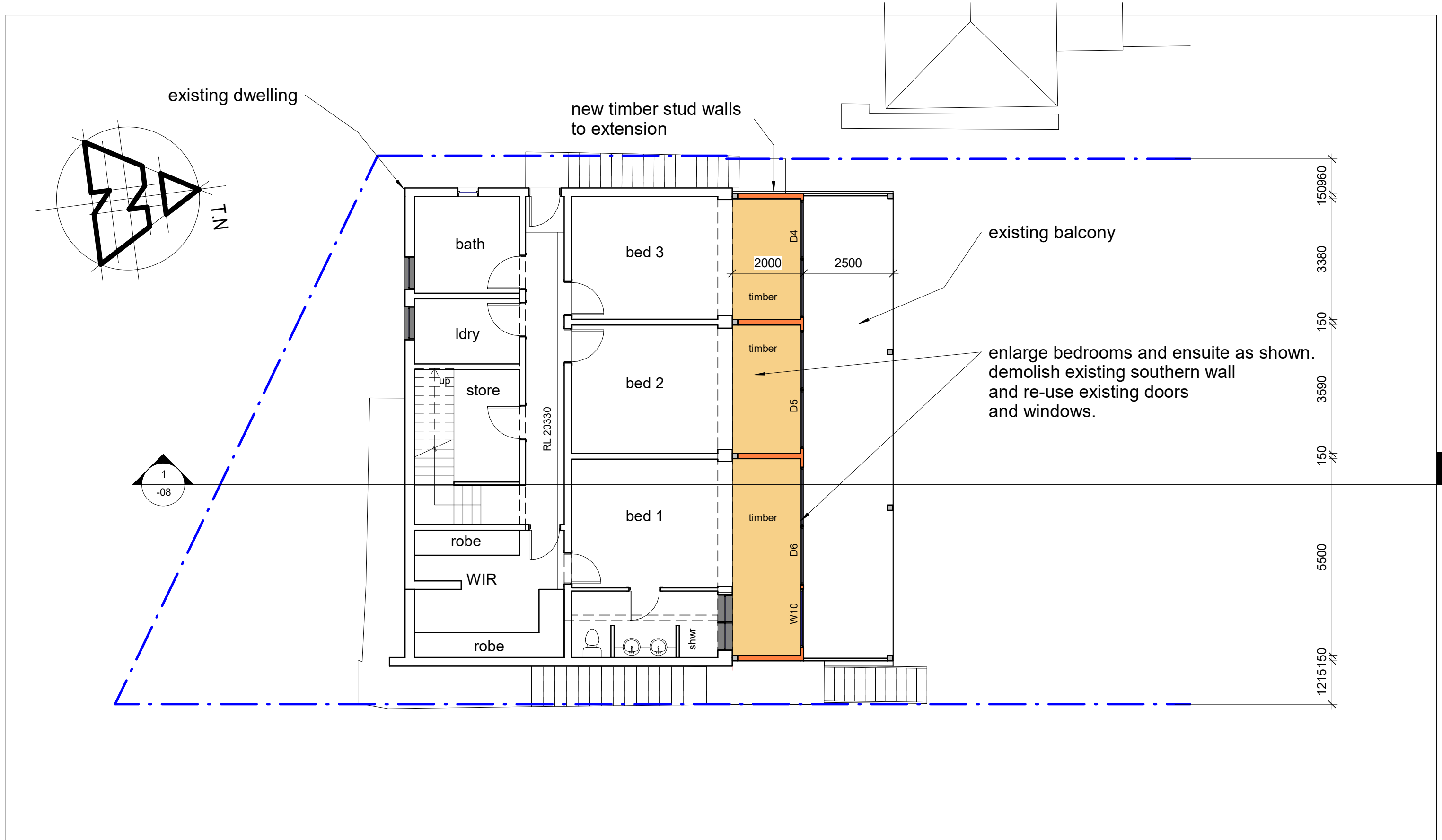
peterdownes
multi-award winner designs

address 77 Riviera rd, Avalon 2107
phone 0488 662 445 www.peterdownes.com

PROJECT
New secondary dwelling at 48 Lindley Ave, Narrabeen

DRAWING
Cover Sheet

DA ISSUE	
DRAWN PD	CHECKED PD
SCALE	DATE 01.04.22
DRG. No. A3 2201 -00	



REVISION		 address 77 Riviera rd, Avalon 2107 phone 0488 662 445 www.peterdownes.com	PROJECT New secondary dwelling at 48 Lindley Ave, Narrabeen		DA ISSUE	
			DRAWING ground floor plan house		DRAWN PD	CHECKED PD
					SCALE 1 : 100	DATE 01.04.22
					DRG. No. A3	2201 -02

WINDOW AND DOOR SCHEDULE				
Mark	Orientation	Width	Height	Description
W1	E	2700	600	2 awning, 1 fixed
W2	S	900	600	1 awning
W3	S	900	600	1 awning
W4	S	1600	600	2 awning
W5	W	2700	600	2 awning, 1 fixed
W6	N	800	2400	1 louvre
W7	W	2700	600	2 awning, 1 fixed
W8	N	800	2400	1 louvre
W9	N	800	2400	1 louvre
D1	N	2700	2400	3 stacking
D2	N	2700	2400	3 stacking
D3	S	820	2400	selected front door
SK1	N	460	780	1 fixed
SK2	N	460	780	1 fixed
SK3	N	460	780	1 fixed
W10	N	1650	2700	1 fixed
D4	N	3300	2700	2 sliding
D5	N	3300	2700	2 sliding
D6	N	3300	2700	2 sliding

WINDOW AND DOOR NOTES

- all windows and doors to be powder coated aluminium
- all window and door dimensions to be verified by the builder
- all doors and windows to be fitted with draft seals
- glazing specification to be in accordance with BASIX etc



All work to Geotech,
and BASIX requirements.

