



ABN: 92 161 548 625
PO Box 80, Thornleigh NSW 2120
ph: 9473 5488 fax: 9980 2166

AMENDED COMPLYING DEVELOPMENT CERTIFICATE

Signature:

Dom Di
Matteo

Complying Development Certificate
Number:

XC2014-/00275A

Approval Date:

16/07/2014

The Development is Complying Development and (if carried out as specified in this Certificate) will comply with all Development Standards applicable to the development and with such other requirements prescribed by this Clause 134 of the E P & A Act Regulation concerning the issue of this Certificate. I certify that the proposed development is complying development and if carried out as specified will comply with all development standards applicable to the development and with all requirements prescribed by the Environmental & Assessment Act Regulation 2000 concerning the issue of this Certificate. This Certificate authorises the applicant (or the person having the benefit of this Certificate) to carry out the development in accordance with the conditions set out in the Certificate and the plans and specifications that have been approved.

Date Application Received: 11/07/2014

Date of Lapse of Certificate:

16/07/2019

Council: Pittwater Council

Name of Certifying Authority:

Dom Di Matteo

Accreditation No:

1869

Accreditation Body:

BUILDING PROFESSIONALS BOARD PITTWATER COUNCIL

RECEIVED

18 JUL 2014

Applicant: Diana Lynn Relph C/- Ardorex Pty Ltd
Address: 18/22 Leighton Place Hornsby NSW 2077
Contact Number: 0405 588 144

Owner: Diana Lynn Relph
Address: 24 Grandview Parade Mona Vale NSW 2103
Contact Number:

Site Address: Lot 16 DP 6195 - Sec C - No. 24 Grandview Parade Mona Vale NSW 2103

Description of Development: Construction of a Secondary Dwelling.
Modification A: Change of Engineering Plans

Building Code of Australia Classification: 1a

Zoning: R2 Value of Work: \$50000.00

Builder Details

Name: Developments Pty Ltd
Licence / Permit Number: U 253664C
Address:
Contact Number:

Approved Plans and Documents

Plans Prepared By	Drawing Nos.	Dated
Ardorex Modular Buildings	Dwg: 001A, 001SM - Issue D	27/03/2014
Ardorex Modular Buildings	Dwg: 001A, 002A, 003A - Issue C1, 001A - Issue D1	15/05/2014
Ardorex Modular Buildings	Dwg: 001A - Issue D1	08/05/2014
Ardorex Modular Buildings - Building Specifications	Pages 1 to 20 of 20	23/04/2014
Compliance Certificate for building Design or Specification	Sheets 1 to 2 of 2	01/05/2012
Basix Certificate	527387S	25/02/2014

Engineer Details	Drawing Nos.	Dated
ANA Civil Pty Ltd - Design Certificate	Sheet 1 of 1	14/07/2014
Versiclad	Dwg: Gen 01, DET - 01 to DET - 13, GA - 01 to GA - 02 - Revision A	01/05/2012
Innovative Construction Engineering Solutions Pty Ltd	Sheets 1 to 8 of 8	01/05/2012
Innovative Construction Engineering Solutions Pty Ltd	Sheets 1 to 3 of 3	01/05/2012
ANA Civil Pty Ltd - Stormwater Certificate	Sheet 1 of 1	21/02/2014
ANA Civil Pty Ltd	Job No. 2014045 - Dwg: 2014045-S1 - Rev 1	08/07/2014
ANA Civil Pty Ltd	Job No. 2014045 - Dwg: 2014045-H1	18/02/2014

D M Certifiers Pty. Ltd. 1-3 Thornleigh St, Thornleigh P.O Box 80 Thornleigh NSW 2120 - (02) 9473 5488.

Page 1 of 4

B36 REC: 363012 18/7/14.

This Certificate is approved subject to the prescribed conditions listed under Division 2 of the State Environmental Planning Policy (Affordable Rental Housing Code) 2009.

This certificate is approved subject to the conditions contained within Section 136K, 136L, & 136M of the Environmental Planning & Assessment Amendment Regulation 2013, namely 1) The subject development is not authorised to be carried out unless the contribution required by the Local Council's Contribution Plan has been paid as detailed in Section 136H of the EP Act Regulation 2000 (as amended). 2) The subject development is not authorised to be carried out unless a security bond if required by Council has been paid as detailed in Section 136M of the Environment Planning & Assessment Act Regulation 2000 (as amended).



