
Sent: 31/05/2021 4:39:58 PM
Subject: Additional information- 10 Courtley Road, Beacon Hill
Attachments: 80121 - NILE - 10 Courtley Road Beacon Hill - DA ISSUE D - 31.05.2021.pdf;

Dear Livia

We act on behalf of the applicant, Allura Homes, and have reviewed the Council report relating to the DA at 10 Courtley Road, Beacon Hill. We acknowledge the concerns raised in the report and would like the opportunity to formally respond, considering we are not permitted to address the panel on Wednesday. On page 232 of the report it stated;

"The implications could be negated with conditions of consent requiring:

- 1. The deletion of the eastern deck adjoining the dining area*
- 2. Additional landscape screening on the eastern boundary and*
- 3. Deletion of retaining walls in the north eastern corner of the site which provides a raised turf yard to the boundary and*
- 4. Privacy screening on the eastern elevation windows*

However, the cumulative impacts of the existing and proposed fill in the north-eastern corner of the site raising this corner of the dwelling cannot be resolved through conditions."

Upon review of these concerns, we believe these items can be easily resolved, and have prepared amended plans that satisfy these concerns. We have also allowed for reducing the existing ground level in the north eastern corner by 300mm. These measures will mitigate any potential privacy impacts between the site and adjoining neighbours. The amended plans have also resulted in an increased landscaped area of 224.68sqm, which provides 40% instead of 37.6%, to achieve compliance.

Please refer to the amended plans prepared by Allura Homes, attached to this email, showing;

- Reduced the existing ground level of the north eastern corner by 300mm.
- The eastern deck has been deleted
- The sliding doors have been changed to fixed windows
- Additional landscaping is proposing along the eastern boundary
- The retaining walls have been deleted on the boundary
- Privacy screens are provided to the east facing windows on the first floor

To further demonstrate our commitment to adhere to these design changes, we are proposing the panel support these changes via a deferred commencement. As such, we believe the proposed amendments are achievable and minor, and can therefore be undertaken as part of a deferred commencement condition to alleviate further delays and costs to the site owner.

Until now, there was no mention by Council's planning officers of the requirement to submit a Building Information Certificate (BIC), including at the pre-DA meeting held on 15 October 2020. Should Council still deem it necessary, we will submit the BIC with the required information as part of the deferred commencement.

We trust that the amended plans resolve the panel's concerns and should you have any further questions please call me on 0402 112 525.

Regards



Eli Gescheit
Urban Planner

 02 8355 7108  0402 112 525

 eli@navonplanning.com.au

 www.navonplanning.com.au

 PO Box 517, St Ives NSW 2075



NILE RESIDENCE
PROPOSED TWO STOREY DWELLING & RETAINING WALLS
10 COURTLEY ROAD, BEACON HILL NSW 2100

DEVELOPMENT APPLICATION

DWG NO:	LAYOUT NAME	ISSUE
00.01	COVER SHEET	D
00.02	CONTOUR SURVEY	D
01.01	DEMOLITION PLAN	D
01.02	SITE PLAN	D
01.03	SITE ANALYSIS PLAN	D
02.01	GROUND FLOOR PLAN	D
02.02	FIRST FLOOR PLAN	D
02.03	ROOF PLAN	D
03.01	ELEVATIONS 01 & 02	D
03.02	ELEVATIONS 03 & 04	D
04.01	SECTION A & B	D
05.01	CONCEPT LANDSCAPE PLAN	D
06.01	SHADOW DIAGRAMS 22ND JUNE	D
06.02	SHADOW DIAGRAMS 22ND DEC	D
08.01	EXTERNAL DOOR SCHEDULE	D
08.02	WINDOW SCHEDULE - GROUND	D
08.03	WINDOW SCHEDULE - FIRST & SKYLIGHTS	D
09.01	SCHEDULE OF EXTERNAL FINISHES	D
09.02	3D PERSPECTIVE	D



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
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- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

THESE DRAWINGS REMAIN THE
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LTD AND CAN NOT BE ALTERED OR
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client
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site address
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D	31/05/2021	UPDATED DA ISSUE D
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rev	date	revision notes

DR	project No.
DR	80121
DR	
DR	
by	

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	

drawing
COVER SHEET

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

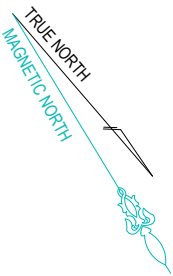
drawing #
00.00.01

revision
D

DEVELOPMENT APPLICATION CLIENT SIGNATURE

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BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY. FURTHER INVESTIGATION WILL BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.



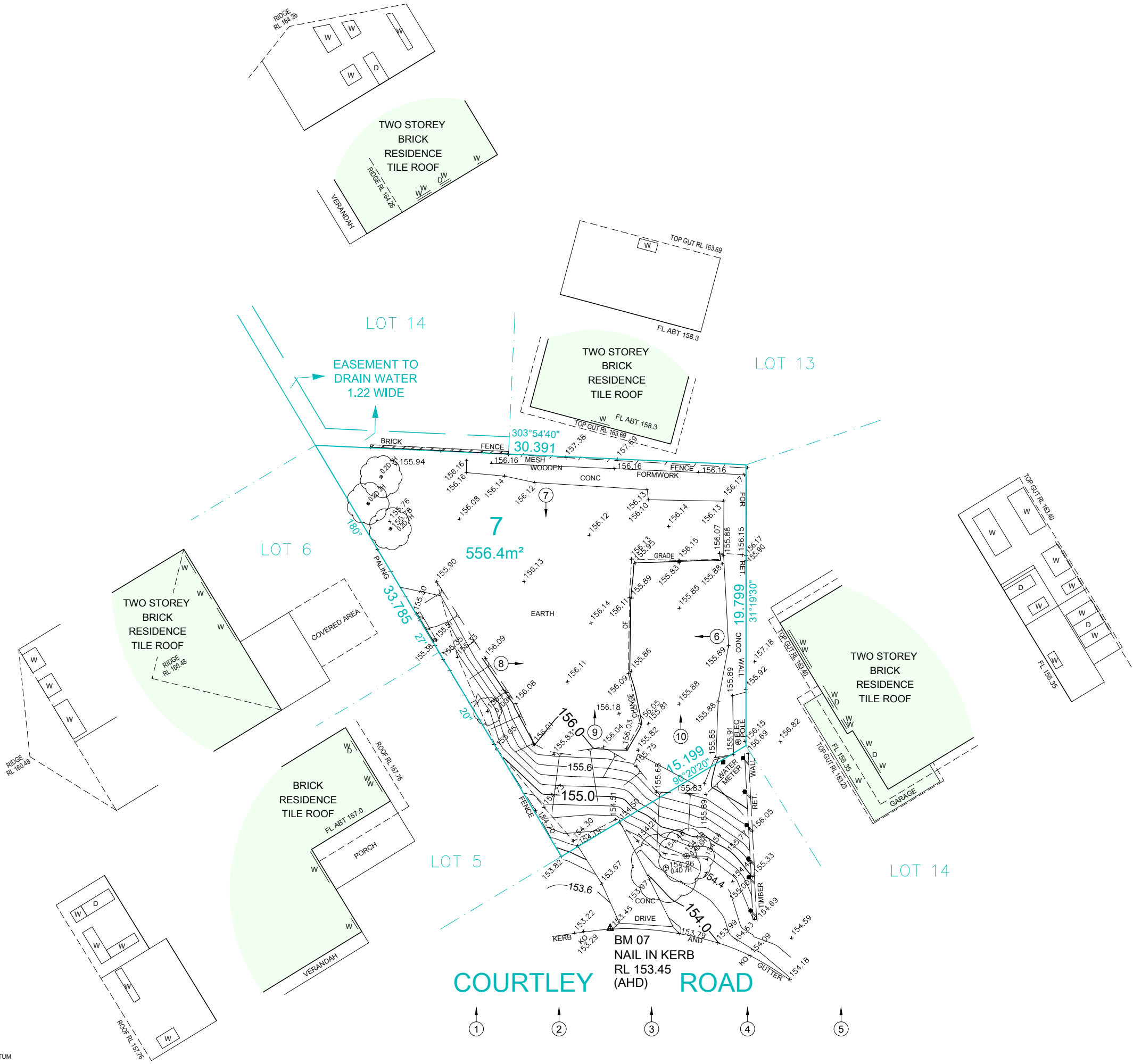
LEGEND

- HOT WATER TANK
- WATER METER
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIAM/HEIGHT)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

ALL KERB LEVELS REPRESENT TOP OF KERB.

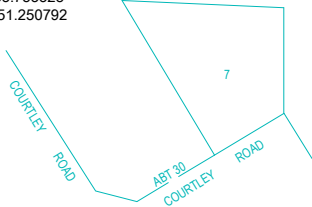


DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: SSM14783 RL145.062
SOURCE OF LEVELS: SCIMS