REVISION



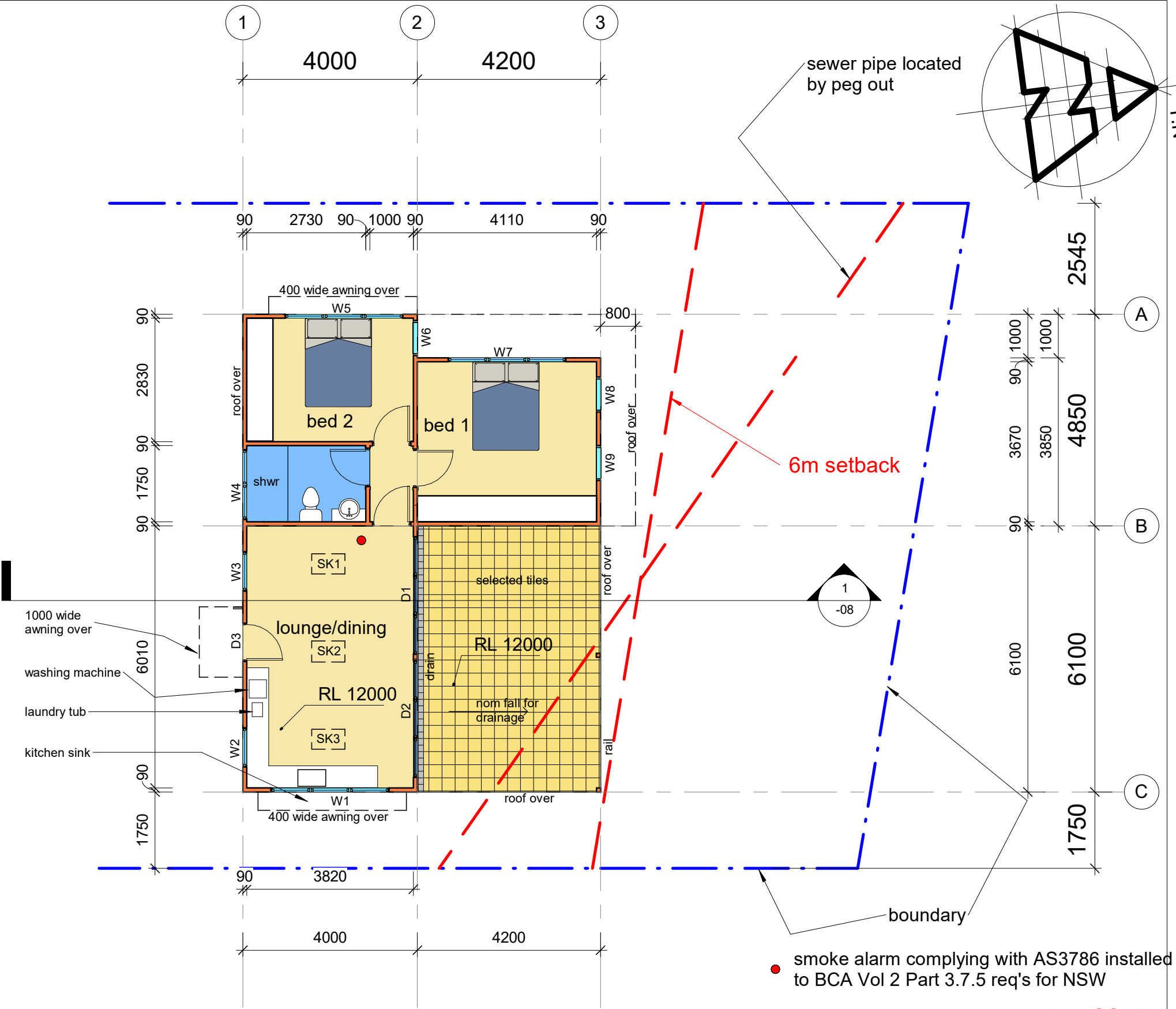
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