1-3 Thornleigh St,
Thornleigh NSW 2120
P: 9473 5488
F: 9980 2166

NOTICE TO NEIGHBOURS – DEMOLITION / BUILDING WORK ABOUT TO COMMENCE

under clause 136AB of the Environmental Planning and Assessment Regulation 2000

Date:

Dear neighbour

Following the approval of **my/our** complying development application to

- ☐ demolish the existing dwelling (or state which other building) (and include new development if also proposed)
- ☐ build a new single/two storey dwelling house
- ☐ build a single/two storey addition to the existing dwelling house
- ☐ build a new secondary dwelling
- ☐ build a new group home
- ☐ build a new commercial/industrial building
- ☐ build an addition to the existing commercial/industrial building

for my/our property at Lot 16 DP 6195 - Sec C - No. 24 Grandview Parade Mona Vale NSW 2103, I am writing to advise you that I/we expect work to begin on 18/07/2014.

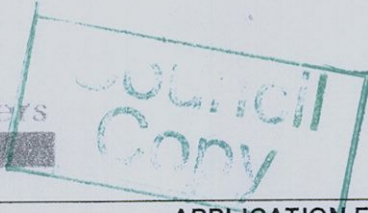
Hopefully, you are already aware of these building works following advice of our project sent to all of our neighbours. However, if you do wish to view the building plans, please contact me. Alternatively, the approved complying development certificate (CDC) plans and specifications can be seen at the Council's offices free of charge during their normal office hours.

The details of the approved CDC are provided below. Contact details of the Principal Certifying Authority and the principle contractor on site are also provide should you have any concerns about work taking place on my property.

Yours sincerely,

Applicant's name: Diana Lynn Relph C/- Ardorex Pty Ltd
Property address: Lot 16 DP 6195 - Sec C - No. 24 Grandview Parade Mona Vale NSW 2103
Local Government Area: Pittwater Council
CDC reference number: XC2014-/00275A
Issued by Certifying Authority: Dom Di Matteo
Date of Certificate issue: 16/07/2014

Details of Principal Certifying Authority		Details of the principal contractor on site	
Name:	Dom Di Matteo	Name:	Developments Pty Ltd
Address:	1-3 Thornleigh Street Thornleigh NSW 2120	Address:	
Contact No.:	9473 5488	Contact No.:	
ABN:	92 161 548 625		



1-3 Thornleigh St,
Thornleigh NSW 2120
P: 9473 5488
F: 9980 2166
E: admin@fbcc.com.au

APPLICATION FORM
APPLICATION TO AMEND CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE
Under the Environmental Planning & Assessment Act 1979

Application No: XC2014-100275
Approval Date: 15.5.14

APPLICANT

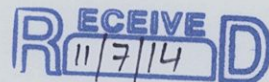
Name/s: DIANA LYNN RELPH
Postal Address: 24 GRANDVIEW PDE, MONA VALE, 2103
Ph: 9999 1925 0403174636
Email: DIRELPH1949@GMAIL.COM

LAND TO BE DEVELOPED

Address: 24 GRANDVIEW PDE, MONA VALE
Lot: 16 Sec C
DP: 6195
Description of amendment: change to engineers plans
Class of Building: 1a

Owners Declaration/Signatures

OWNERS DECLARATION



I, the aforementioned person or authorised representative of a legal entity as described
as the Applicant of the Application Form hereby declare the following:

In accordance with of the Environmental Planning and Assessment Act 1979, that;

- 1) I make application to amend the above stated consent issued
By, subject to and in accordance with the
regulations, by any person entitled to act on the consent.

As owners of the above mentioned property we consent to this application.

Owners Signature/s: D. Relph Owners Signature/s:

Name/s: DIANA RELPH Name/s:

Date: 11.7.2014



ANACIVIL P/L. (Civil & Structural Engineers)

Suite 603, Level 6, Compass Centre, Bankstown 2200.
Tel: 9793 1393

Fax: 9708 3113 .