LOCATION PLAN

UBD REF: 177, D6
LAT: -33.753328
LONG: 151.250792



No.	AMENDMENT	DATE
F		
E		
D		
C		
B		
A		

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE



DETAIL & CONTOUR SURVEY

LOT 7 DP 238331
AT 10 COURTLEY ROAD, BEACON HILL

CLIENT:
ALLURA
Welcome to your home

REF:
NILE 0880121

0 1 2 3 4 5 10

SCALE 1: 200 A2

DRAWN: T.N

CHECKED: IH

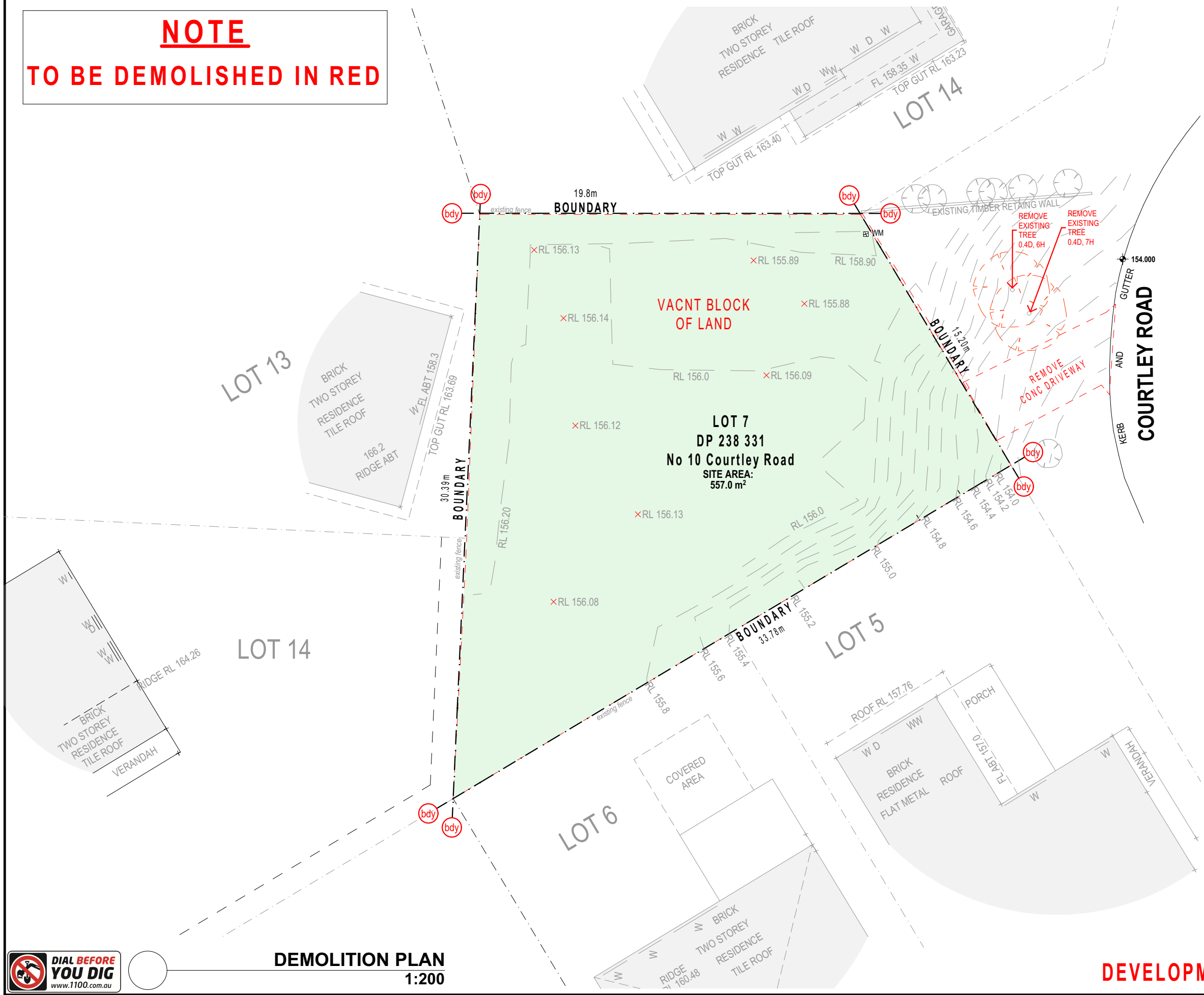
JOB 1087/329806

FILE NAME 329806

DATE: 29.04.2020

DATUM: AHD

NOTE
TO BE DEMOLISHED IN RED





DEMOLITION PLAN
1:200

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rev date revision notes

project No.
80121

North

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

drawing
DEMOLITION PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.01.01

revision
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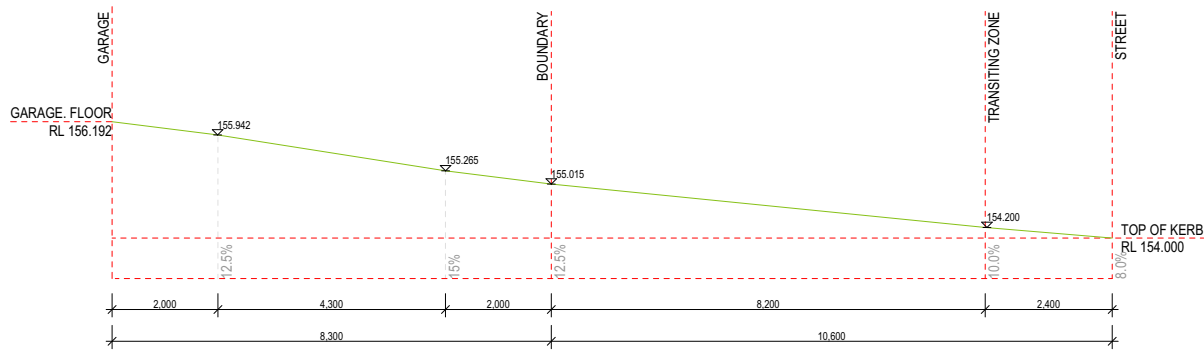
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MAX. DRIVEWAY GRADIENT FOR 10 COURTLEY ROAD

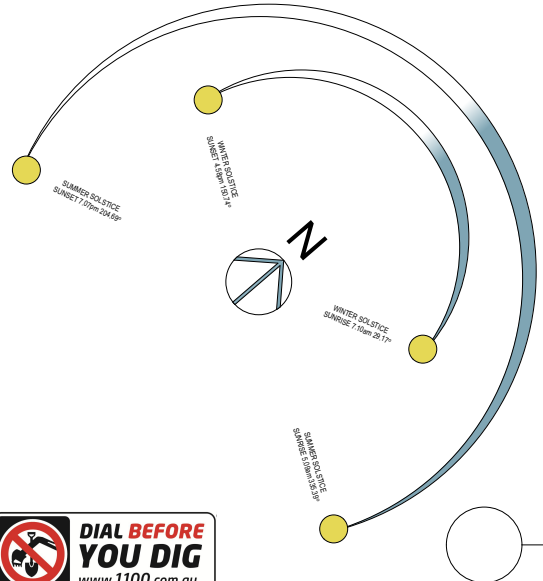
<u>EXTERNAL COLOUR</u>			
ROOF	MEDIUM		
EXTERNAL WALL	MEDIUM		
<u>FUTURE FLOOR COVERING</u>			
GROUND FLOOR		FIRST FLOOR WALL	
ENTRY	TIMBER		
MUD	TILES	BEDS	CARPET
KITCHEN	TIMBER	HALL	CARPET
LIVING	TIMBER		
MEDIA	CARPET		
GUEST	CARPET		

BASIX NOTES

- WATER**
1. SHOWERHEADS: 4 STARS min
 2. TOILETS: 4 STARS min
 3. KITCHEN TAPS: 4 STARS min
 4. BATHROOM TAPS: 4 STARS min
 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
 6. TOWN SUPPLY FOR HOT WATER & DRINKING
 7. OUTDOOR POOL - POOL SIZE (KL) TBC
 8. COVER TO POOL

- THERMAL**
1. WAFFLE POD SLAB: 225mm
 2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
 3. EXTERNAL WALLS: R2.5 INSULATION
 4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
 5. CEILING: R4.0 INSULATION
 6. ROOF: R1.5 BLANKET
 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer)
 8. SKYLIGHTS: DOUBLE GLAZED
 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

- ENERGY**
1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
 2. HEATING & COOLING TO DWELLING: DUCTING ONLY
 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
 4. LED OR FLURO LIGHTING
 5. POOL: NO HEATING
 6. 2kW PV SYSTEM
 7. GAS COOKTOP & ELECTRIC OVEN
 8. INDOOR & OUTDOOR CLOTHES LINES



SITE PLAN
1:200



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client
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site address
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rev date revision notes

DR
DR
DR
DR
by



project No.
80121

CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

SITE PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.01.02

revision
D

- GENERAL NOTES**
1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
 2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
 3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
 6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
 7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

CDC REQUIREMENTS

SITE AREA 557.3m²
LAND ZONING: R2
MAX HEIGHT OF BUILDING: 8.5m
MAXIMUM GFA: N/A
PROPOSED SITE COVERAGE: 211.8m² or 38%

LANDSCAPING
MINIMUM PERMISSIBLE LANDSCAPE: 40% or (minimum dimension 1500m)
MINIMUM LANDSCAPE AREA: 222.8m²
PROPOSED LANDSCAPE AREA 224.68m² or 40.3%
CUT & FILL MAXIMUM: 1,000mm
PRIVATE OPEN SPACE: 60m²

REQUIRED SETBACKS
REQUIRED FRONT SETBACK: N/A
FRONT SETBACK: 4,050mm
REQUIRED REAR SETBACK GF: N/A
REAR SETBACK GF: 3,809mm
REQUIRED REAR SETBACK FF: N/A
REAR SETBACK FF: 8,893mm
REQUIRED SIDE SETBACK GF: 900mm
SIDE SETBACK RH GF: 1,180mm
SIDE SETBACK LH GF: 1,522mm
REQUIRED SIDE SETBACK FF: N/A
SIDE SETBACK RH FF: 2,025mm
SIDE SETBACK LH FF: 1,522mm

BOUNDARIES
FRONT BOUNDARY WIDTH: 15,200mm
LH SIDE BOUNDARY LENGTH: 33,758mm
RH SIDE BOUNDARY LENGTH: 19,800mm
REAR BOUNDARY WIDTH: 30,390mm

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m
FIRST FLOOR: 116.40m²
EXCLUDING VOID:
TOTAL GFA: 305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA: 161.18m²
GROUND FLOOR GARAGE AREA: 45.02m²
FIRST FLOOR LIVING AREA: 138.86m²
PROPOSED FLOOR AREA: 345.06m²
PORCH AREA: 4.90m²
ALFRESCO AREA: 27.96m²
BALCONIES: 4.30m²

TOTAL SLAB AREA (221.1m²)
INCL. AC & WATER TANK, INTEGRATED PADS (10m²)
TOTAL AREA
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES) 382.22m²

AUSTRALIAN STANDARDS & BCA

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1. INSTALL ALL SMOKE ALARMS ACCORDANCE TO PART 3.7.5 OF THE BCA.
 2. ALL HANDRAILS TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.
 3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
 4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2

ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 4.30m²

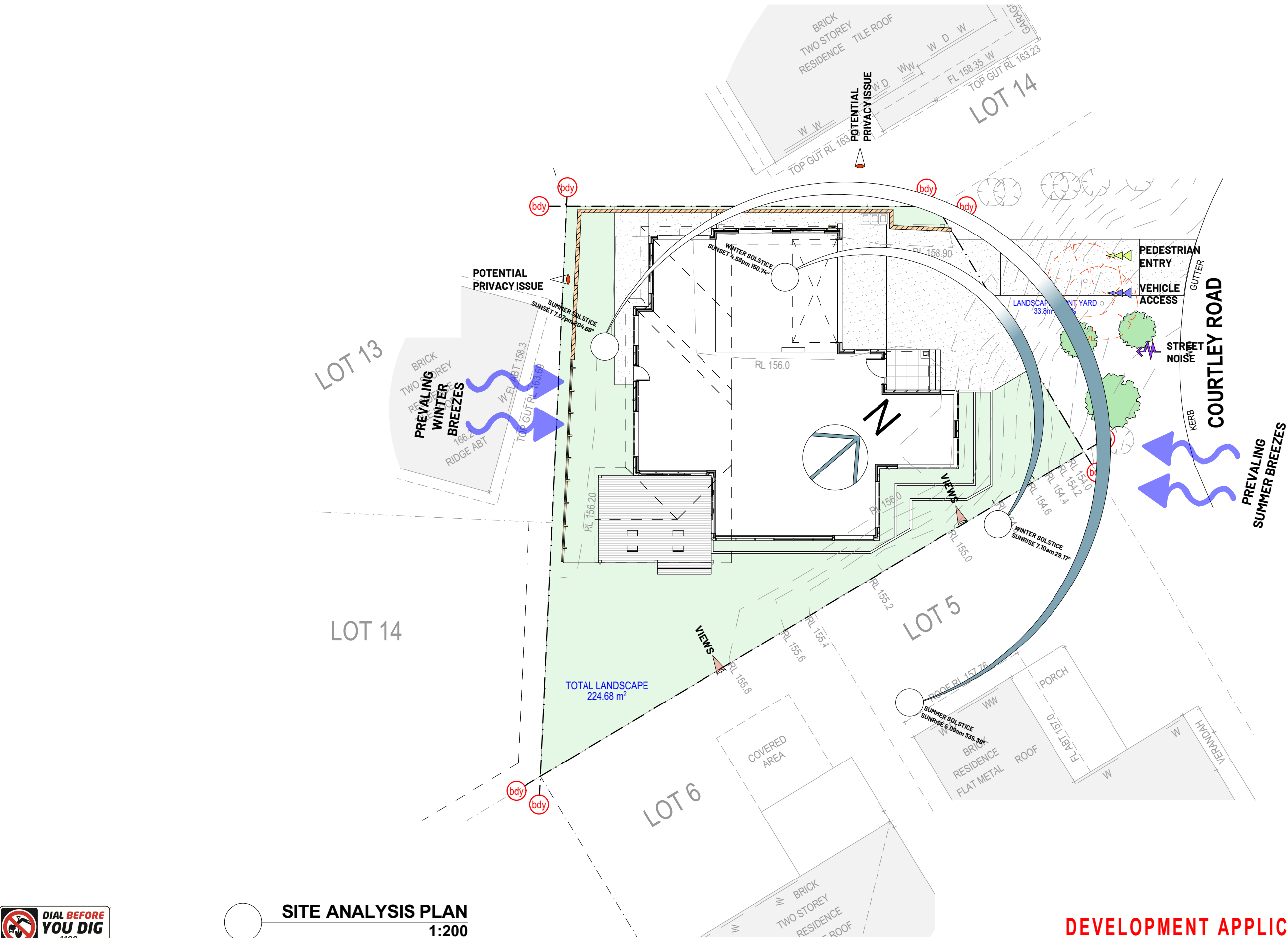
DEVELOPMENT APPLICATION

CLIENT SIGNATURE

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LEGEND

- PEDESTRIAN ENTRY
- VEHICLE ACCESS
- STREET NOISE
- POTENTIAL PRIVACY ISSUE
- VIEWS



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project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