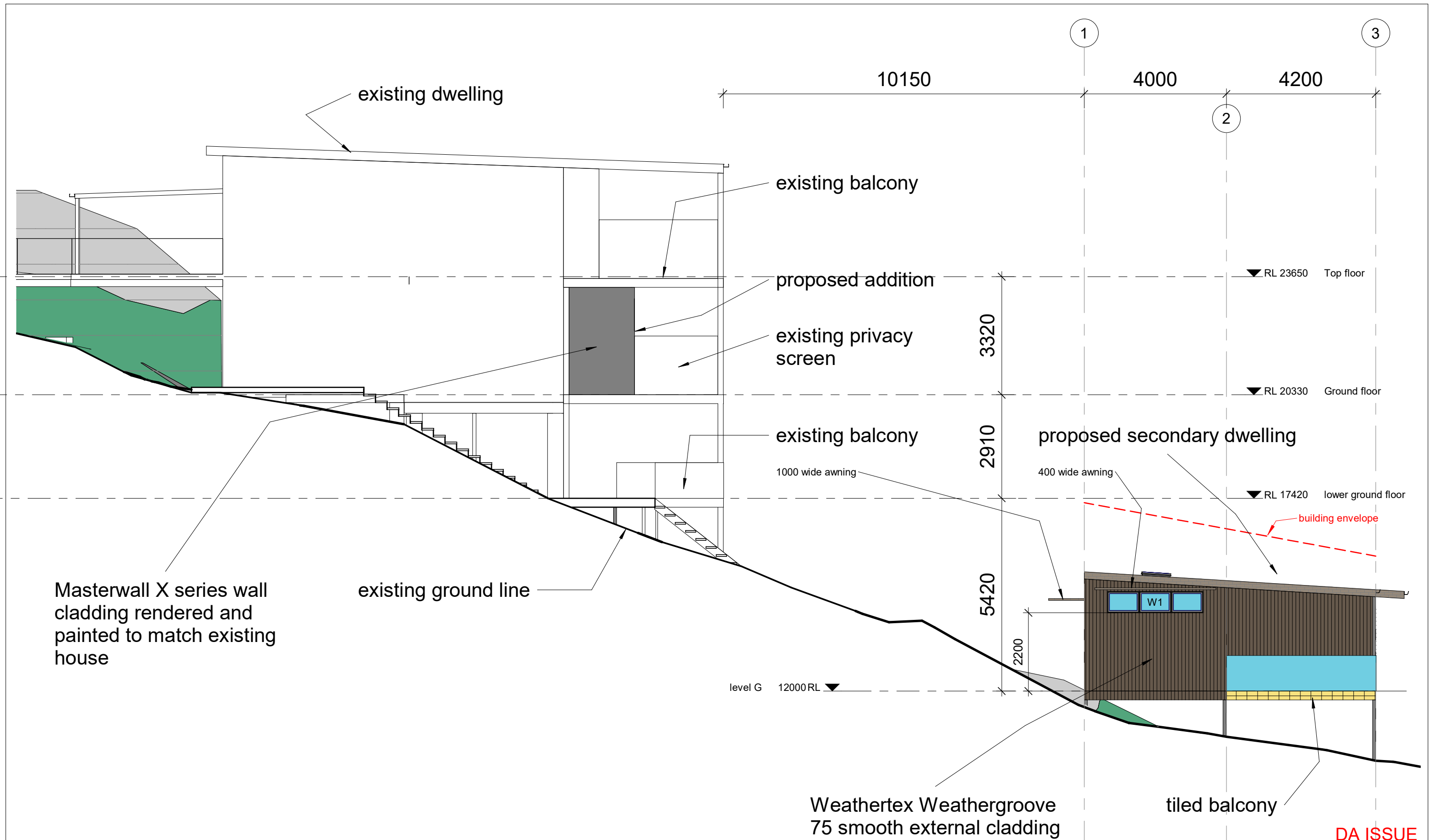
PROJECT
New secondary dwelling at 48 Lindley Ave, Narrabeen