ABN. 78140434206

Email: admin@anacivil.com

THIS DOCUMENT IS PART OF THE
Approved Complying Development Certificate

200114/1000-27-5

Issued by DM Certifiers P/L BPB 1889
Issued by DM Certifiers P/L BPB 1889

July 14, 2014

Dear Sir/Madam,

RE: Structural Design Certificate for Proposed Development at No. 24 Grandview Pde, Mona Vale

This is to certify that our Structural Design (Drawing No. 2014045 S1 Rev1) for the proposed development at the above address has been prepared in accordance with the following Australian Standards:

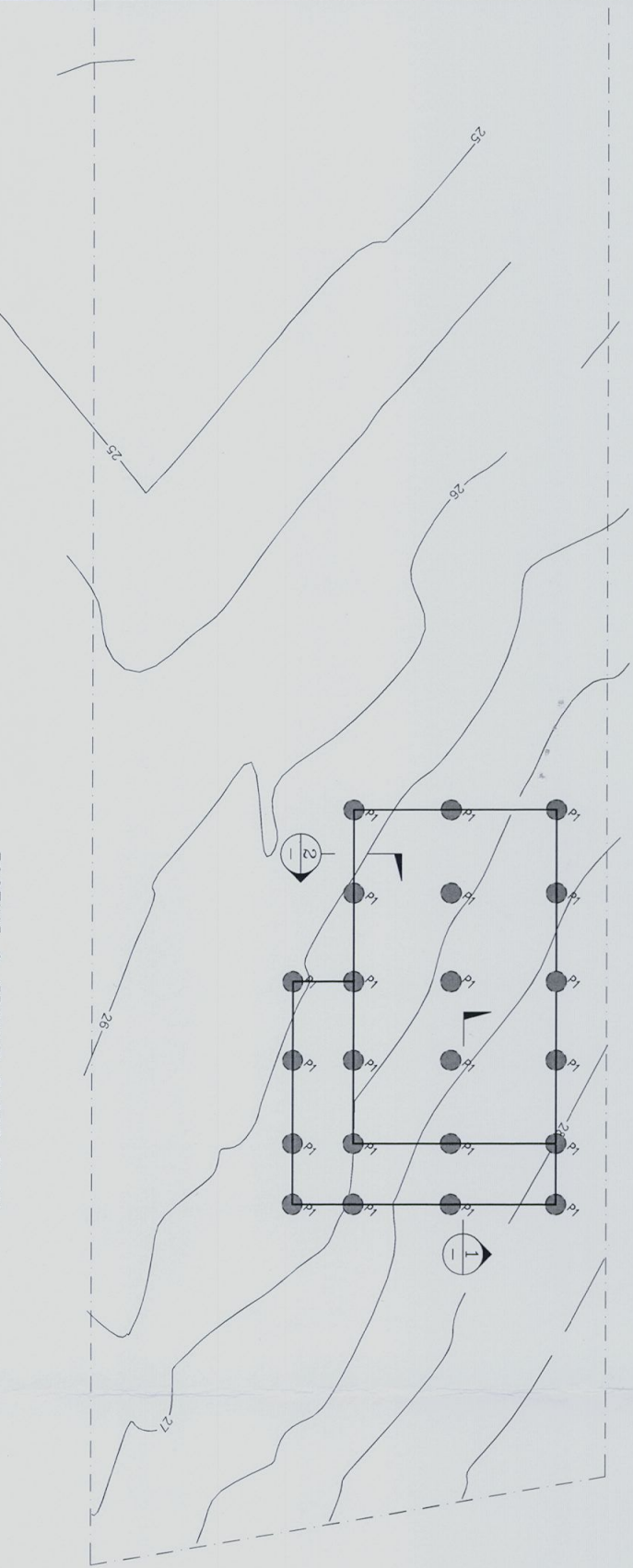
- AS 3600 (Concrete Structures)
- AS 2870 (Residential Slabs and Footings)
- AS 1684.4 (Residential Timber-Framed Construction)

We hereby certify that above structure is structurally adequate to support all loads as specified in AS 1170.1 & 2 & 4 (Loading Code).

We hope this certificate meets your requirements. Should you require any help or further explanations, please do not hesitate to contact us.