drawing
SITE ANALYSIS PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

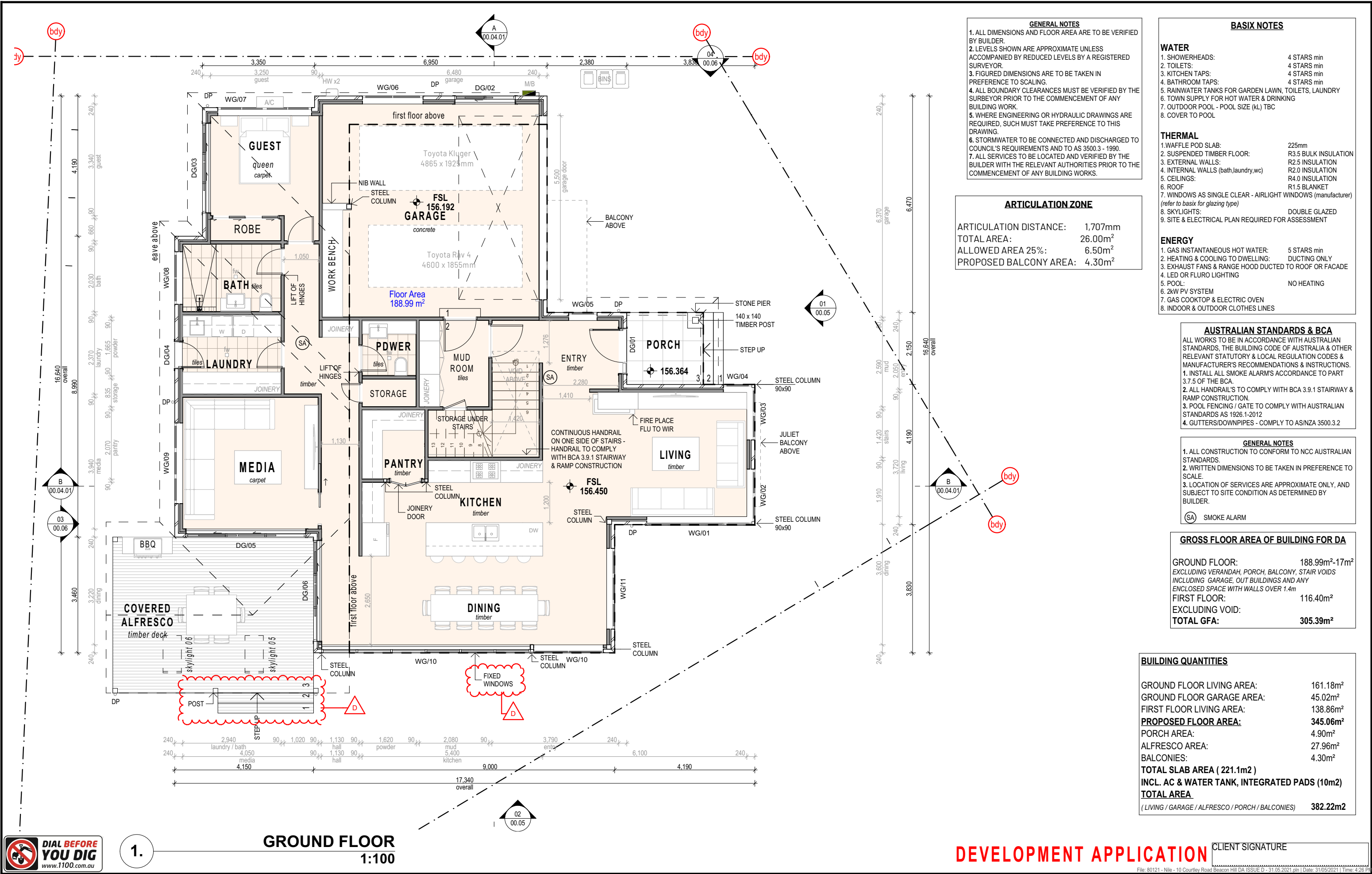
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1.

GROUND FLOOR
1:100

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by

CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
GROUND FLOOR

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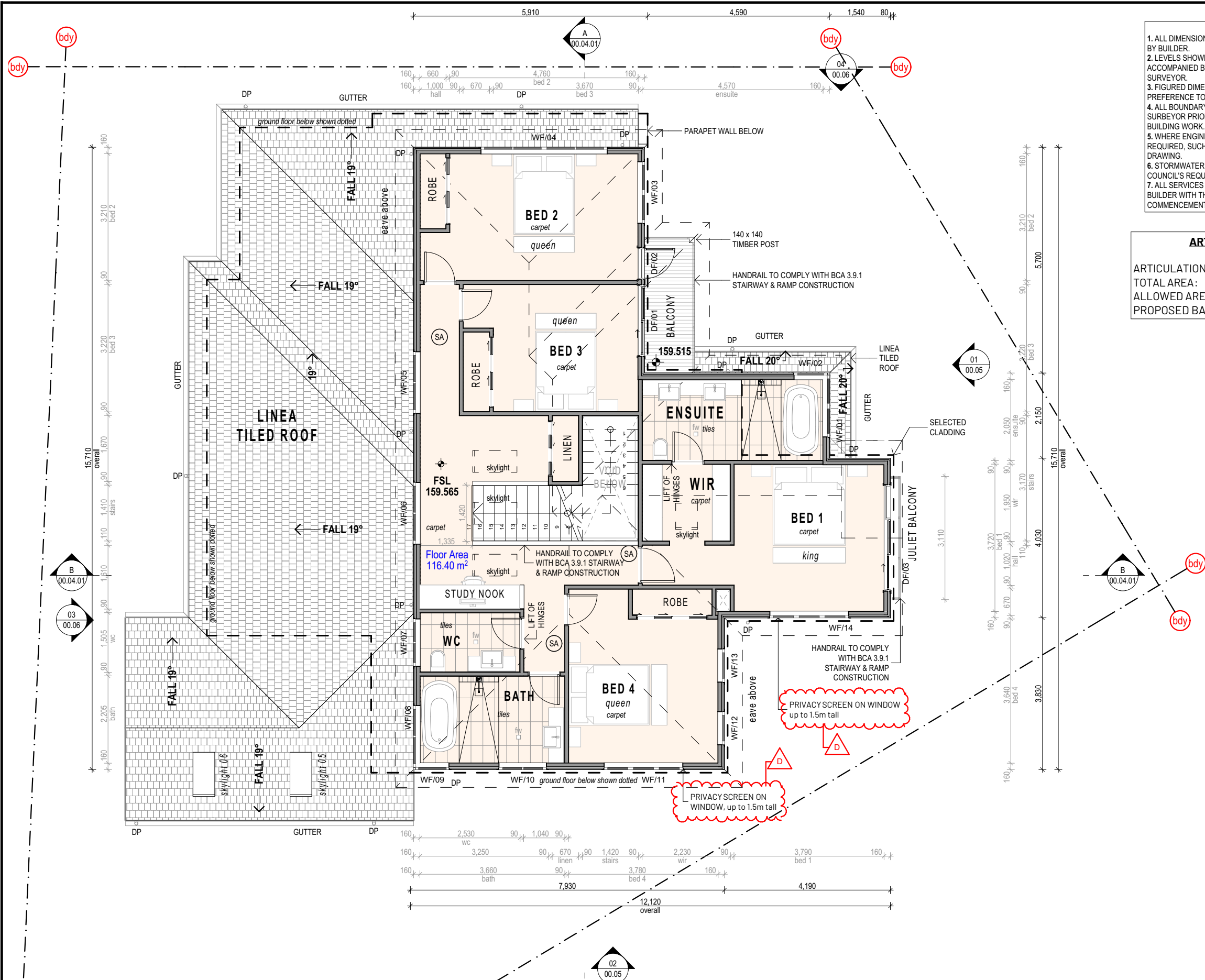
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6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 4.30m²

BASIS NOTES

WATER

1. SHOWERHEADS: 4 STARS min
2. TOILETS: 4 STARS min
3. KITCHEN TAPS: 4 STARS min
4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

THERMAL

1. WAFFLE POD SLAB: 225mm
2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
3. EXTERNAL WALLS: R2.5 INSULATION
4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
5. CEILINGS: R4.0 INSULATION
6. ROOF: R1.5 BLANKET
7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
8. SKYLIGHTS: DOUBLE GLAZED
9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

ENERGY

1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
2. HEATING & COOLING TO DWELLING: DUCTING ONLY
3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
4. LED OR FLUORO LIGHTING
5. POOL: NO HEATING
6. 2kW PV SYSTEM
7. GAS COOKTOP & ELECTRIC OVEN
8. INDOOR & OUTDOOR CLOTHES LINES

AUSTRALIAN STANDARDS & BCA

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3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2

GENERAL NOTES

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3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.

(SA) SMOKE ALARM

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m
FIRST FLOOR: 116.40m²
EXCLUDING VOID:
TOTAL GFA: 305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA: 161.18m²
GROUND FLOOR GARAGE AREA: 45.02m²
FIRST FLOOR LIVING AREA: 138.86m²
PROPOSED FLOOR AREA: 345.06m²
PORCH AREA: 4.90m²
ALFRESCO AREA: 27.96m²
BALCONIES: 4.30m²
TOTAL SLAB AREA (221.1m2)
INCL. AC & WATER TANK, INTEGRATED PADS (10m2)
TOTAL AREA
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES) **382.22m2**



1.

FIRST FLOOR
1:100

ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
10 COURTLEY ROAD, BEACON HILL, NSW, 2100

D 31/05/2021 UPDATED DA ISSUE D
C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A

rev date revision notes

DR
DR
DR
DR
DR
by

North

project No.
80121

CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
FIRST FLOOR

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.02.02

revision
D

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE D - 31.05.2021.ppt | Date: 31/05/2021 | Time: 4:26 PM

DIAL BEFORE YOU DIG www.1100.com.au		1.		ROOF PLAN 1:100		DEVELOPMENT APPLICATION				CLIENT SIGNATURE			
						File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE D - 31.05.2021.ph Date: 31/05/2021 Time: 4:26 PM							
AUSTRALIAN STANDARDS AND BCA ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. - EARTHWORKS - GUTTERS / DOWNPIPES - FOOTINGS AND SLABS - MASONRY - GLAZING - SMOKE ALARMS - WATERPROOFING WET AREAS - ARTIFICIAL LIGHTING - MECHANICAL VENTILATION - STAIR CONSTRUCTION - BALUSTRADES - TO COMPLY WITH BCA pt 3.1.1 - TO COMPLY WITH AS/NZS 3500.3.2 - TO COMPLY WITH AS2670 - TO COMPLY WITH AS3700 - TO COMPLY WITH AS1288 and AS2947 - TO COMPLY WITH BCA pt 3.7.2 & AS3796 - TO COMPLY WITH AS3740 - TO COMPLY WITH BCA pt 3.8.4.3 - TO COMPLY WITH AS1686.2 - TO COMPLY WITH BCA pt 3.9.1 - TO COMPLY WITH BCA pt 3.9.2		ALLURA HOMES PH : (02) 920 4122 THESE DRAWINGS REMAIN THE PROPERTY OF ALLURA HOMES PTY LTD AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.		client MRS.S & MR.F NILE project PROPOSED TWO STOREY DWELLING site address 10 COURTLEY ROAD, BEACON HILL, NSW, 2100		D 31/05/2021 UPDATED DA ISSUE D C 06/04/2021 UPDATED DA ISSUE C B 17/11/2020 DA SUBMISSION ISSUE B A 14/09/2020 PRE DA MEETING ISSUE A rev date revision notes DR DR DR DR by		North project No. 80121		CUSTOM DESIGNED HOME 0 1 2 3 4 metres stage drawn checked scale @ A3 DA DR AS 1:100,		drawing ROOF PLAN lot no. D.P. no. dwelling type Lot -7 D.P. -DP 238 331 drawing # revision 00.02.03 D	

AUSTRALIAN STANDARDS & BCA

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(SA) SMOKE ALARM

BASIS NOTES

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6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

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7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
8. SKYLIGHTS: DOUBLE GLAZED
9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

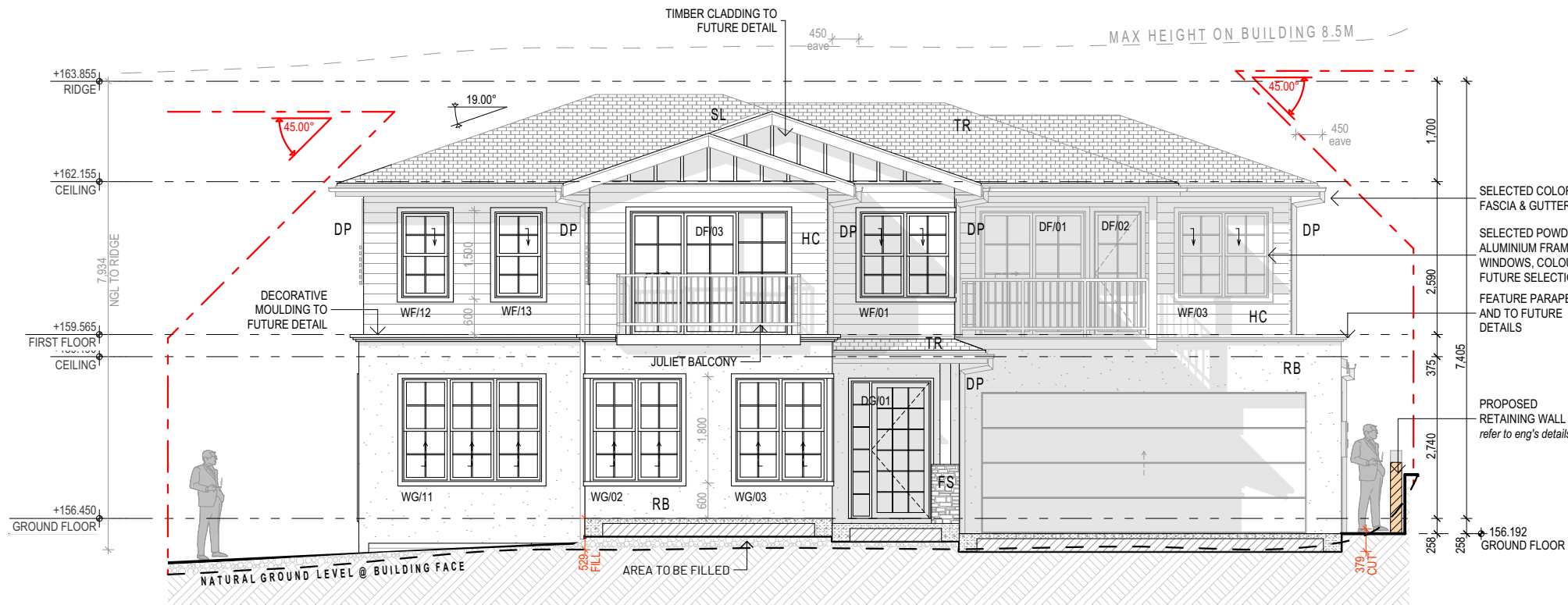
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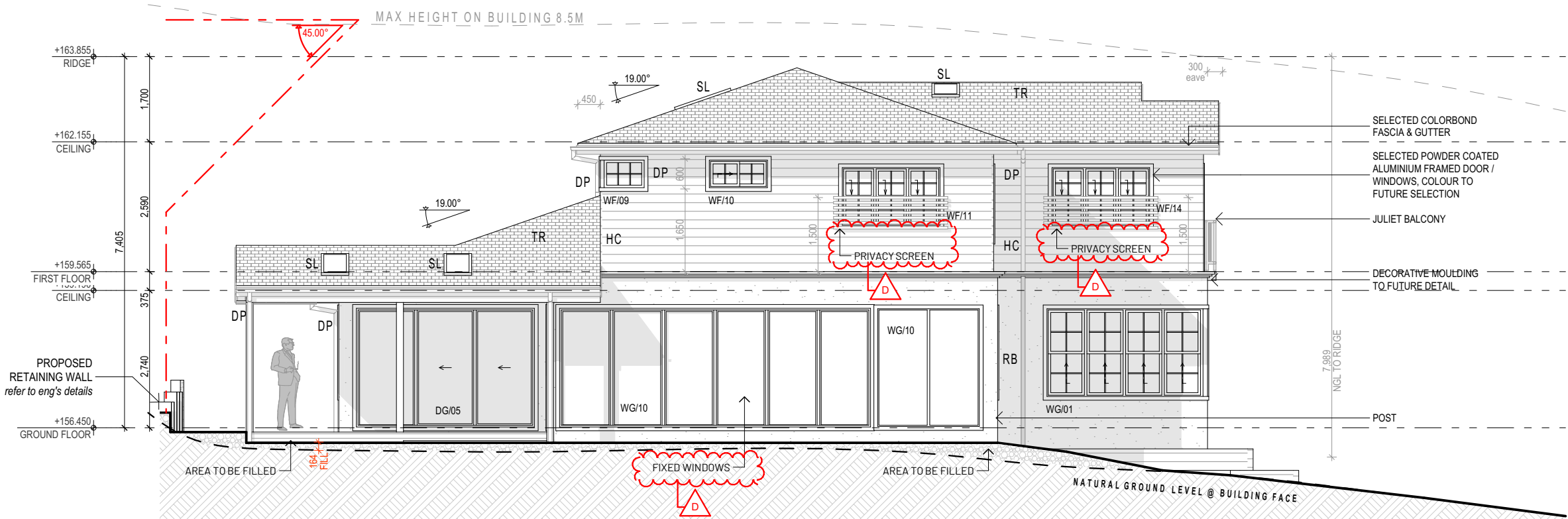
LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DR	DECO WOOD
WB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



01 ELEVATION 01 NORTH
1:100



02 ELEVATION 02 EAST
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE



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- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
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- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
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D 31/05/2021 UPDATED DA ISSUE D
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rev date revision notes

DR
DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4
stage drawn checked scale @ A3
DA DR AS 1:100,

drawing

ELEVATIONS 01 & 02

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.03.01

revision
D

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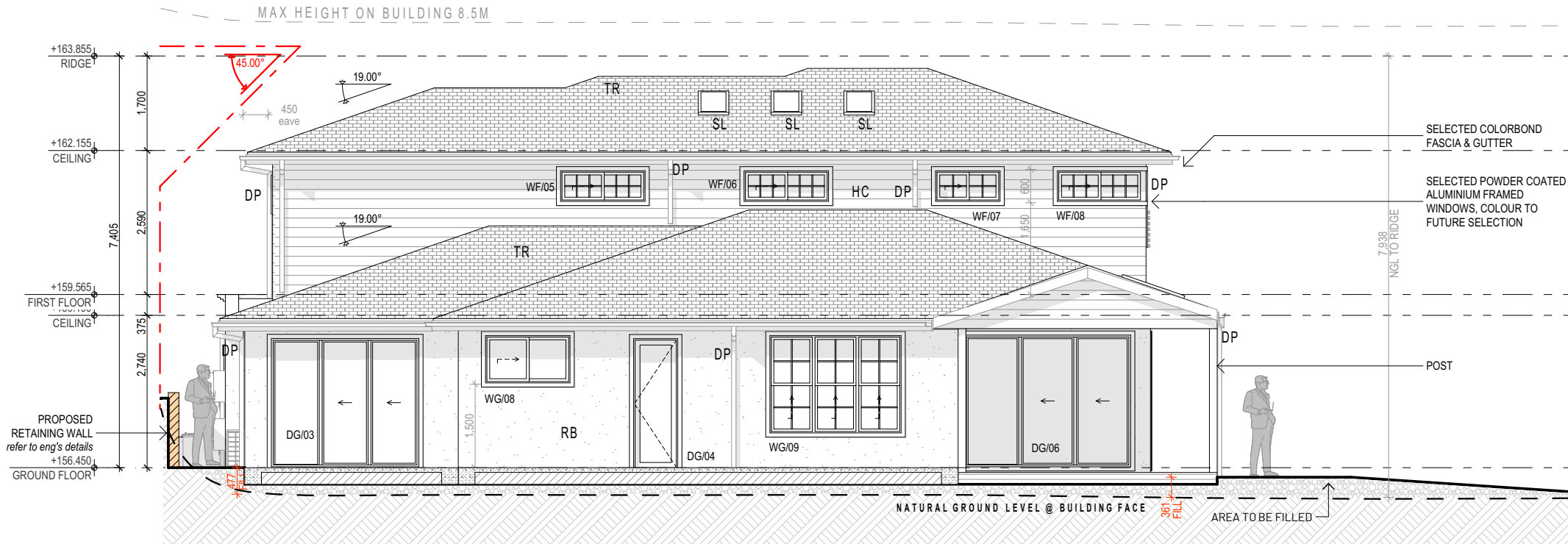
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(SA) SMOKE ALARM



01

ELEVATION 03 SOUTH
1:100

BASIS NOTES

WATER

1. SHOWERHEADS: 4 STARS min
2. TOILETS: 4 STARS min
3. KITCHEN TAPS: 4 STARS min
4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

THERMAL

1. WAFFLE POD SLAB: 225mm
2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
3. EXTERNAL WALLS: R2.5 INSULATION
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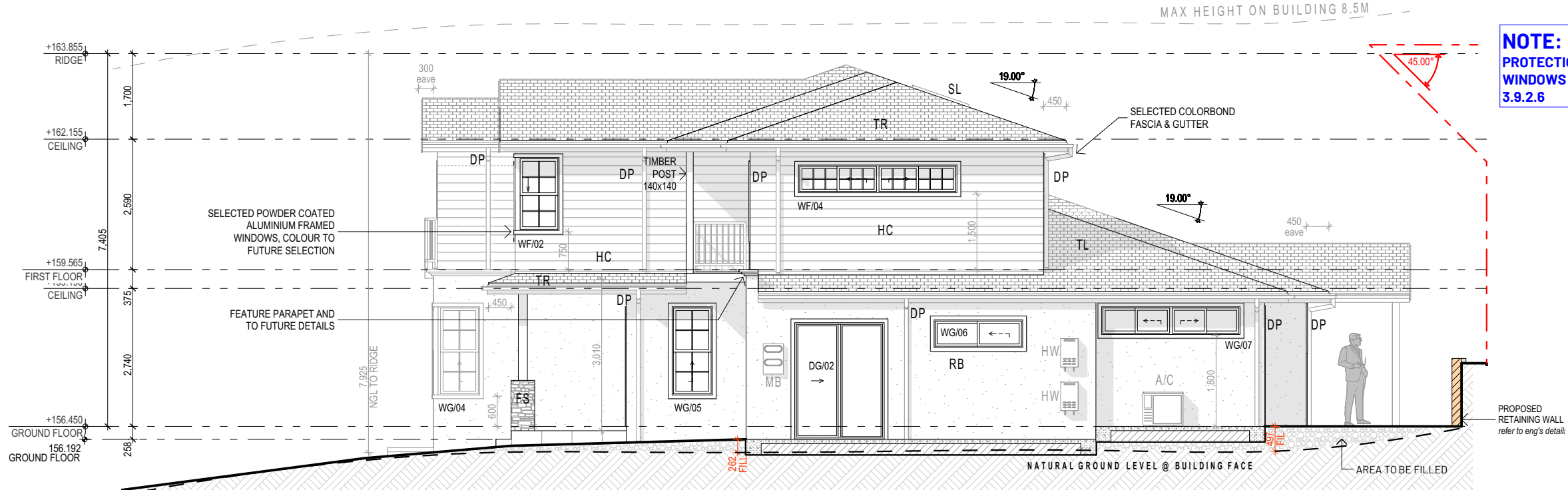
ENERGY

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5. POOL: NO HEATING
6. 2kW PV SYSTEM
7. GAS COOKTOP & ELECTRIC OVEN
8. INDOOR & OUTDOOR CLOTHES LINES

LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



02

ELEVATION 04 WEST
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE



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- BALUSTRADES

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rev date revision notes

DR
DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:100,

drawing

ELEVATIONS 03 & 04

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.03.02

revision

D

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(SA) SMOKE ALARM

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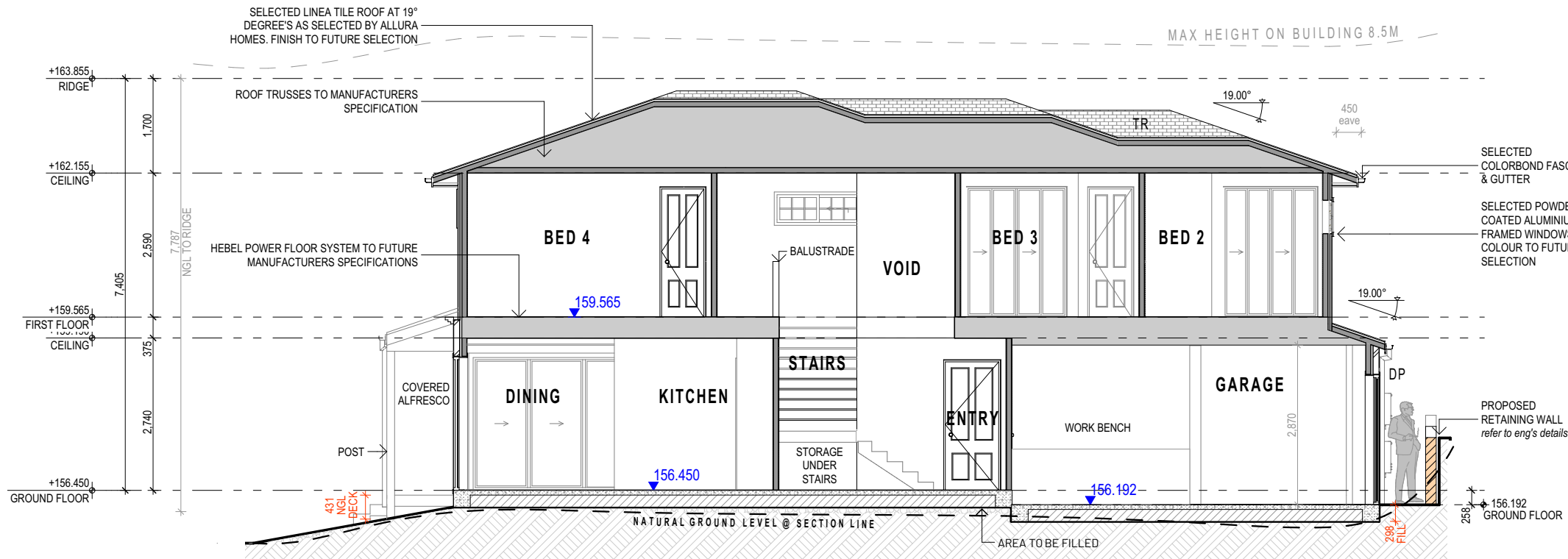
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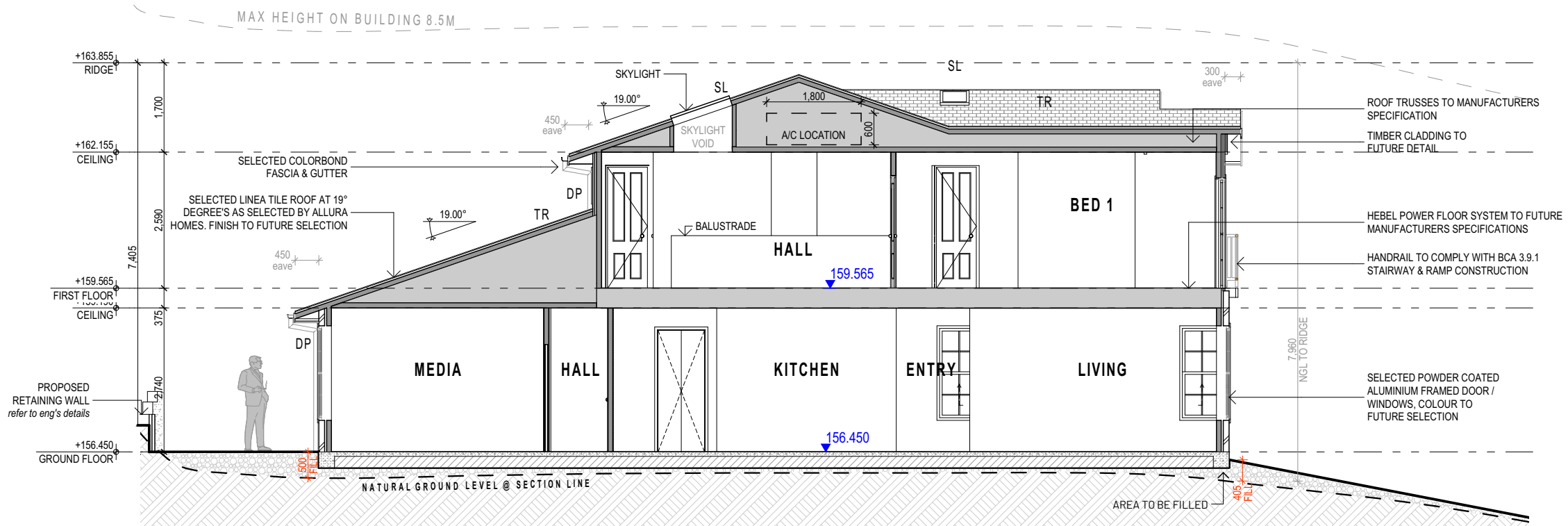
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FB	FACEBRICK
HC	HORIZONTAL CLADDING
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MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING



A

SECTION A
1:100



B

SECTION B
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

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 - TO COMPLY WITH AS1288 and AS2047
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 - TO COMPLY WITH AS3740
 - TO COMPLY WITH BCA pt 3.8.4.3
 - TO COMPLY WITH AS1668.2
 - TO COMPLY WITH BCA pt 3.9.1
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10 COURTLEY ROAD,
BEACON HILL, NSW, 2100

D 31/05/2021 UPDATED DA ISSUE D
C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
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by

project No.
80121

CUSTOM DESIGNED HOME

0	1	2	3	metres	4
stage	drawn	checked	scale @ A3		
DA	DR	AS	1:100,		

drawing

SECTIONS A & B

lot no. | D.P. no. | dwelling type

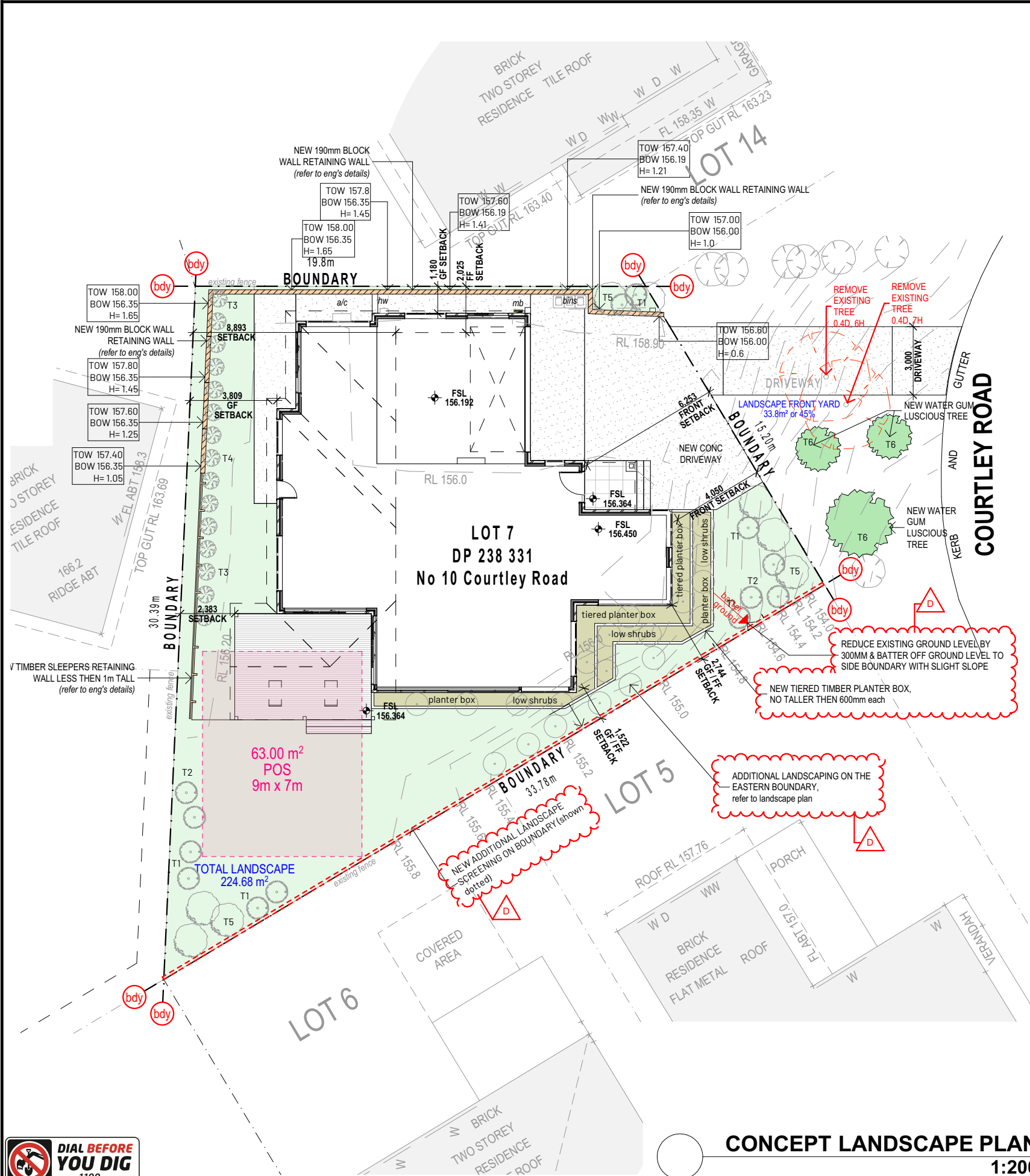
Lot -7 | D.P. -DP 238 331

drawing #

00.04.01

revision

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NOTES

1. ALL LANDSCAPE WORKS SHALL BE CARREID OUT BY MEMBERS OF THE LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA
2. CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE APPROVED BEFORE MANUFACTURING.
3. DO NOT SCALE DRAWING, IF IN DOUBT - ASK
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLANS.
5. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT & COUNCIL REQUIREMENTS.
6. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE AS 4373.
7. THOROUGHLY ERADICATE WEEDS FROM ALL GARDEN AREAS.
8. NO VARIATION TO THE WORKS TO BE CARREID OUT WITHOUT PRIOR APPROVAL FROM OWNER.
9. ALL MATERIALS TO BE THE BEST OF THEIR RESPECTIVE KINDS AND SHALL COMPLY WITH APPROVED SAMPLE TYPE SUBMITTED OR SPECIFIED.
10. SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL NOT BE PERMITTED
11. UNLESS OTHERWISE SPECIFIED OR DIRECTED, ALL INSTRUCTIONS ARE TO BE ISSUED BY THE CONSULTING LANDSCAPE DESIGNER.
12. ALL STORMWATER OUTLETS & SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL.
13. PROVIDE SUB-SOIL DRAINAGE TO GARDEN BEDS & LAWNS AREA WHERE REQUIRED - TO BE CONFIRMED ON SITE.
14. REFER TO SURVEY PLAN FOR POSITION OF ALL EXISTING SERVICES.
15. REFER TO ARCHITECTURAL ELEVATIONS & SECTIONS FOR EXISTING AND PROPOSED GROUND LINES.
16. ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCILS DA & CC CONDITIONS AND ALL RELEVANT 'AUSTRALIAN STANDARDS' AND AUS SPEC NO.1 SPECIFICATION C273 - LANDSCAPING.
17. IRRIGATION SYSTEMS - IF REQUIRED, SHALL BE DESIGNED & INSTALLED TO COMPLY WITH AS 2698, AS 2698.1 - 1994, AS 2698.2-1985, AS 2698.3-1990, WATERBOARD AND OTHER RELEVANT AUTHORITY REGULATIONS.

MAINTENANCE

ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF 12 MONTHS (OR AS REQUIRED BY COUNCIL DA CONSENT) BY LANDSCAPE CONTRACTOR AFTER FINAL COMPLETED AND SHALL BE MAINTAINED AT ALL TIMES IN A SUITABLE MANNER. REPLACE ALL PLANTS WHICH HAVE FAILED WITH THE SAME SPECIES. MULCH IS TO BE MAINTAINED AT SPECIFIED DEPTH. ALL PLANTS AND TURF SHALL BE WATERED ON A REGULAR BASIS TO MAINTAIN MOISTURE LEVELS REQUIRED FOR OPTIMUM GROWTH. ALL GARDEN AREAS ARE TO BE MAINTAINED FREE FROM WEEDS.

PROPOSED PLANT SCHEDULE					
	BOTANICAL NAME	COMMON NAME	HEIGHT	POT SIZE	QUANTITY
	GROUND COVER				
1	LIRIOPE MUSCARI	TURF LILY	0.5M	0.2L	6
2	CLIVEA MINIATE	KAFFIR LILY	0.5M	0.2L	7
	LOW SHRUBS				
3	CAMELLIA JAPONICA	CAMELLIA	1M	0.3L	10
4	RHAPHIOLEPIS UMBELLATA, INDIAN HAWTHORNE		1.5M	0.3L	5
	TALL SHRUBS				
5	MURRAYA PANICULATA	MURRAYA	3M	25L	8
	TREES				
6	TRISTANIOPSIS LAURINA	WATER GUM	5-12M	100L	3

- LEGEND**
- CONCRETE
 - TIMBER DECK
 - SELECTED TILES
 - TURF SELECTED BY CLIENT
 - PRIVATE OPEN SPACE (POS)
 - HOT WATER SYSTEM
 - METER BOX
 - AIR CONDITIONING UNIT
 - LAPPED & CAPPED TIMBER FENCING TO BE NATURAL OR CLEAR FINISH ONLY.
 - REMOVE TREE
 - RETAIN EXISTING TREE

NOTE:

1. DIG HOLE TWICE AS DEEP AS ROOT BALL & ALLOW AT LEAST 200mm AROUND SIDES FOR BACKFILLING WITH TOPSOIL.
2. APPLY FERTILISER IN BASE OF HOLE. COVER WITH TOP SOIL. AVOID ROOT CONTACT.
3. PLACE PLANT IN CENTRE OF HOLE. BACKFILL WITH SPECIFIED TOPSOIL, FIRING PROGRESSIVELY.
4. WATERWELL INTO SAUCER AROUND CROWN OF PLANT.
5. STAKE LARGER SHRUBS WHERE NECESSARY USING 50x50x1200mm HARDWOOD STAKES.

PROVIDE MOUNDED TOPSOIL BERM TO HOLD WATER DURING MAINTENANCE & ESTABLISHMENT.

MULCH 100mm DEPTH

NEW TOPSOIL 300mm DEPTH, OR AS SPECIFIED, CULTIVATED INTO EXISTING SUBSOIL MIN 150mm DEPTH.

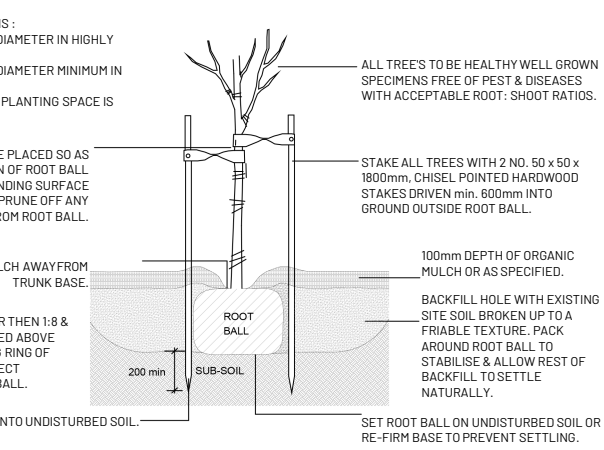
BREAK UP SIDES & BASE OF HOLE.

GENERAL PLANTING SPECIFICATIONS

- DIG PLANTING HOLE AT LEAST THREE TIMES AS WIDE AS ROOT BALL.
- PLANTING HOLE SHOULD ONLY BE AS DEEP AS ROOT BALL.
- DO NOT DIG INTO CLAD SUBSOILS - PLANTING AREA CAN BE BUILT UP TO DESIRED LEVEL.
- SIDES OF PLANTING HOLE SHOULD TAPER OUT AND BE ROUGHENED UP.
- PLANTING STOCK SHOULD BE BROUGHT TO CONTAINER CAPACITY PRIOR TO PLANTING.
- THE ROOT CONTAINER SHOULD BE CAREFULLY REMOVED PRIOR TO PLANTING.
- PLANT STOCK SHOULD BE ROTT PRUNED PRIOR TO PLANTING.
- PLANTING HOLE SHOULD BE BACK FILLED WITH MINERAL SOIL TO SPECIFICATIONS.
- ORGANIC MATTER TO SPECIFICATION MAY BE MIXED WITH THE TOP LAYER OF BACKFILL SOIL.
- DO NOT COMPACT BACKFILL.
- TOP OF EXISTING ROOT BALL SHOULD BE LEVEL WITH EXISTING GARDEN LEVEL.
- DO NOT ALLOW BACKFILL TO COVER ROOT BALL EXCEPT FOR BARE ROOTED STOCK.
- BARE-ROOTED STOCK MAY REQUIRE TEMPORARY STAKING.
- EXCESS SOIL MAY BE MOUNDED OUTSIDE OF ROOT BALL.
- APPLY FERTILISER TO SPECIFICATION FOR THE SPECIES AND AT RECOMMENDED RATES.
- CHECK AND ADJUST PH TO THAT REQUIRED FOR SPECIES.
- ALL PLANTS MUST BE WATERED IN THROUGH THE ROOT BALL AT A MINIMUM RATE OF 1 LITRE OF WATER PER LITRE OF ROOTBALL VOLUME AT THE INFILTRATION RATE OF THE PLANTING HOLE.
- REMOVE ALL PLANT LABELS, TIES AND NURSERY STAKES.
- INSTALL TEMPORARY SUPPORT STAKES (IF REQUIRED) AS PER STAKING DIAGRAM.
- APPLY MULCH TO A DEPTH OF 100MM TO SPECIFICATION COVING DOWN AT PLANT STEM.

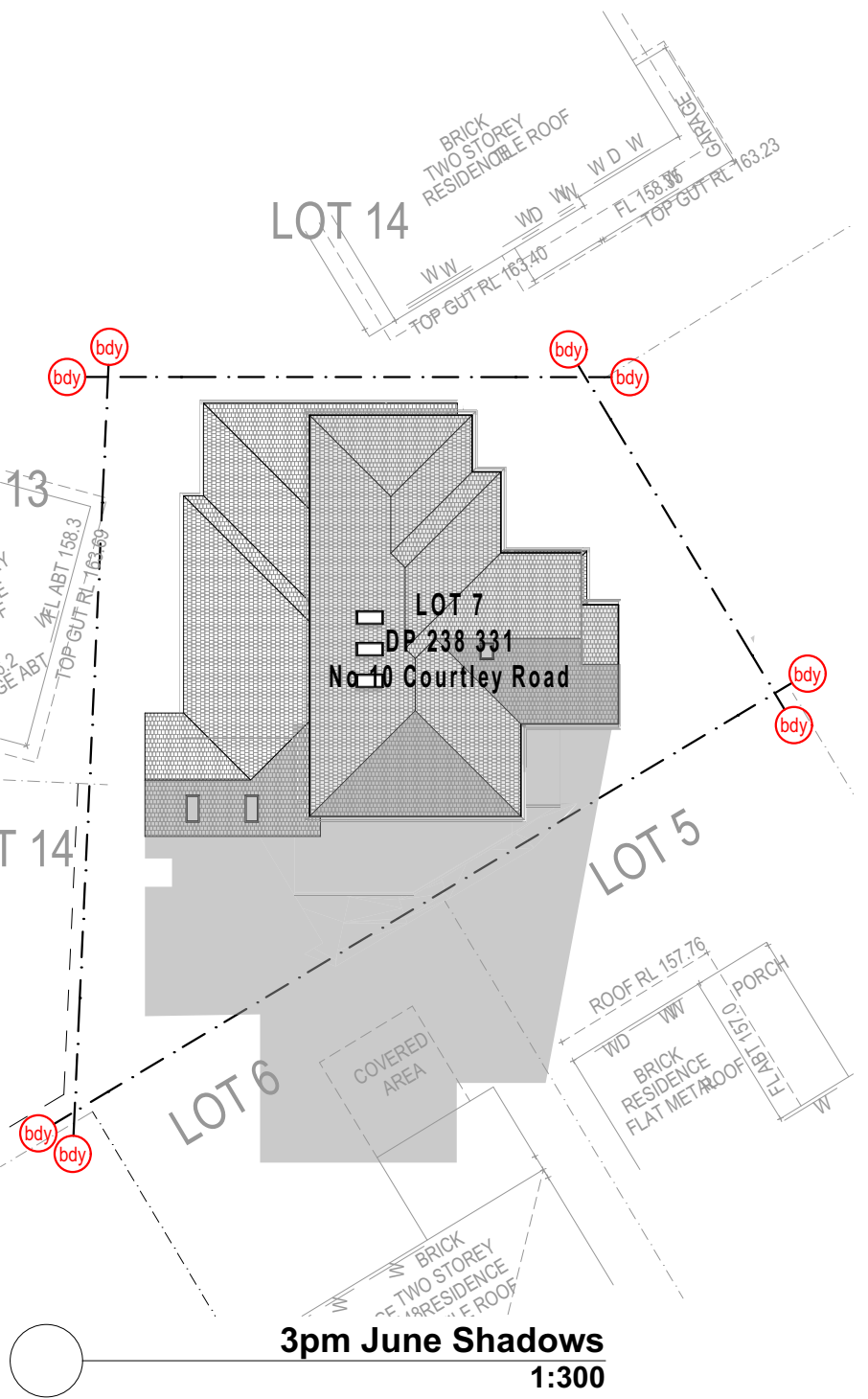
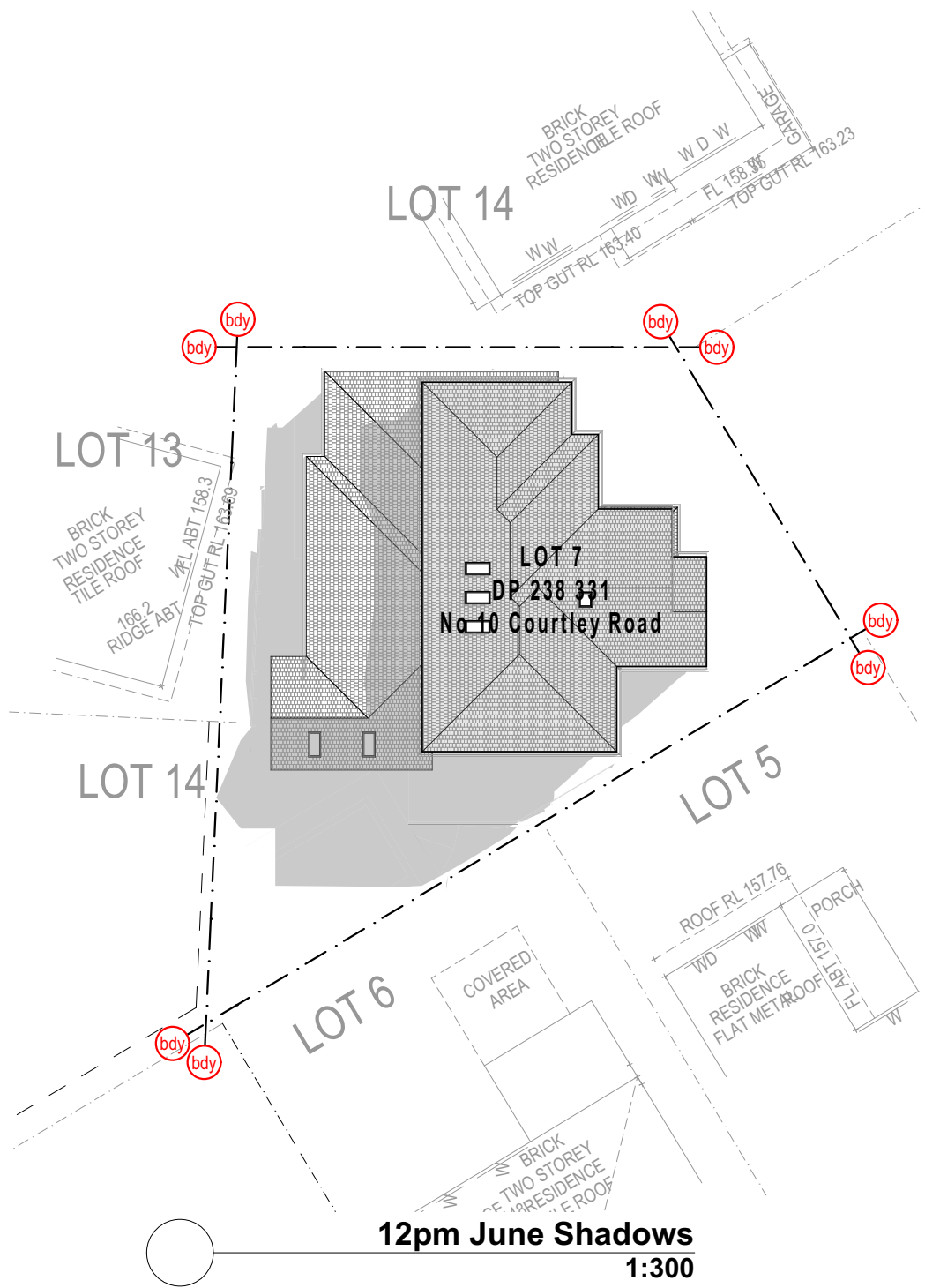
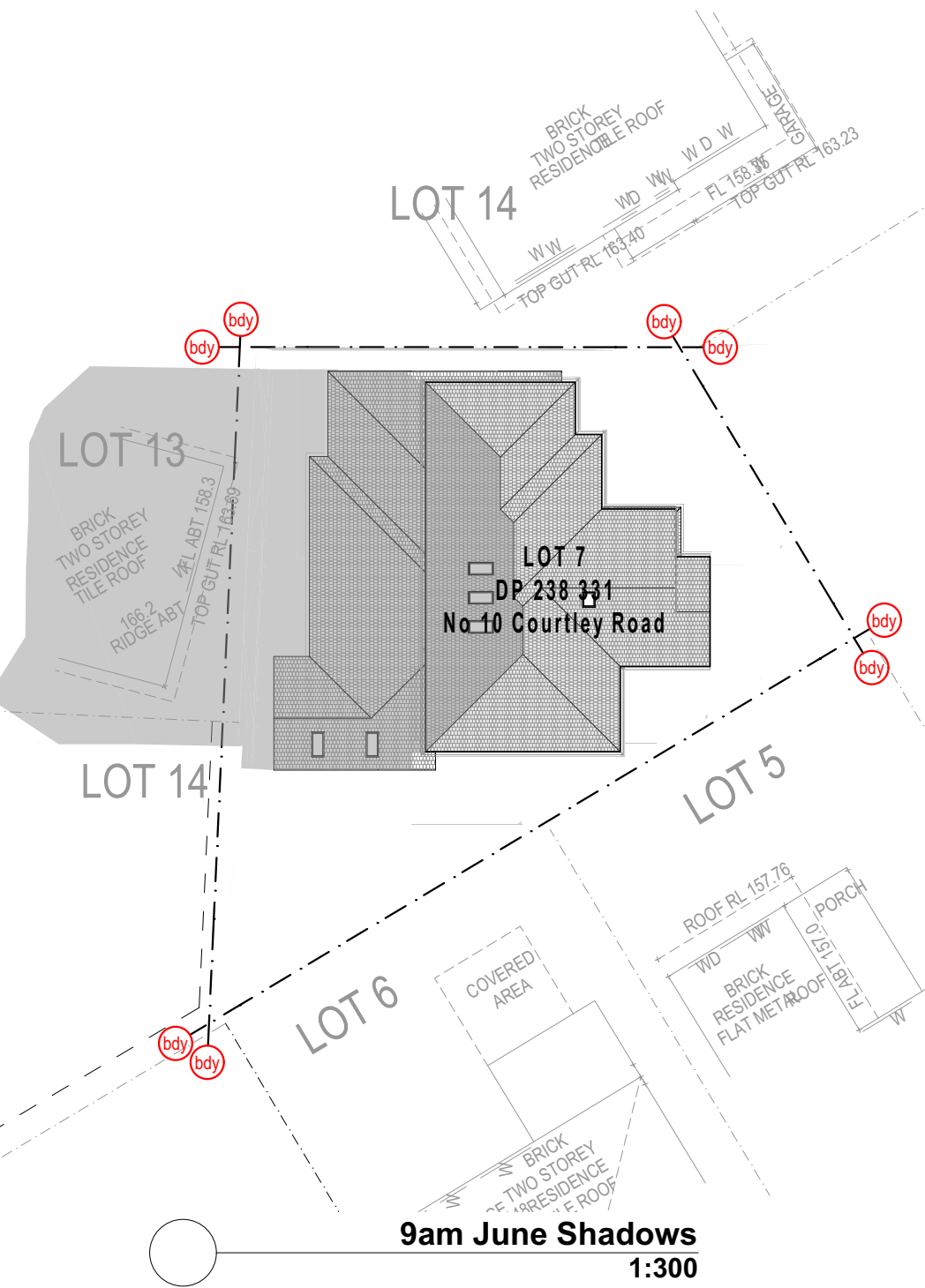
LANDSCAPE AREA	
NO.	07
LOT:	DP 238 331
COUNCIL:	N/A
AREA OF SITE:	557.3m ²
EXCLUDES CARRIAGEWAY	
PRIVATE OPEN SPACE (POS):	63 m ²
REQUIRED LANDSCAPE AREA:	222m ² or 40%
PROPOSED SOFT LANDSCAPE AREA:	224.68m² or 40.3%
(grass & mulch)	
FRONT YARD AREA	74.11
FRONT YARD SOFT LANDSCAPE AREA	33.80 or 45%
BACKYARD SOFT LANDSCAPE AREA	190.88m ²

GROSS FLOOR AREA OF BUILDING FOR DA	
GROUND FLOOR:	188.99m ² -17m ²
EXCLUDING VERANDA, PORCH, BALCONY, STAIR VOIDS	
INCLUDING GARAGE, OUT BUILDINGS AND ANY	
ENCLOSED SPACE WITH WALLS OVER 1.4m	
FIRST FLOOR:	116.40m ²
EXCLUDING VOID:	
TOTAL GFA:	305.39m²



LENGEND

PROPOSED WINTER SHADOWS



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3600.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
- TO COMPLY WITH BCA pt 3.7.2 & AS3796
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
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DR
DR
DR
DR
by



CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:300

drawing
SHADOW DIAGRAMS 22ND JUNE

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.01

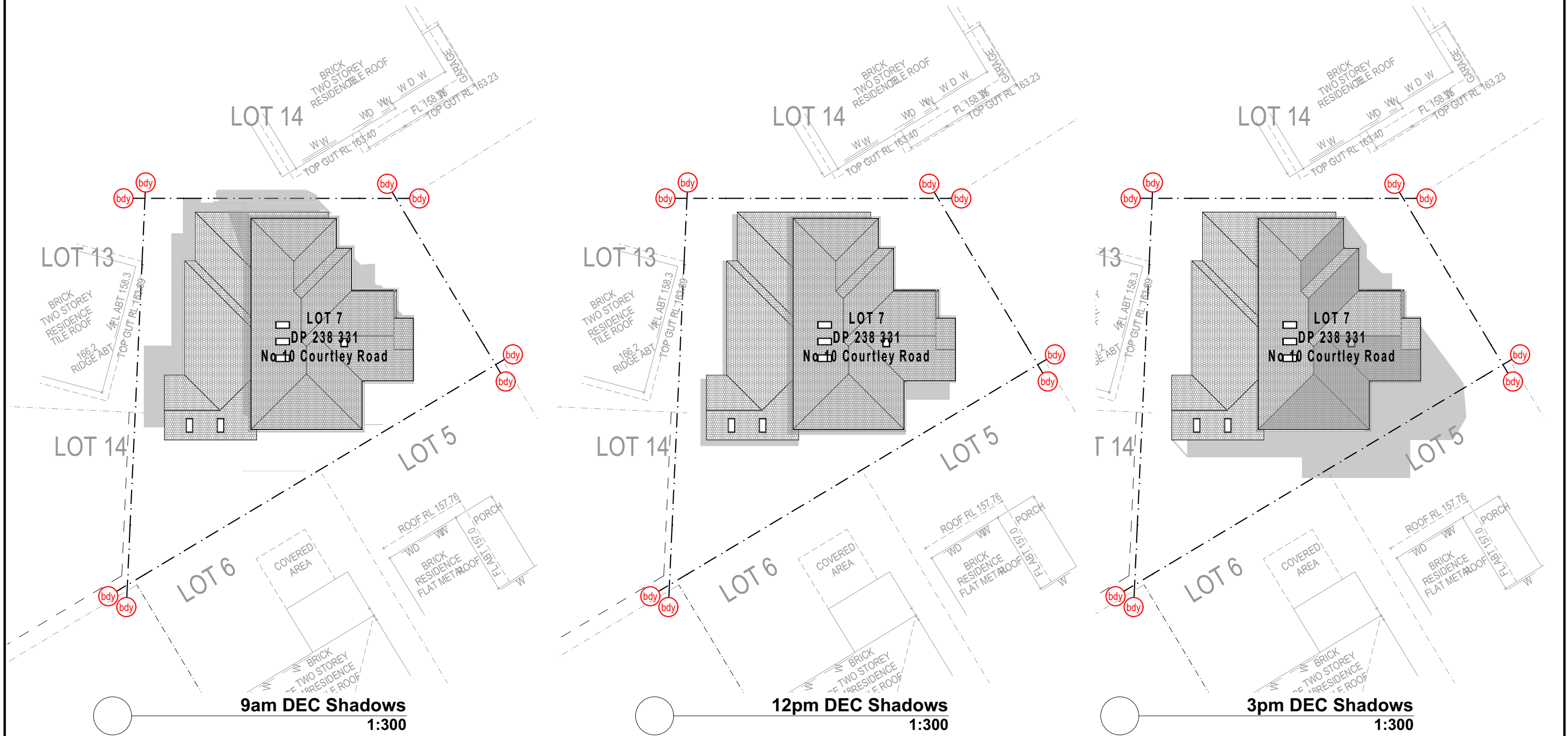
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DEVELOPMENT APPLICATION CLIENT SIGNATURE

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LENGEND

PROPOSED SUMMER SHADOWS





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DR
DR
DR
DR
by

project No.
80121

North

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:300

drawing
SHADOW DIAGRAMS 22ND DEC

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.02

revision
D

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

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EXTERNAL DOOR - GROUND

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
DG/01	GROUND FLOOR		2,340	1,370	ALUM. FRAMED GLASS DOOR
DG/02	GROUND FLOOR		2,340	1,810	ALUM. FRAMED SLIDING GLASS DOOR
DG/03	GROUND FLOOR		2,340	2,685	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR
DG/04	GROUND FLOOR		2,340	820	ALUM. FRAMED GLASS DOOR
DG/05	GROUND FLOOR		2,400	3,585	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR
DG/06	GROUND FLOOR		2,400	3,020	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR

EXTERNAL DOOR - GROUND

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS

EXTERNAL DOOR - FIRST

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
DF/01	FIRST FLOOR		2,100	1,810	ALUM. FRAMED GLASS SLIDING DOOR
DF/02	FIRST FLOOR		2,100	820	ALUM. FRAMED GLASS DOOR
DF/03	FIRST FLOOR		2,100	2,685	ALUM. FRAMED GLASS SLIDING DOOR

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE
NOTE:
- ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5
- CHECK ALL DIMENSIONS AND MEASURE BUILT OPENINGS ON SITE PRIOR TO MANUFACTURE.
- ALL CASEMENT WINDOWS TO BE FITTED WITH FRICTION STAYS.
- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
- ALL GLASS TO COMPLY WITH AS 1288. AS MINIMUM BUT FOR ALL NEW WINDOWS ALLOW AS MINIMUM,
FOR 6.3MM LAMINATED GLASS FOR ACOUSTIC PURPOSES.
- ALL GLASS TO BE CLEAR GLASS UNLESS NOTED.
- ALL OBSCURE GLASS WILL BE NOTED.
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- FOR ALL OTHER GLASS REQUIREMENTS, REFER TO THE BASIX CERTIFICATE.

DEVELOPMENT APPLICATION



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project No.
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CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS

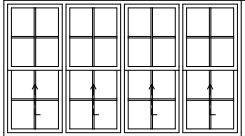
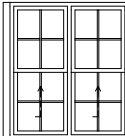
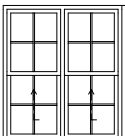
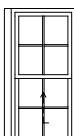
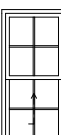
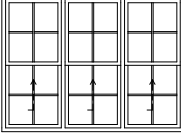
drawing
EXTERNAL DOOR SCHEDULE

lot no. | D.P. no. | dwelling type
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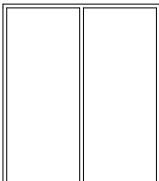
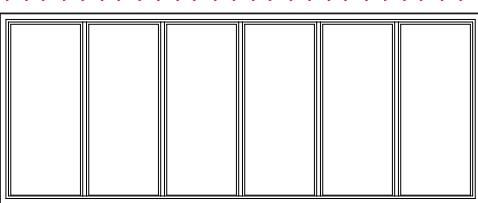
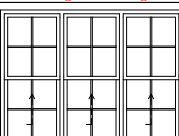
drawing # revision
00.08.01 D

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WINDOWS - GROUND FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WG/01	GROUND FLOOR		1,800	3,140	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/02	GROUND FLOOR		1,800	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/03	GROUND FLOOR		1,800	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/04	GROUND FLOOR		1,800	850	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/05	GROUND FLOOR		1,800	850	ALUM. FRAMED DOUBLE HUNG WINDOW
WG/06	GROUND FLOOR		600	1,810	ALUM. FRAMED SLIDING WINDOW
WG/07	GROUND FLOOR		600	2,800	ALUM. FRAMED SLIDING WINDOW
WG/08	GROUND FLOOR		900	1,570	ALUM. FRAMED SLIDING WINDOW
WG/09	GROUND FLOOR		1,800	2,410	ALUM. FRAMED DOUBLE HUNG WINDOW

WINDOWS - GROUND FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WG/10	GROUND FLOOR		2,400	2,080	ALUM. FRAMED FIXED WINDOW
WG/10	GROUND FLOOR		2,400	6,240	ALUM. FRAMED FIXED WINDOW
WG/11	GROUND FLOOR		1,800	2,410	ALUM. FRAMED DOUBLE HUNG WINDOW

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
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ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE
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DEVELOPMENT APPLICATION CLIENT SIGNATURE



AUSTRALIAN STANDARDS AND BCA
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- TO COMPLY WITH BCA pt 3.9.1
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MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

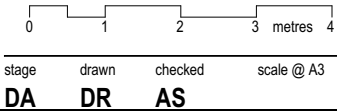
D 31/05/2021 UPDATED DA ISSUE D
C 06/04/2021 UPDATED DA ISSUE C
B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A

rev date revision notes

DR
DR
DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME



drawing
WINDOW SCHEDULE GROUND

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.08.02

revision
D

WINDOWS - FIRST FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WF/01	FIRST FLOOR		1,500	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WF/02	FIRST FLOOR		1,500	850	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WF/03	FIRST FLOOR		1,500	1,570	ALUM. FRAMED DOUBLE HUNG WINDOW
WF/04	FIRST FLOOR		600	3,200	ALUM. FRAMED SLIDING WINDOW
WF/05	FIRST FLOOR		600	1,570	ALUM. FRAMED SLIDING WINDOW
WF/06	FIRST FLOOR		600	1,570	ALUM. FRAMED SLIDING WINDOW
WF/07	FIRST FLOOR		600	1,210	ALUM. FRAMED SLIDING WINDOW
WF/08	FIRST FLOOR		600	1,570	CORNER WINDOW, ALUM. FRAMED SLIDING WINDOW
WF/09	FIRST FLOOR		600	850	CORNER WINDOW, ALUM. FRAMED FIXED WINDOW
WF/10	FIRST FLOOR		600	1,210	ALUM. FRAMED SLIDING WINDOW
WF/11	FIRST FLOOR		1,200	2,000	- ALUM. FRAMED DOUBLE HUNG WINDOW
WF/12	FIRST FLOOR		1,500	850	ALUM. FRAMED DOUBLE HUNG WINDOW

WINDOWS - FIRST FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WF/13	FIRST FLOOR		1,500	850	ALUM. FRAMED DOUBLE HUNG WINDOW
WF/14	FIRST FLOOR		1,200	2,000	- ALUM. FRAMED DOUBLE HUNG WINDOW

SKYLIGHTS

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
SK/01	CEILING		---	---	550 x 700
SK/02	CEILING		---	---	550 x 1180
SK/03	CEILING		---	---	550 x 1180
SK/04	CEILING		---	---	550 x 1180
SK/05	FIRST FLOOR		---	---	550 x 1180
SK/06	FIRST FLOOR		---	---	550 x 1180

NOTE:
PROTECTION OF OPENABLE WINDOWS ON FIRST FLOOR IN ACCORDANCE WITH BCA 3.9.2.6

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE
NOTE:
- ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5
- CHECK ALL DIMENSIONS AND MEASURE BUILT OPENINGS ON SITE PRIOR TO MANUFACTURE.
- ALL CASEMENT WINDOWS TO BE FITTED WITH FRICTION STAYS.
- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
- ALL GLASS TO COMPLY WITH AS 1288. AS MINIMUM BUT FOR ALL NEW WINDOWS ALLOW AS MINIMUM,
FOR 6.3MM LAMINATED GLASS FOR ACOUSTIC PURPOSES.
- ALL GLASS TO BE CLEAR GLASS UNLESS NOTED.
- ALL OBSCURE GLASS WILL BE NOTED.
- WINDOWS WITH COMFORT PLUS CLEAR GLASS LABELED.
- FOR ALL OTHER GLASS REQUIREMENTS, REFER TO THE BASIX CERTIFICATE.

DEVELOPMENT APPLICATION CLIENT SIGNATURE



AUSTRALIAN STANDARDS AND BCA
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- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3600.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
- TO COMPLY WITH BCA pt 3.7.2 & AS3796
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE
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rev	date	revision notes	by

project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	

drawing
WINDOW SCHEDULE FIRST & SKYLIGHTS

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.08.03

revision
D

PROJECT NUMBER: 80121
SITE ADDRESS: 10 COURTLEY RD, BEACON HILL
CLIENT NAME/S: FRED AND SILVANA NILE
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM
CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

HOT WATER UNIT		IMAGE	VARIATION NO.
SUPPLIER: MODEL:	RINNAI INFINITY B26		
FASCIA		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
GUTTER		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
DOWNPIPES		IMAGE	VARIATION NO.
COLOUR:	WATTYL - COLORBOND WINDSPRAY		
RAIN WATER TANK		IMAGE	VARIATION NO.
COLOUR:	N/A - UNDERGROUND		
GROUND FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	N/A		
FIRST FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	JAMES HARDIE LINEA 180MM WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
DECORATIVE MOULDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR:	EZY BUILD D06 WATTYL - CALCIUM		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

By signing this document, the owner acknowledges that these selections override any items in the original signed tender and that if any further changes are made, an administration fee of \$1,000.00 plus GST per change may apply. The owner also acknowledges that colour, texture and patterns may vary from images displayed. Whilst all products in this document are available at time of selections, should specific products not be in stock or discontinued at time of order, an alternative product will be proposed for approval.

2 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

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STAGE 1.

COLOUR & DESIGN SELECTIONS

GROUND FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	PGH BRICKS COMMONS N/A FLUSH		
FIRST FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	N/A		
CULTURED STONE		IMAGE	VARIATION NO.
SUPPLIER: CODE: GROUT: LOCATION:	CTM FLOORING 9236/01 WAL, ROC GRI 400 X 600 OLIVE (BLACK TRIM) FRONT ENTRY PIER		
GROUND FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
FIRST FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	N/A		
GARAGE DOOR		IMAGE	VARIATION NO.
SUPPLIER: PROFILE: WINDOWS: COLOUR: FINISH:	DYNAMIC DOOR SERVICE RANCH N/A PERISHER WHITE WOODGRAIN		
EXTERNAL BALUSTRADE		IMAGE	VARIATION NO.
TYPE: COLOUR:	ALUMINIUM BALUSTRADE PEARL WHITE		
ALUMINIUM DOORS & WINDOWS, FLYSCREENS, LAUNDRY DOOR		IMAGE	VARIATION NO.
COLOUR: OBSCURED GLASS:	PEARL WHITE REMOVABLE FILM ONLY TO WG/08, WF/11, WF/14		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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3 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

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CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

ROOF TILES		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR: RIDGE TYPE:	MONIER HORIZON BARRAMUNDI LAPPED		
PERGOLA ROOF		IMAGE	VARIATION NO.
DESCRIPTION: COLOUR:	TWIN WALL POLYCARBONATE ROOFING GREY		
COLORBOND ROOF		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
SKYLIGHTS		IMAGE	VARIATION NO.
SUPPLIER: MODEL: SIZE: LOCATION:	VELUX FIXED SKYLIGHT SQUARE SET OPENING VARIES REFER TO PLANS		
PRIVACY SCREENS		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
ENTRANCE DOOR & SIDELIGHT		IMAGE	VARIATION NO.
SUPPLIER: RANGE: DESIGN CODE: SIZE: COLOUR OR STAIN: GLASS:	HUME DOORS & TIMBER JOINERY - ENTRANCE JUST10 & JUST5 2340MM X 970MM & 2340MM X 400MM WATTYL - CALCIUM CLEAR		PCV 01 ITEM 1-2
DRIVEWAY		IMAGE	VARIATION NO.
MATERIAL: COLOUR:	PLAIN CONCRETE N/A		
LETTERBOX		IMAGE	VARIATION NO.
TYPE: COLOUR:	PLYMOUTH PILLAR WATTYL - COLORBOND WINDSPRAY		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

CLOTHESLINE		IMAGE	VARIATION NO.
COLOUR:	BASALT Midnight Sky		
FENCING & GATES		IMAGE	VARIATION NO.
TYPE: COLOUR:	ALUMINIUM COLORBOND - MONUMENT DISCLAIMER: BY SIGNING THIS DOCUMENT, YOU ARE CONFIRMING THAT THIS SELECTION HAS BEEN DISCUSSED WITH NEIGHBOURING PROPERTY OWNERS. ALLURA HOMES HOLDS NO RESPONSIBILITY FOR RECOUPING ANY FUNDS FROM NEIGHBOURING PROPERTY OWNERS.		
FIREPLACE		IMAGE	VARIATION NO.
MODEL: FASCIA: MANTLE & FUEL BED: LOCATION:	JETMASTER H-550X-AU TRIM 550 & CRANBOURNE 700 LIMESTONE MANTLE & HEARTH LOOSET GROUND FLOOR LIVING		
AIR CONDITIONING		IMAGE	VARIATION NO.
SUPPLIER: MODEL: GRILLE TYPE: TRUNKING COLOUR:	EPIC AIR ACTRON ESP PLUS 19.32KW 3-PHASE DUCTED SYSTEM CIRCULAR GRILLES (SAME AS DOWNPIPES) WATTYL - COLORBOND WINDSPRAY		
SERVICES LOCATIONS		IMAGE	VARIATION NO.
GAS POINT LOCATIONS: EXTERNAL TAPS:	COOKTOP, BBQ, GAS HEATER, FIREPLACE UNDER METERBOX, EASTERN RETAINING WALL, WATER TANK		
CORNICE		IMAGE	VARIATION NO.
SUPPLIER: TYPE: LOCATION:	USS BORAL SQUARESET THROUGHOUT EXC. GARAGE (COVERED 90MM) & WET AREAS		
SKIRTING		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (92MM X 18MM)		
ARCHITRAVES		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (67MM X 18MM)		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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5 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS



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 - TO COMPLY WITH BCA pt 3.9.1
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DR
DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:2.22

drawing

SCHEDULE OF EXTERNAL FINISHES

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.09.01

revision
D

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA (ISSUE D - 31.05.2021).ph | Date: 31/05/2021 | Time: 4:27 PM



AUSTRALIAN STANDARDS AND BCA
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- | | |
|---------------------------|--|
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| - GUTTERS / DOWNPIPES | - TO COMPLY WITH AS/NZS 3500.3.2 |
| - FOOTINGS AND SLABS | - TO COMPLY WITH AS2601 |
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| - GLAZING | - TO COMPLY WITH AS1288 and AS2047 |
| - SMOKE ALARMS | - TO COMPLY WITH BCA pt 3.7.2 & AS3786 |
| - WATERPROOFING WET AREAS | - TO COMPLY WITH AS3740 |
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| - MECHANICAL VENTILATION | - TO COMPLY WITH AS1668.2 |
| - STAIR CONSTRUCTION | - TO COMPLY WITH BCA pt 3.9.1 |
| - BALUSTRADES | - TO COMPLY WITH BCA pt 3.9.2 |



ALLURA
Welcome to your home

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PROPOSED TWO STOREY DWELLING

site address

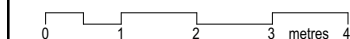
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DR
DR
DR
DR
by

project No.
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CUSTOM DESIGNED HOME



stage	drawn	checked	scale @ A3
DA	DR	AS	

drawing

3D PERSPECTIVE

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.09.02

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