DRAWING
secondary dwelling floor plan,
window and door schedule

DRAWN PD	CHECKED PD
SCALE 1 : 100	DATE 01.04.22
DRG. No. A3	2201 -03

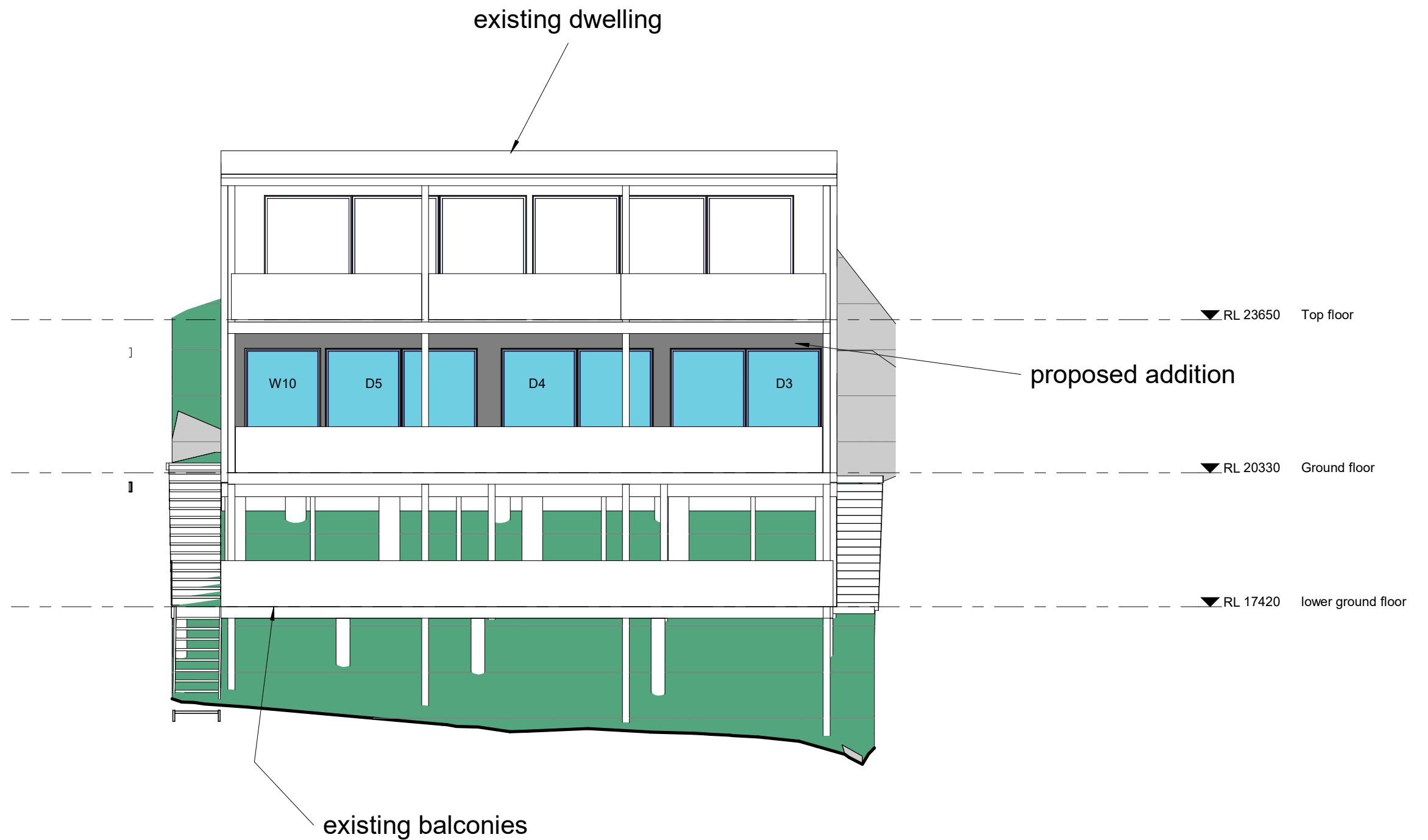


DA ISSUE



DA ISSUE

REVISION		 peterdownes multi-award winner designs address 77 Riviera rd, Avalon 2107 phone 0488 662 445 www.peterdownes.com	PROJECT New secondary dwelling at 48 Lindley Ave, Narrabeen		DRAWN PD	CHECKED PD
			DRAWING east elevations		SCALE 1 : 100	DATE 01.04.22
					DRG. No. A3 2201-04	



REVISION



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PROJECT
New secondary dwelling at 48 Lindley Ave, Narrabeen