Yours faithfully,

M. Zaioor
B.S Civil Eng'g (A.U.B).
M.S.Structural Eng'g (UNSW).
M.I.E.(Aust), CPEng.



FOOTING & GROUND FLOOR PLAN

This plan/document forms part of the
Approved Complying Development Certificate
2014/00275A
Issued by DM Certifiers PL BPB 1669

GENERAL NOTES

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION SHALL BE COMMENCED. THE ENGINEER'S DRAWINGS SHALL NOT BE SCALED.
- G3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING SURFACE LEVELS AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G4. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
- G5. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORIZATION FOR AN EXTRA ANY EXTRA INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT BEFORE THE WORK COMMENCES.
- G6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY EIGHT (48) HOURS BEFORE THE REINFORCEMENT IS COMPLETED. THE CONTRACTOR SHALL ALLOW TWO (2) HOURS AFTER THE COMPLETION OF REINFORCEMENT FOR THE ENGINEER'S INSPECTION. ANY WORK NOT BE ORDERED UNTIL THE REINFORCEMENT IS APPROVED BY THE ENGINEER.
- G7. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G8. ALL PROPS AND FORMWORK FOR BEAMS AND SLABS SHALL BE REMOVED BEFORE CONSTRUCTION OF ANY MASONRY WALLS OR PARTITIONS ON THE FLOOR.
- G9. ALL EXISTING FOUNDATION WALLS SHALL BE KEPT CLEAR OF THE UNDERSIDE OF SLABS AND BEAMS BY 25mm UNLESS OTHERWISE SHOWN.

FOOTING NOTES

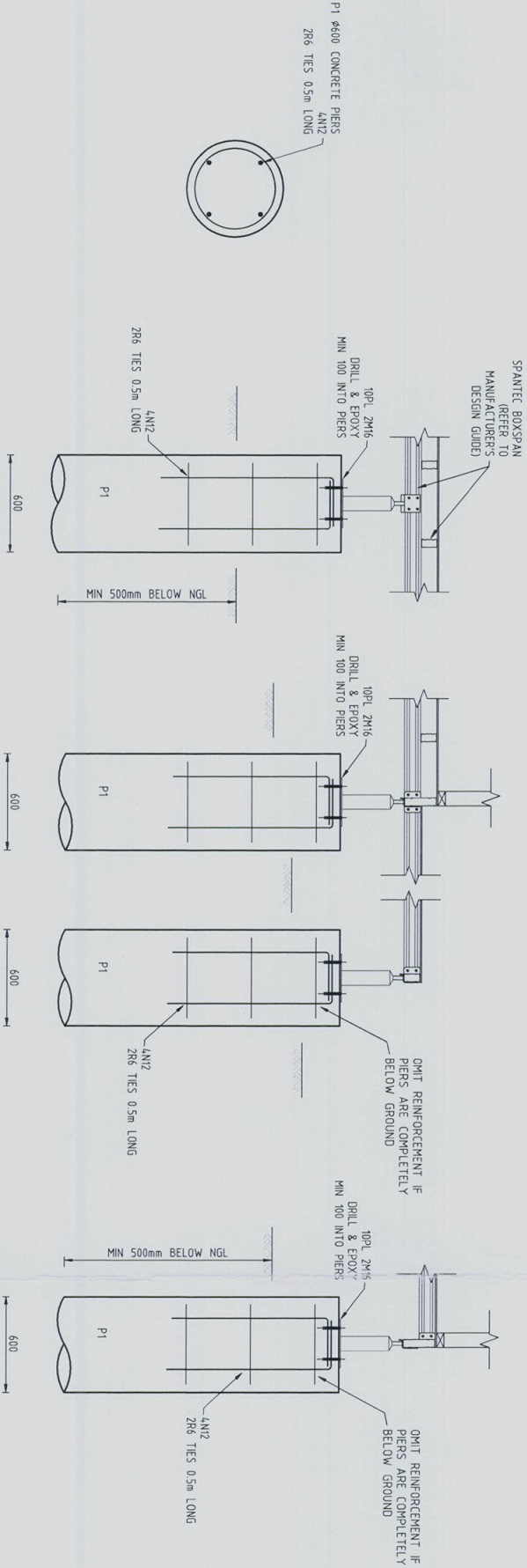
- F1. SITE IS ASSUMED TO BE A SITE AS PER AS2970 BEFORE ANY CONCRETE IS PLACED BEARING SHALL BE VERIFIED BY A QUALIFIED ENGINEER, 200kPa CAPACITY & CLASSIFICATION