DRAWING
house north elevation

DRAWN
PD

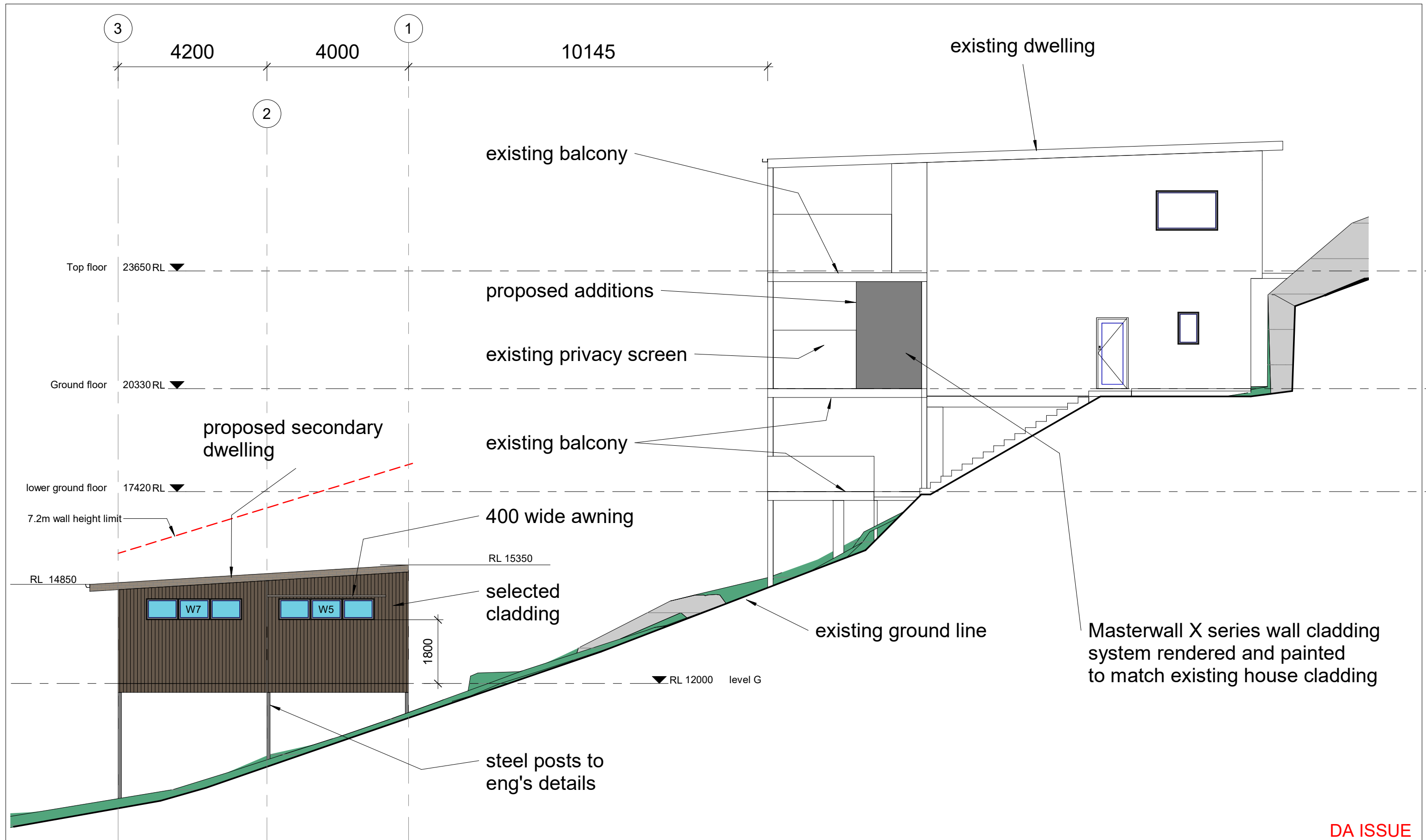
CHECKED
PD

SCALE
1 : 100

DATE
01.04.22

DRG. No.
A3 2201 -05

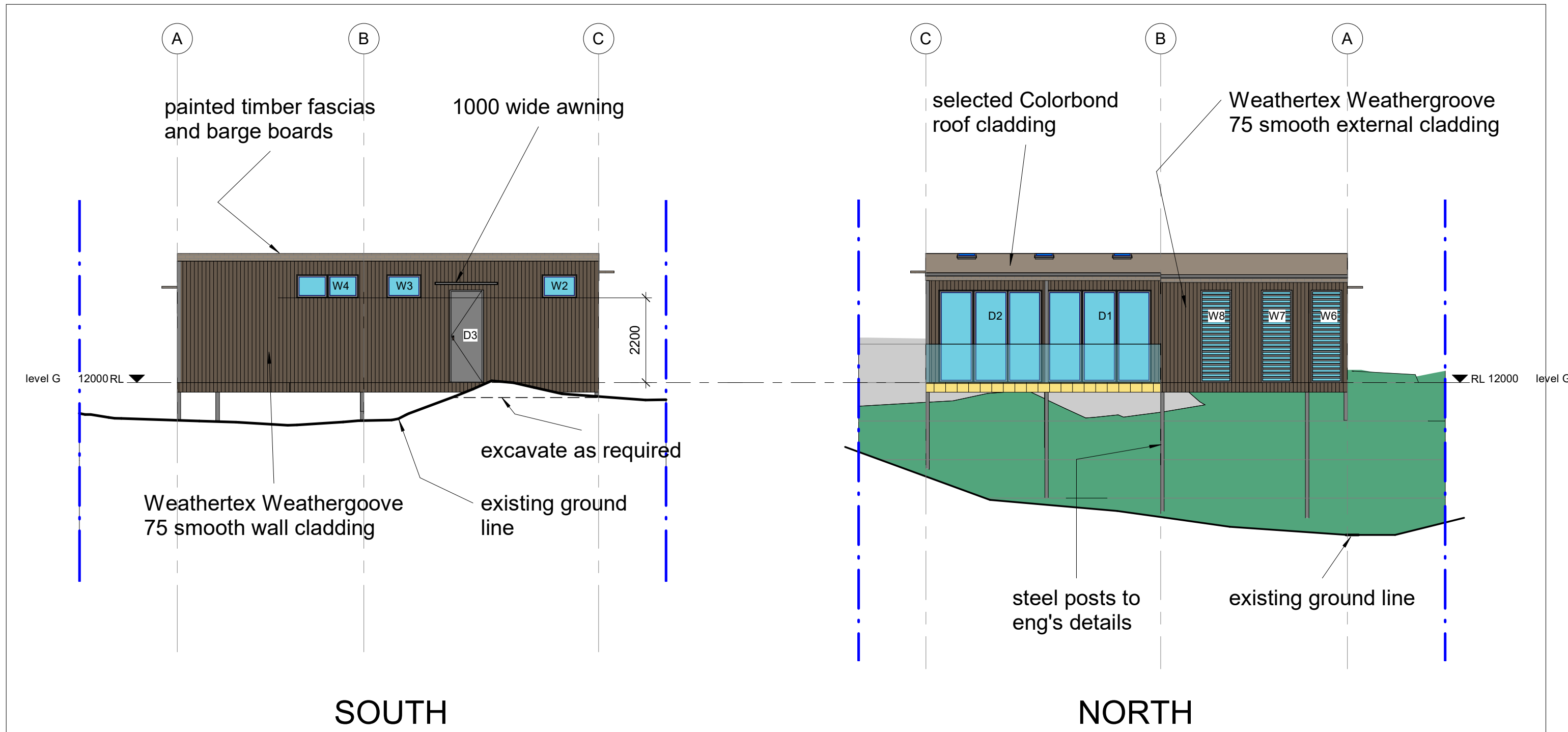
DA ISSUE



DA ISSUE

REVISION

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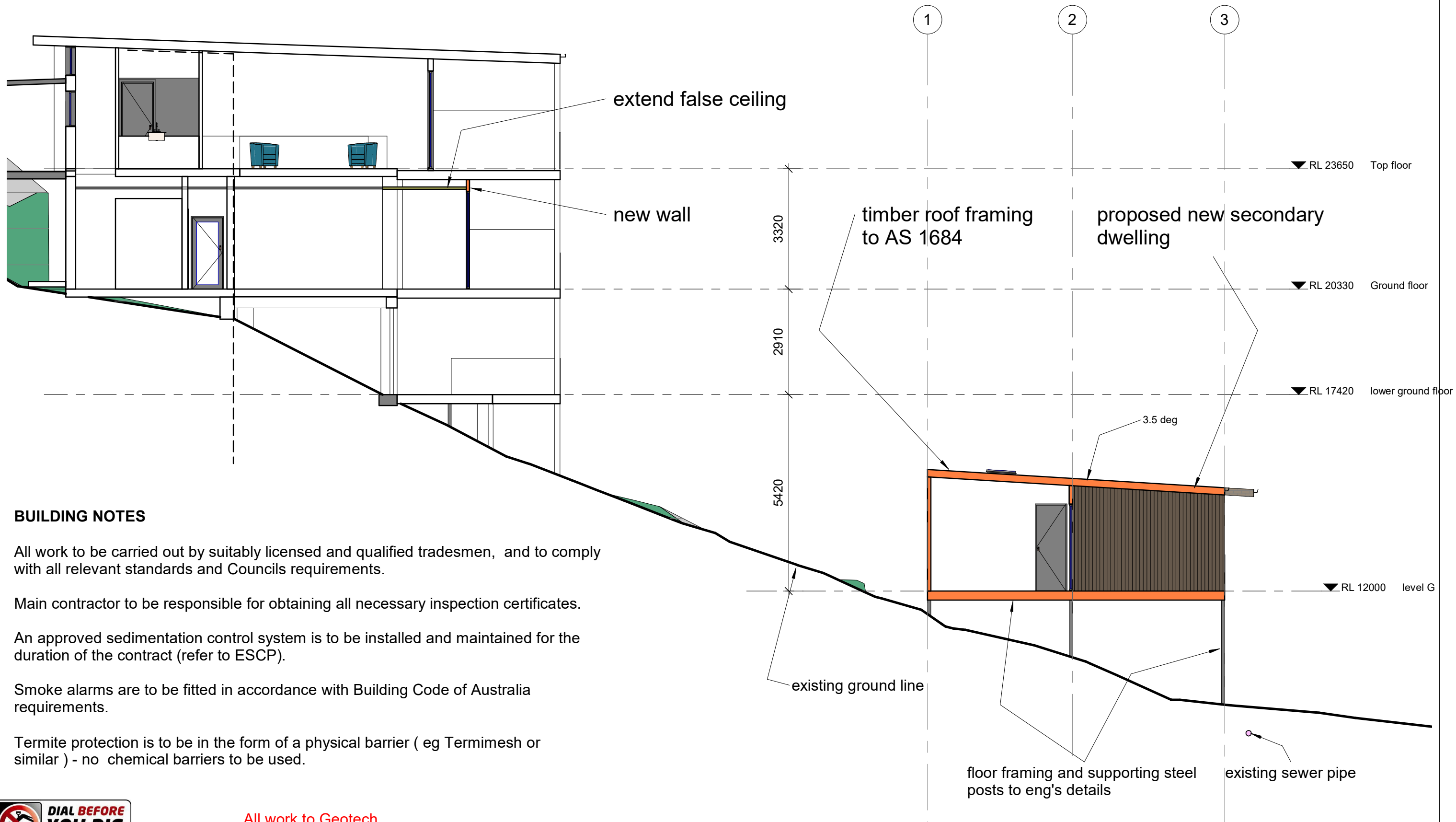


All work to Geotech,
and BASIX requirements.



REVISION		address 77 Riviera rd, Avalon 2107 phone 0488 662 445 www.peterdownes.com	PROJECT New secondary dwelling at 48 Lindley Ave, Narrabeen		DRAWN PD	CHECKED PD
			DRAWING secondary dwelling north and south elevations		SCALE 1 : 100	DATE 18.8.19
					DRG. No. A3	
					2201-07	

DA ISSUE



BUILDING NOTES

All work to be carried out by suitably licensed and qualified tradesmen, and to comply with all relevant standards and Councils requirements.

Main contractor to be responsible for obtaining all necessary inspection certificates.

An approved sedimentation control system is to be installed and maintained for the duration of the contract (refer to ESCP).

Smoke alarms are to be fitted in accordance with Building Code of Australia requirements.

Termite protection is to be in the form of a physical barrier (eg Termimesh or similar) - no chemical barriers to be used.



All work to Geotech,
and BASIX requirements.

DA ISSUE

REVISION

BUILDING
DESIGNERS
AUSTRALIA NSW

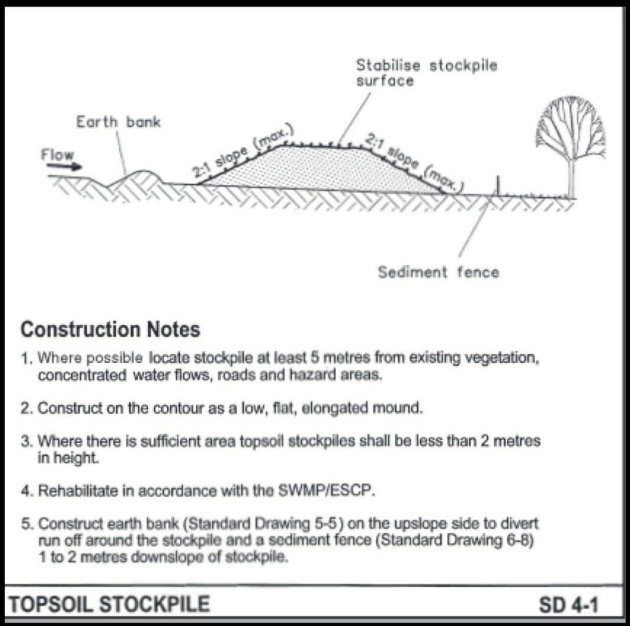
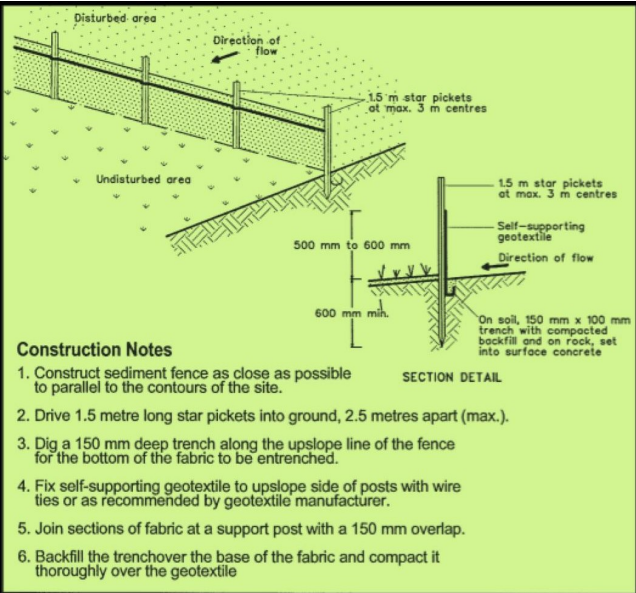
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address 77 Riviera rd, Avalon 2107
phone 0488 662 445 www.peterdownes.com

PROJECT
New secondary dwelling at 48 Lindley
Ave, Narrabeen

DRAWING
section 1, notes

DRAWN PD	CHECKED PD
SCALE 1 : 100	DATE 01.04.22
DRG. No. A3 2201-08	



1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
3. Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner.
4. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. Builder to confirm the locations of barrier fences and stockpiles onsite, see suggested main barrier fence location on site plan.
7. Sediment fences and stockpiles to be constructed in accordance with modern standards and the diagrams seen to the left.
8. Due to the steeply sloping site, special care will be taken to prevent sediment runoff into existing drains or the waterway.
9. Note that due to the constraints of the site, barriers may need to be relocated during construction.
10. All ESCP measures are to be installed and managed in accordance with Landcom's Managing Urban Stormwater: *Soils and Construction* 2004.

REVISION		 BUILDING DESIGNERS AUSTRALIA NSW	 peterdownes multi-award winner designs address 77 Riviera rd, Avalon 2107 phone 0488 662 445 www.peterdownes.com	PROJECT New secondary dwelling at 48 Lindley Ave, Narrabeen	DRAWN PD	CHECKED PD
					SCALE	DATE 01.04.22
				DRAWING ESCP	DRG. No.	
					A3	2201-10

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES, THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF NATHAN LUCK.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR QUANTITIES OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2022.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EMERY
REGISTERED SURVEYOR BOSSI NUMBER 1605

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 4021
R.L. 29.015 (ORDER L3)
SOURCE: S.C.I.M.S. (19/07/19)