CONCRETE NOTES

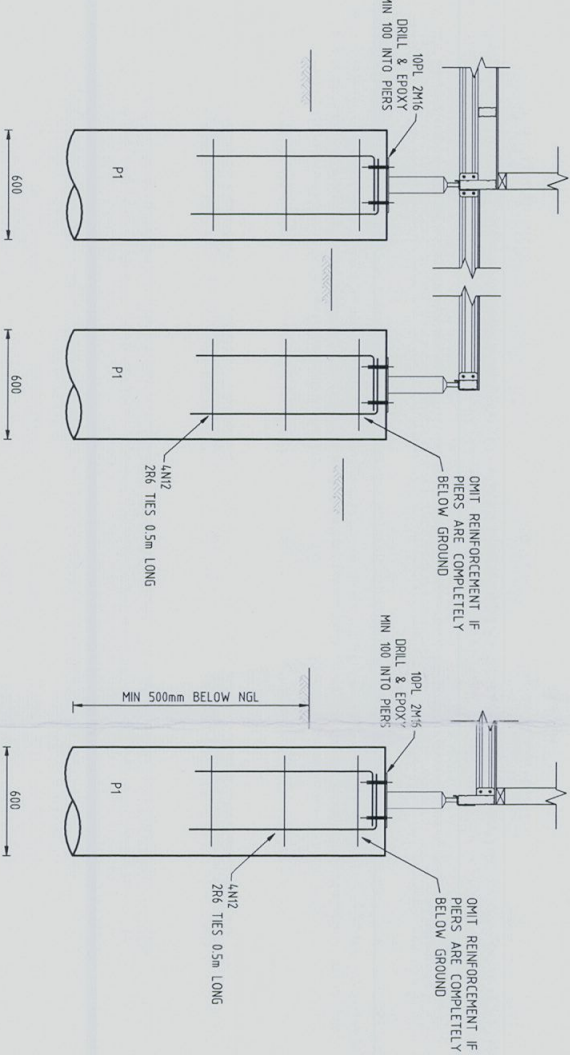
- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600.
- C2. CONCRETE FOR TRENCHES, PADS AND ON GROUND SLAB IS 25MPa.
- C3. COVER TO FOOTINGS IS 65mm, 25mm TO INTERIOR SLABS AND 30mm TO VERANDAS AND COLUMNS.
- C4. MESH LAP IS 2 FULL SQUARES, LAP IS 450mm ON N12, 600mm ON N16, 1000mm ON N20 AND 1250mm ON N24.
- C5. CONCRETE IS CURED BY WATERING IT THREE TIMES A DAY FOR 5 DAYS.
- C6. FILL UNDER ON-GROUND SLAB TO BE WELL COMPACTED IN MAXIMUM LAYERS OF 150mm BY REPEATED ROLLING WITH AN EXCAVATOR.
- C7. ON-GROUND SLAB IS MINIMUM 130mm THICK REINFORCED WITH S12 MESH TOP AND BOTTOM IN AREA WHERE COMPACTED FILL EXCEEDS 500mm.
- C8. FORMWORK TO REMAIN IN POSITION FOR A MINIMUM OF 14 DAYS WHERE SLABS AND BEAMS TO SUPPORT BRICK WORK. FORMWORK TO BE REMOVED PRIOR TO COMMENCEMENT OF BRICK WORK.
- C9. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- C10. CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY THE ENGINEER.
- C11. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- C12. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS.
- C13. FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS1599.

ALL TIMBER WORK TO BE CARRIED OUT IN
ACCORDANCE WITH AS 1684.4:2006
(Residential timber-framed construction)
& THE NSW TIMBER FRAMING MANUAL.

SECTION 1



SECTION 2



No.	Date	Revision	By	No.	Date	Revision	By
1	8/7/14	AMENDED FOOTING LAYOUT	TM				
Project							
PROPOSED NEW DEVELOPMENT AT No. 24 GRANDVIEW PARADE MONA VALE							
Designed by							THRG
Drawn by							THRG
Checked by							N2400R
Date							21/7/2014
Title							STRUCTURE DETAILS
Scale							1:500, 1:20 @ A1
Job No.							2014045
Drawing No.							Rev. 1
2014045-S1							



ANACIVIL PTY. LTD. (CIVIL & STRUCTURAL ENGINEERS)
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