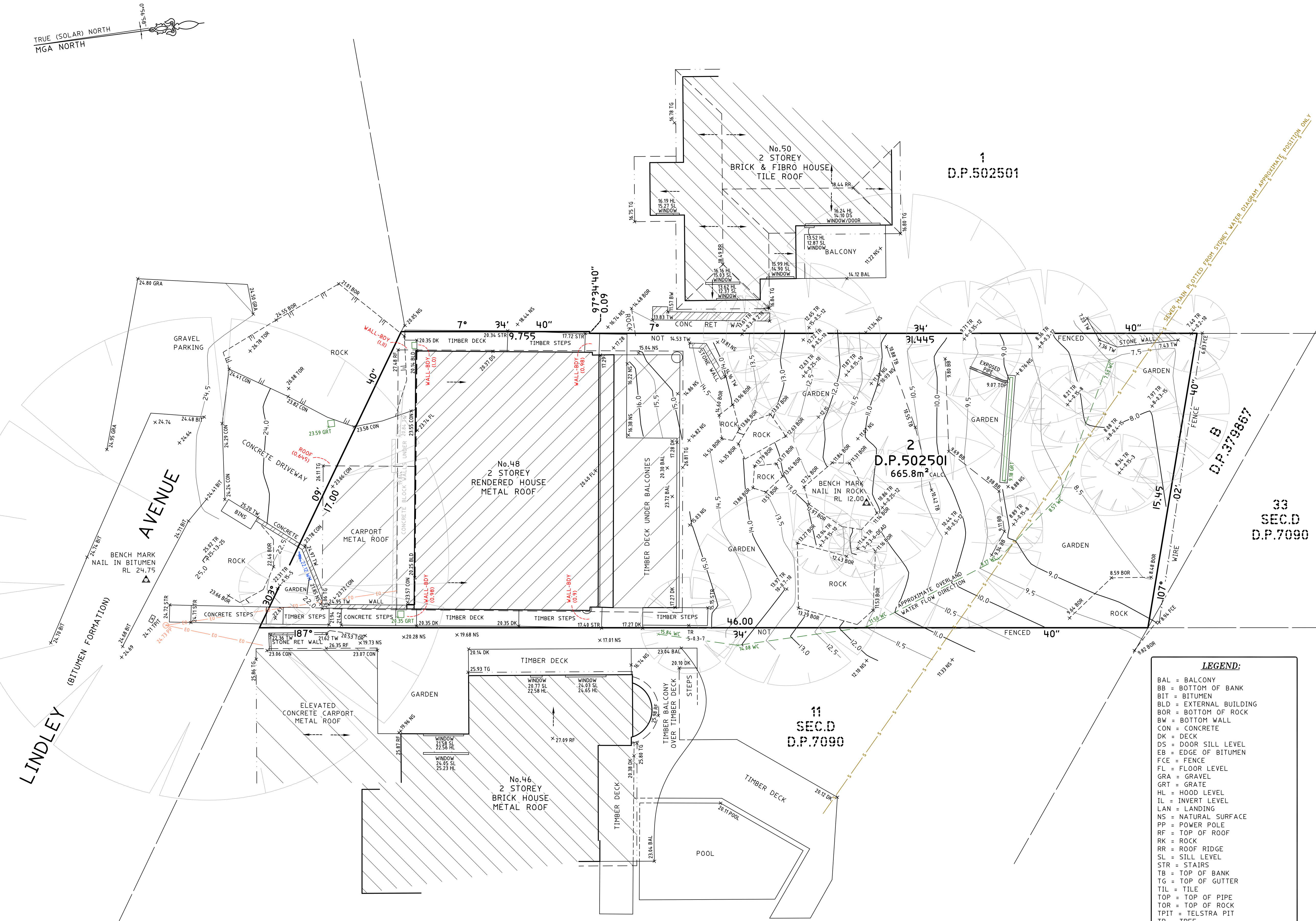
3	DETAIL UPDATED	06/04/22
2	ADJACENT DETAIL ADDED	19/08/19
1	FIRST ISSUE	30/07/19

CLIENT:
NATHAN LUCK
27 KENTHURST ROAD,
ST IVES NSW 2075

**BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 2 IN D.P.502501
48 LINDLEY AVENUE,
NARRABEEN NSW 2101**

**C.M.S. Surveyors
Pty Limited**
ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/90A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

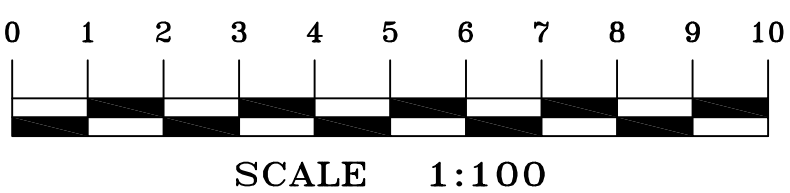
LGA: NORTHERN BEACHES		SHEET 1 OF 1	
SURVEYED ME/HH/LJ	DRAWN GP/LJ	CHECKED ME/HH/LJ	APPROVED SE/BG
SURVEY INSTRUCTION 18705C	SCALE 1:100 A1 1:200 A3	DATE OF SURVEY 22/07/19-05/04/22	
DRAWING NAME 18705Cdetail 3			ISSUE 3
CAD FILE 18705Cdetail 3.dwg			



TITLE INDICATES THAT LOT 2 IN D.P.502501 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- D556593 RIGHT OF WAY APPURTENANT TO PART OF THE LAND ABOVE DESCRIBED AFFECTING THE PIECES OF LAND 12 FEET WIDE SHOWN IN PLAN WITH D556593
- AR536228 RESTRICTIONS(S) ON THE USE OF LAND
- AR599421 POSITIVE COVENANT (NOT INVESTIGATED)

PLEASE NOTE: DUE TO UNDERLYING DISCREPANCIES IN THE SUBJECT AND SURROUNDING BOUNDARY DEFINITION, ANY STRUCTURES INTENDED TO BE CONSTRUCTED ADJACENT TO THE EASTERN BOUNDARY OF THE SUBJECT LAND MUST BE DESIGNED WITH A MINIMUM OFFSET OF 300mm TO THE EASTERN BOUNDARY SHOWN HEREON.



LEGEND:

BAL = BALCONY
BB = BOTTOM OF BANK
BIT = BITUMEN
BLD = EXTERNAL BUILDING
BOR = BOTTOM OF ROCK
BW = BOTTOM WALL
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
EB = EDGE OF BITUMEN
FCE = FENCE
FL = FLOOR LEVEL
GRA = GRAVEL
GRT = GRATE
HL = HOOD LEVEL
IL = INVERT LEVEL
LAN = LANDING
NS = NATURAL SURFACE
PP = POWER POLE
RF = TOP OF ROOF
RK = ROCK
RR = ROOF RIDGE
SL = SILL LEVEL
STR = STAIRS
TB = TOP OF BANK
TG = TOP OF GUTTER
TIL = TILE
TOP = TOP OF PIPE
TOR = TOP OF ROCK
TPIT = TELSTRA PIT
TR = TREE
TW = TOP OF WALL
WC = WATER COURSE
WM = WATER METER
EO = ELECTRICITY OVERHEAD
S = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT