

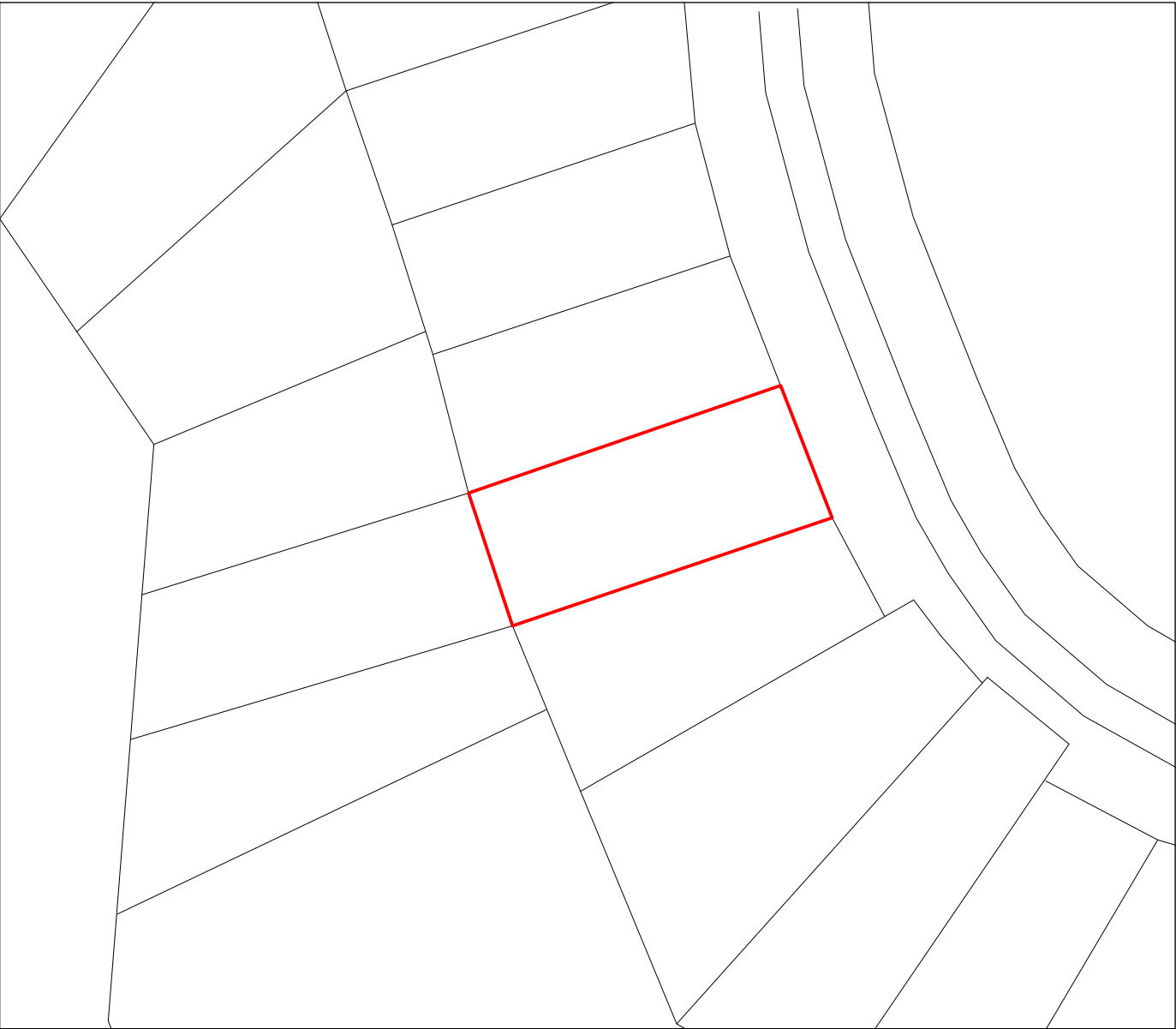
S4-55 DOCUMENTATION

PROPOSED ALTERATIONS & ADDITIONS TO:
324 WHALE BEACH ROAD, PALM BEACH, NSW

DRAWING SCHEDULE	
DRAWING NO:	DRAWING TITLE:
SITE / SPEC / DEMO:	
0-01:	COVER PAGE, SPEC, NOTES, BASIX
0-02:	SITE SURVEY (BY OTHERS)
0-03:	SITE PLAN - PROPOSED
0-04:	SITE PLAN - ANALYSIS
FLOOR PLANS - PROPOSED:	
1-01:	FLOOR PLAN - PROPOSED GARAGE LEVEL
1-02:	FLOOR PLAN - PROPOSED LEVEL 1 (STUDY & GUEST)
1-03:	FLOOR PLAN - PROPOSED LEVEL 2 PLAN (BEDROOMS LEVEL)
1-04:	FLOOR PLAN - PROPOSED LEVEL 3 PLAN (LIVING LEVEL)
1-05:	FLOOR PLAN - PROPOSED ROOF PLAN
ELEVATIONS & SECTIONS:	
2-01:	ELEVATION - NORTH PROPOSED
2-02:	ELEVATION - EAST PROPOSED
2-03:	ELEVATION - SOUTH PROPOSED
2-04:	ELEVATION - WEST PROPOSED
3-01:	SECTION A-A
3-02:	SECTION B-B
SHADOW DIAGRAMS	
4-01:	SITE PLAN - SHADOWS EXISTING & PROPOSED 9am
4-02:	SITE PLAN - SHADOWS EXISTING & PROPOSED 12pm
4-03:	SITE PLAN - SHADOWS EXISTING & PROPOSED 3pm

SCHEDULE OF S4-55 AMENDMENTS	
1.	Revised roof geometry to Level 1 Study.
2.	Exterior walls to Level 1 Study shifted to allow for a larger northern balcony and to eliminate the eastern balcony.
3.	New retaining wall to south-eastern balcony.
4.	DA approved Level 1 Bedroom 4 balcony extended
5.	Additon of new chimney.
6.	Window amendments: <div>Bedroom 2 - relocate DA approved window</div> <div>Laundry - remove existing window / brick up opening</div> <div>Main Bathroom - new glazed door to exterior/ omitted Bathroom extension.</div>

DOCUMENT NOTES:
All work to conform to the Australian Building Code current at the time of the issue of the building consent unless otherwise noted.
In general all work to conform with AS 1684 Timber Framed Construction Code current at the time of issue of the building consent, unless otherwise noted.
DA / CDC and general consent drawings are not to be used for construction purposes.
Do not scale from drawings
All contractors and sub-contractors shall work only from drawings marked 'construction'
The main contractor shall ensure all sub-contractors receive relevant drawings + keynotes + specification.
All contractors shall ensure current issue revisions of drawings are used and distributed to sub-contractors, suppliers, manufacturer's etc
All contractors and subcontractors shall verify dimensions on site before commencing any work
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LOCALITY PLAN


SPECIFICATION:
Note: Contractor to ensure construction is in accordance with the following:
DEMOLITION Demolition work to be in accordance with AS2601. Hazardous or intractable wastes to be removed and disposed of in accordance with the requirements of WorkCover and the EPA, and in accordance with the provisions of: NSW Work, Health and Safety Act, 2011
DAMP PROOFING To comply with BCA 2022 Volume 2, H2D3 Footings and Slab (Damp and Waterproofing); and AS/NZS2904 or AS3660.1 and AS2870
EARTHWORKS To comply with BCA 2022 Volume 2, H1D3 Site Preparation and ABCB Housing Provisions, Part 3.2
DRAINAGE Refer to Hydraulic Engineers drawings, specifications and certificates. To comply with BCA 2022 Volume 2, H2D2 Drainage (Damp and Waterproofing), ABCB Housing Provisions, Part 3.3; and AS3500.3 or AS3500.5
TERMITE PROTECTION To comply with BCA 2022 ABCB Housing Provisions, Part 3.4 and AS3660.1
FOOTINGS AND SLABS Refer to Structural Engineers drawings, specifications and certificates. To comply with BCA 2022, Volume 2, NSW H1D4, ABCB Housing Provisions, Part 4; and AS2870 or AS3600.
MASONRY Refer to Structural Engineers drawings, specifications and certificates. To comply with BCA 2022 Volume 2, H1D5 Masonry, ABCB Housing Provisions, Part 5; and AS3700 or AS 4773.1 and AS 4773.2.
FRAMING AND STRUCTURAL STEEL Refer to Hydraulic Engineers drawings, specifications and certificates. To comply with BCA 2022 Volume 2, H1D6 Framing, ABCB Housing Provisions, Part 6; AS4100 and AS4600 (steel) and AS1720, AS1684 (timber)
ROOF CLADDING To comply with BCA 2022 Volume 2, H1D7 Roof and Wall Cladding; ABCB Housing Provisions, Part 7.2 Sheet Roofing; and AS1562.1
GUTTERS AND DOWNPIPES Refer to Hydraulic Engineers drawings, specifications and certificates. To comply with BCA 2022 Volume 2, Part H2 Damp and Weatherproofing, H2D1 Drainage and H2D6 Roof and Wall Cladding; ABCB Housing Provisions, Part 7.4 Gutters and Downpipes; and AS 3500.3
WALL CLADDING To comply with BCA 2022 Volume 2, H1D7 Roof and Wall Cladding; and BCA 2022 ABCB Housing Provisions, Part 7.5 Timber and Composite Wall Cladding
GLAZING To comply with BCA 2022 Volume 2, H1D8 Glazng; and ABCB Housing Provisions, Parts 8.2 Windows and External Glazed Doors, 8.3 Glass & 8.4 Glazing Human Impact; and AS 2047 and AS 1288
WATERPROOFING AND WET AREAS BCA 2022 Volume 2, H4D2 Wet Areas; and ABCB Housing Provisions, Part 10.2 Wet Area Waterproofing and AS 3740
SMOKE ALARMS To comply with BCA 2022 Volume 2, H3D6 and ABCB Housing Provisions, Part 9.5 Smoke Alarms and Evacuation Lighting; and AS3786
VENTILATION To comply with BCA 2022 Volume 2, H3D7 and ABCB Housing Provisions, Part 10.6 Ventilation; and AS 1688.2
STAIR CONSTRUCTION To comply with BCA 2022 Volume 2, H5D2 and ABCB Housing Provisions, Part 11.2 Stairway and Ramp Construction
BALUSTRADES AND HANDRAILS To comply with BCA 2022 Volume 2, H5D3 and ABCB Housing Provisions, Part 11.3 Barriers and Handrails
HEATING APPLIANCES To comply with BCA 2022 Volume 2, H7D5 and ABCB Housing Provisions, Part 12.4 Heating Appliances
FENCING & OTHER PROVISIONS To comply with regs & AS1926

BASIX:	
Project Type: Certificate Prepared by: Certificate Number:	Dwelling House (Detached) - Alteration and Addition Basix Certificate Centre A1743706_04 (Revision of certificate number A1743706 lodged with the consent authority or certifier on 22 May 2024 with application DA2024/0624)
Fixtures and Systems	
<u>Lighting</u> - The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light emitting-diode (LED) lamps	
<u>Fixtures</u> - The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. - The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. - The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	
Construction	
<u>Insulation requirements</u> The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	
<u>Construction</u> Suspended floor above garage: framed (R0.7). Floor above existing dwelling or building External wall : cavity brick Flat ceiling, pitched roof	<u>Additional insulation required (r value)</u> nil nil nil ceiling: R1.75 (up), roof: foil/sarking light (solar absorptance < 0.475) ceiling: R1.76 (up), roof: foil/sarking light (solar absorptance < 0.475)
Raked ceiling, pitched/skillion roof: framed	
Glazing Requirements	
<u>Windows and Doors</u> The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.* Relevant overshadowing specifications must be satisfied for each window and glazed door.	
The following requirements must also be satisfied in relation to each window and glazed door: -Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below*. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. -Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below*. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. -For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. -For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below*. -Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. -External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. -Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm -Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.*	
<u>Windows & Doors Requirements:</u>	- Timber or uPVC, single clear (or Uvalue: 5.71, SHGC: 0.66)* and - Timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)*
	Shading devices as per Basix Certificate table.
*Refer to BASIX Certificate A1743706_04.	

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NORTH

REV
A
B

DESCRIPTION
DEVELOPMENT APPLICATION
S455 APPLICATION

DATE
2/2024
7/7/2025

PROJECT NAME
324 WHALE BEACH ROAD, PALM BEACH, NSW

PROJECT NO.
2503

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Deuchrass Architects Pty. Ltd.

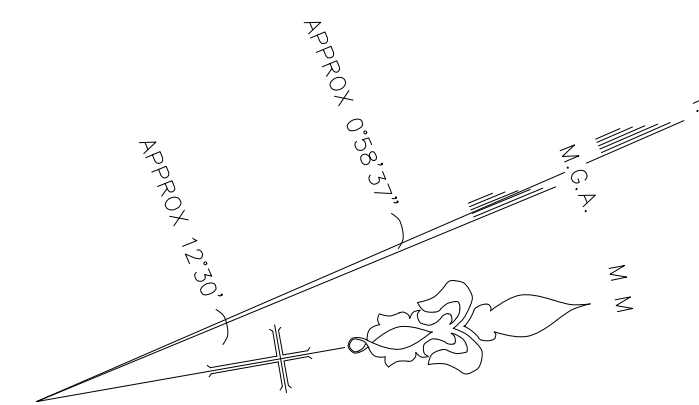
SCALE @ A3
REFER DRAWING TITLES

DRAWING
COVERSHEET, SPEC, NOTES















DATE
REFER REVISION

DRAWING NO. 0-01 / S4-55

REVISION B



LEGEND

	Building	BALC	Balcony Height
	Walls	BOL	Boilard
	Kerb Bottom	BS	Bus Stop
	Concrete edge	BW	Bottom of Window
	Kerb top	CHIM.	Chimney Height
	Barrier	DP	Down Pipe
	Fence	EC	Electric
	Overhead Powerline	FL	Floor Level
	Manholes	GU	Gully
	Survey Station & Name	GFL	Ground Floor Level
	Bench Mark	GM	Gas Meter
	Sapling	GV	Gas Valve
	Tree, 12/0.5/10 (Spread/Trunk/Height)	HT	Height
	Area Of Undergrowth	IC	Inspection Cover
	Gate	LB	Letter Box
IC	Inspection chamber	MH	Manhole
CL	Cover level	PARA	Parapet Height
IL	Invert level	PP	Pole Pale
Inv #0.25	Pipe invert (diameter)	SFL	Second Floor Level
-GU	Gully	SIL	Sill Height
-KO	Back Gully	SP	Sign Post
MH	Manhole	SV	Stop Valve
		SVP	Sewer Vent Pipe
		TD	Top of Door
		TDW	Top of Door/Window
		TEL	Telstra
		TG	Top of Gutter
		TL	Traffic Light
		TW	Top of Window
		TOF	Top of Fence
		TOW	Top of Wall
		UND	Underside Height
		WM	Water Meter
		WL	Washing Line
		WHT	Wire Height

1. A SITE AND BOUNDARY SURVEY HAS BEEN CARRIED OUT. BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED AND DEFINED BY SURVEY.
2. ALL DIMENSIONS AND LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN AND CONSTRUCTION.
3. THE INFORMATION ON THIS SURVEY IS TO BE USED FOR DA PURPOSES ONLY.
4. IF THERE IS ANY POINT OR FEATURE (A FLOOR LEVEL, WALL POSITION, ROOF OR RIDGE HEIGHT ETC) THAT IS NOT SHOWN ON THE CONSTRUCTION PLANS OR CONSTRUCTION, THAT POINT OR FEATURE SHOULD BE MADE KNOWN TO US SO ITS ACCURACY CAN BE CONFIRMED PRIOR TO THE COMPLETION OF DESIGN PLANS OF COMMENCEMENT OF CONSTRUCTION.
5. SOME STRUCTURES AND FEATURES ARE APPROXIMATE ONLY. IF USED FOR DESIGN CONFIRMATION OR A SURVEY SHOULD BE CONDUCTED.
6. FENCES ARE APPROXIMATE ONLY UNLESS SPECIFICALLY DIMENSIONED TO BOUNDARY.
7. SURVEY MARKS MUST BE PLACED PRIOR TO CONSTRUCTION OR ERECTION OF FENCES.
8. TREE INFORMATION HAS BEEN SURVEYED FROM GROUND LEVEL AND THEREFORE SHOULD BE TREATED AS APPROXIMATE. THE EXTENT OF THE CANOPY IS APPROXIMATE AND DIAGRAMATIC ONLY.
9. STAIR RISERS, STEPS AND LANDINGS HAVE NOT BEEN INDIVIDUALLY LOCATED AND ARE DIAGRAMATIC ONLY.
10. THAT ARE VISIBLE AND ACCESSIBLE AT THE DATE OF SURVEY HAVE BEEN SHOWN.
11. THE RECORDS OF THE SERVICE PROVIDERS HAVE NOT BEEN INVESTIGATED, ONLY THOSE SERVICES WHICH ARE SHOWN ON THE SURVEY.
12. SERVICES SHOWN ARE INDICATIVE ONLY, OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN, THEREFORE THE CLIENT SHOULD CONSULT THE SERVICE PROVIDERS TO CONFIRM EXISTENCE AND DEPTH.
13. THE SURVEY HAS BEEN CONDUCTED TO THE BEST OF OUR KNOWLEDGE.
14. SITE AREA SHOWN HAS BEEN CALCULATED BY SURVEY.
15. ORIGIN OF LEVELS IS MVD 62398, RL35.30 TO AHD.
16. BEARINGS ARE ON MAG.
17. THE TITLE NOTES THAT THE LAND IS AFFECTED BY A COVENANT BY TRANSFER NUMBER 0947071.

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es@hillandblume.com.au

SHOWING SELECTED LEVELS &
BOUNDARY IDENTIFICATION & DETAIL OVER
LOT 316 IN DP 16362 BEING
324 WHALE BEACH ROAD, PALM BEACH

<u>LGA</u> NORTHERN BEACHES	<u>REGISTERED SURVEYOR</u> PAUL CECHELLERO
<u>ID NUMBER</u> 757	<u>SIGNATURE</u> 

CLIENT NAME RACHEL O'BRIEN

SCALE 1:100	DRAWN/PAPER SIZE DGM/A1
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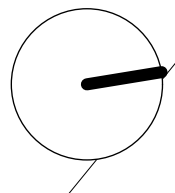
DATE	ISSUE	AMMENDMENTS
29/06/22	'A'	FIRST ISSUE

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NORTH



REV
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DESCRIPTION
DEVELOPMENT APPLICATION
S455 APPLICATION

DATE
2/2024
7/7/2025

PROJECT NAME
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PROJECT NO.
2503

DRAWN BY
Deuchrass Architects Pty. Ltd.

SCALE @ A3
REFER DRAWING TITLES

DRAWING
SITE PLAN - PROPOSED

DATE
REFER REVISION

DRAWING NO. 0-03 / S4-55

REVISION

B

MATERIALS & SYMBOLS KEY:



MTR

METAL ROOFING FINISH

GLS

GLASS

TIM

TIMBER FINISH

RND

BRICKWORK RENDER FINISH

CON

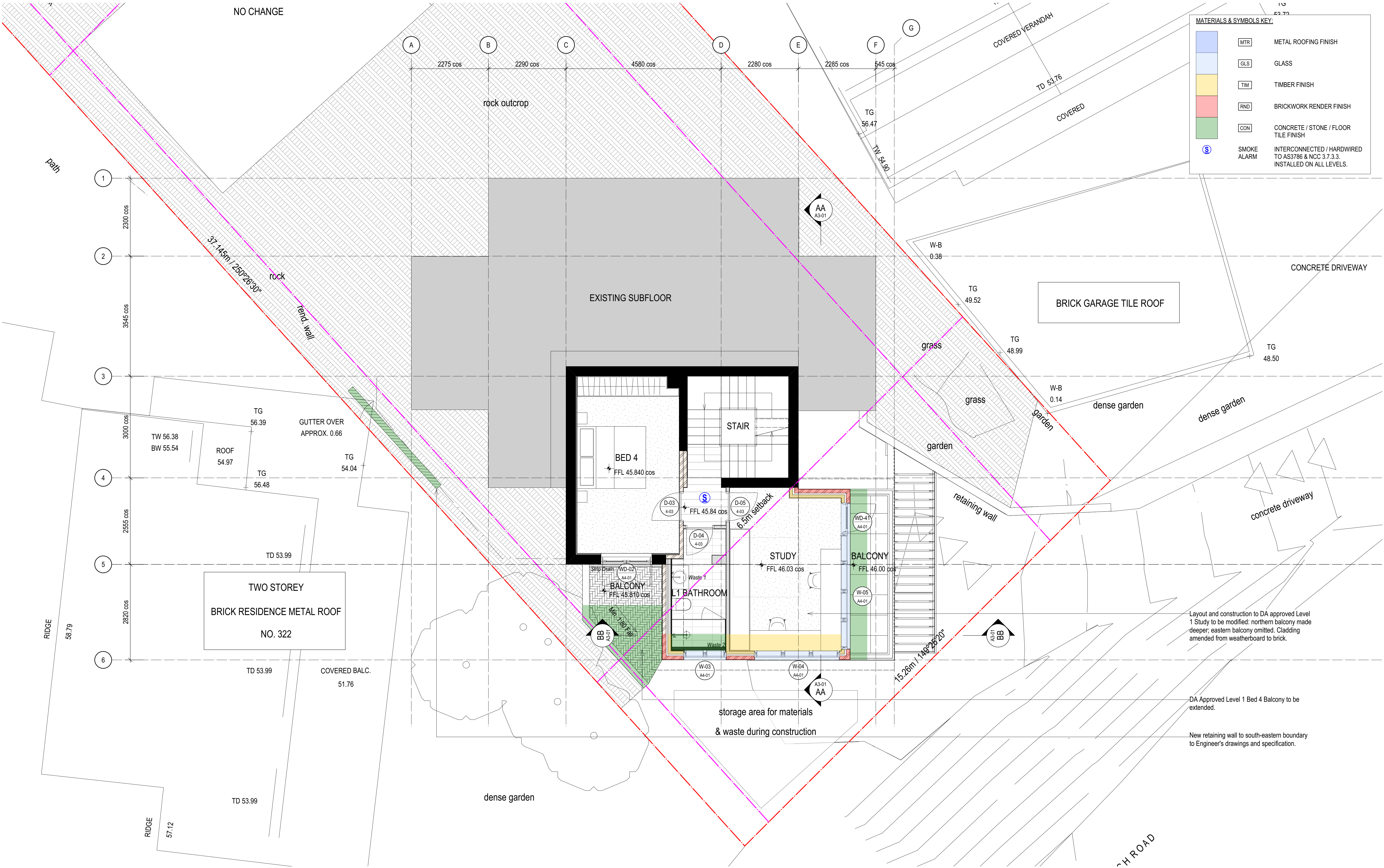
CONCRETE / STONE / FLOOR
TILE FINISH



SMOKE
ALARM

INTERCONNECTED / HARDWIRED
TO AS3786 & NCC 3.7.3.3.
INSTALLED ON ALL LEVELS.

REVISION B

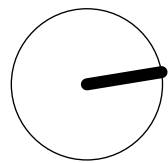


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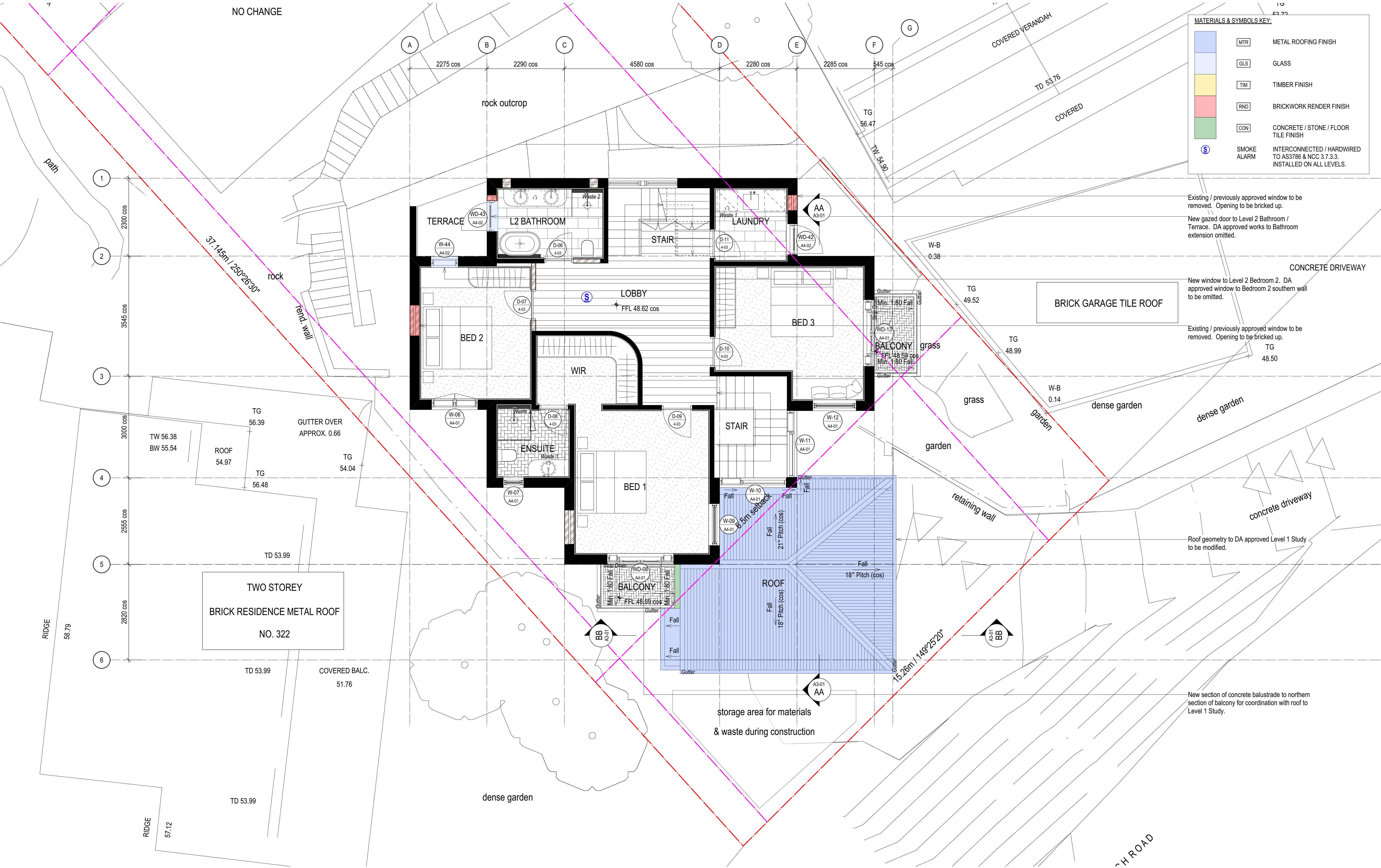
DRAWING
FLOOR PLAN - PROPOSED LEVEL 1 PLAN
(STUDY & GUEST)

DATE
REFER REVISION

DRAWING NO. 1-02 / S4-55

REVISION

B

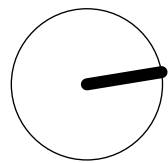


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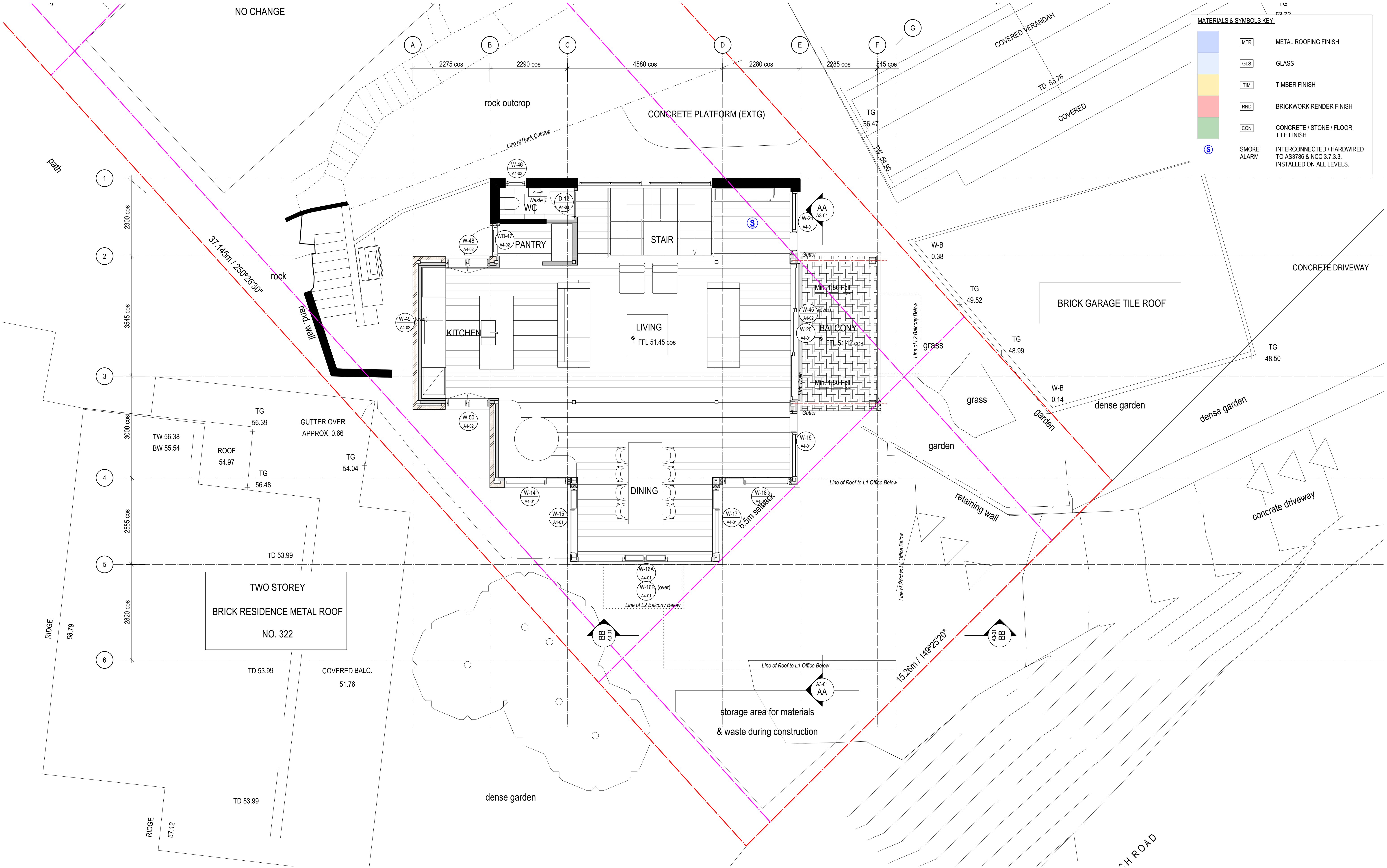
DRAWING
FLOOR PLAN - PROPOSED LEVEL 2 PLAN
(BEDROOMS LEVEL)

DATE
REFER REVISION

DRAWING NO. 1-03/S4-55

REVISION

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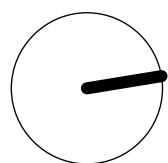


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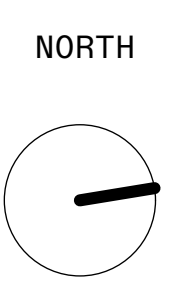
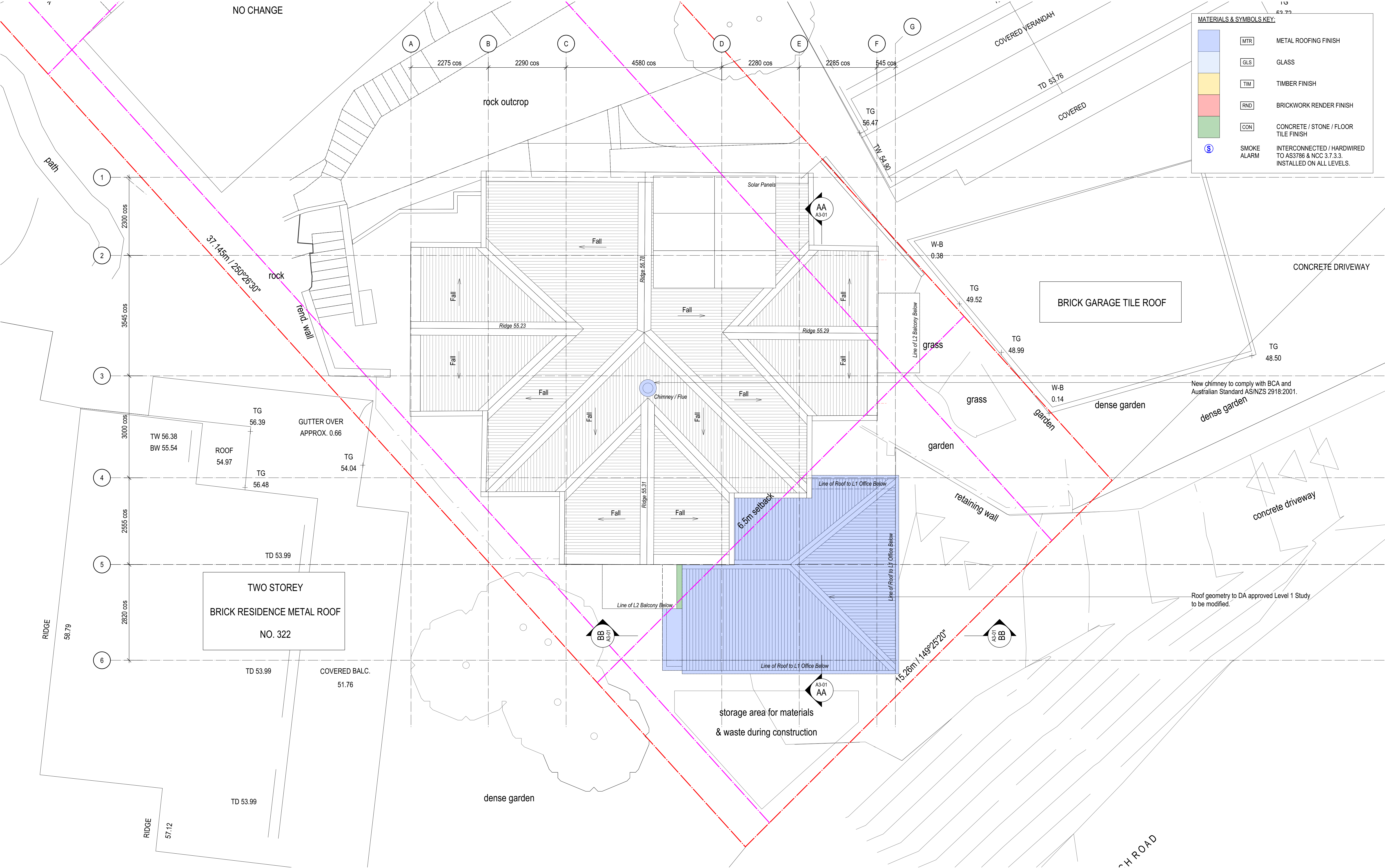
DRAWING
FLOOR PLAN - PROPOSED LEVEL 3 PLAN
(LIVING LEVEL)

DATE
REFER REVISION

DRAWING NO. 1-04 / S4-55

REVISION

B



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








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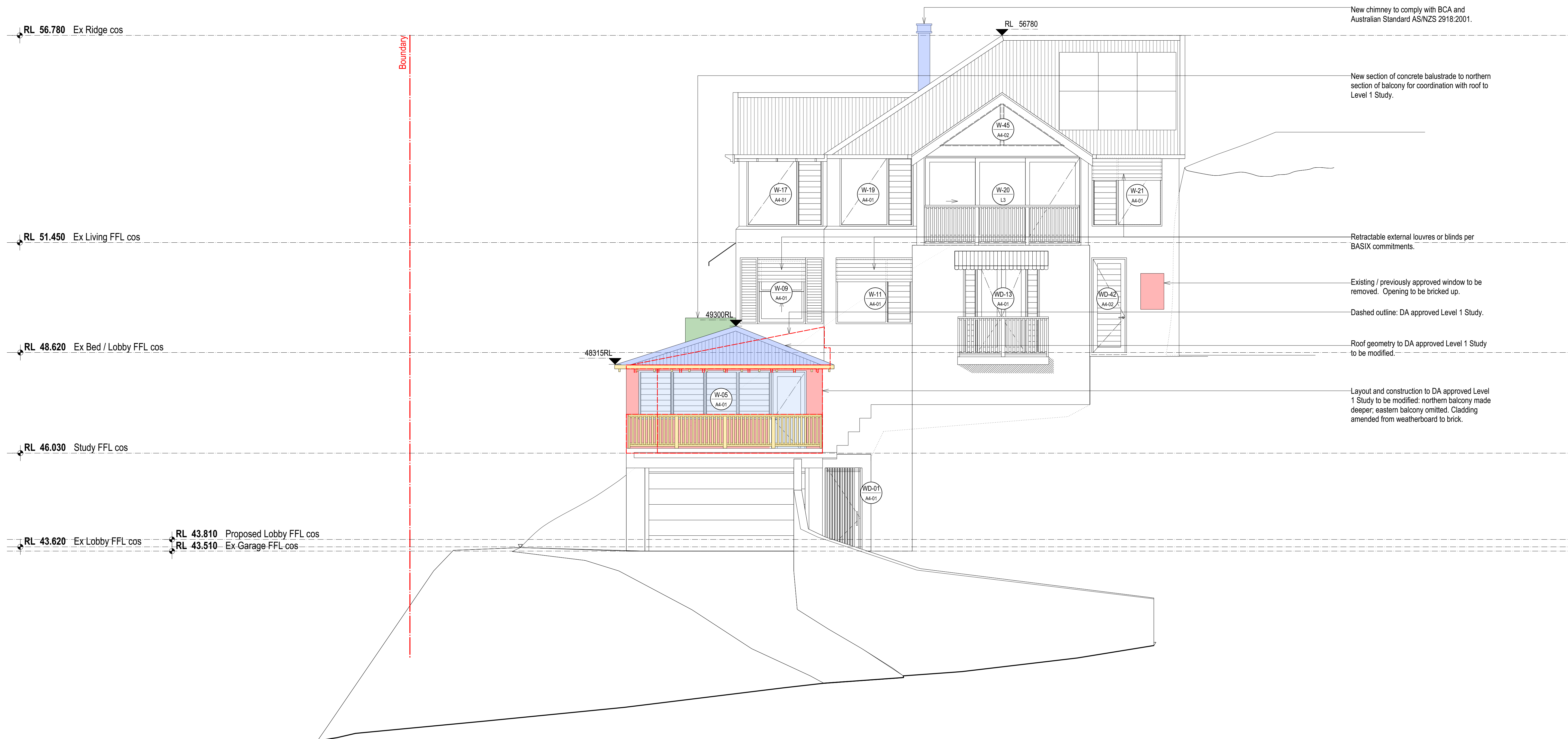
DRAWING
FLOOR PLAN - PROPOSED ROOF PLAN

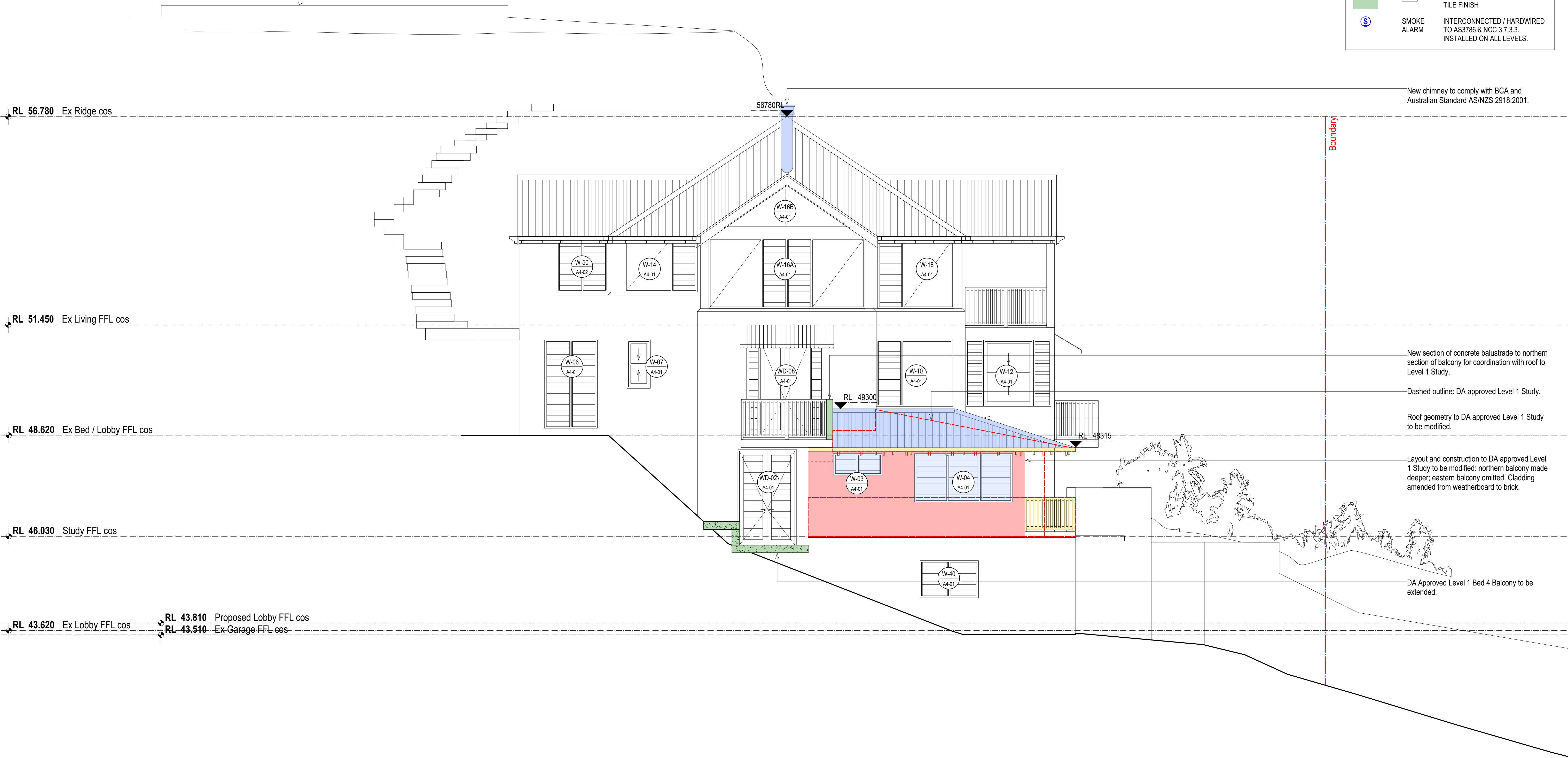
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1-05 / S4-55

REVISION
B

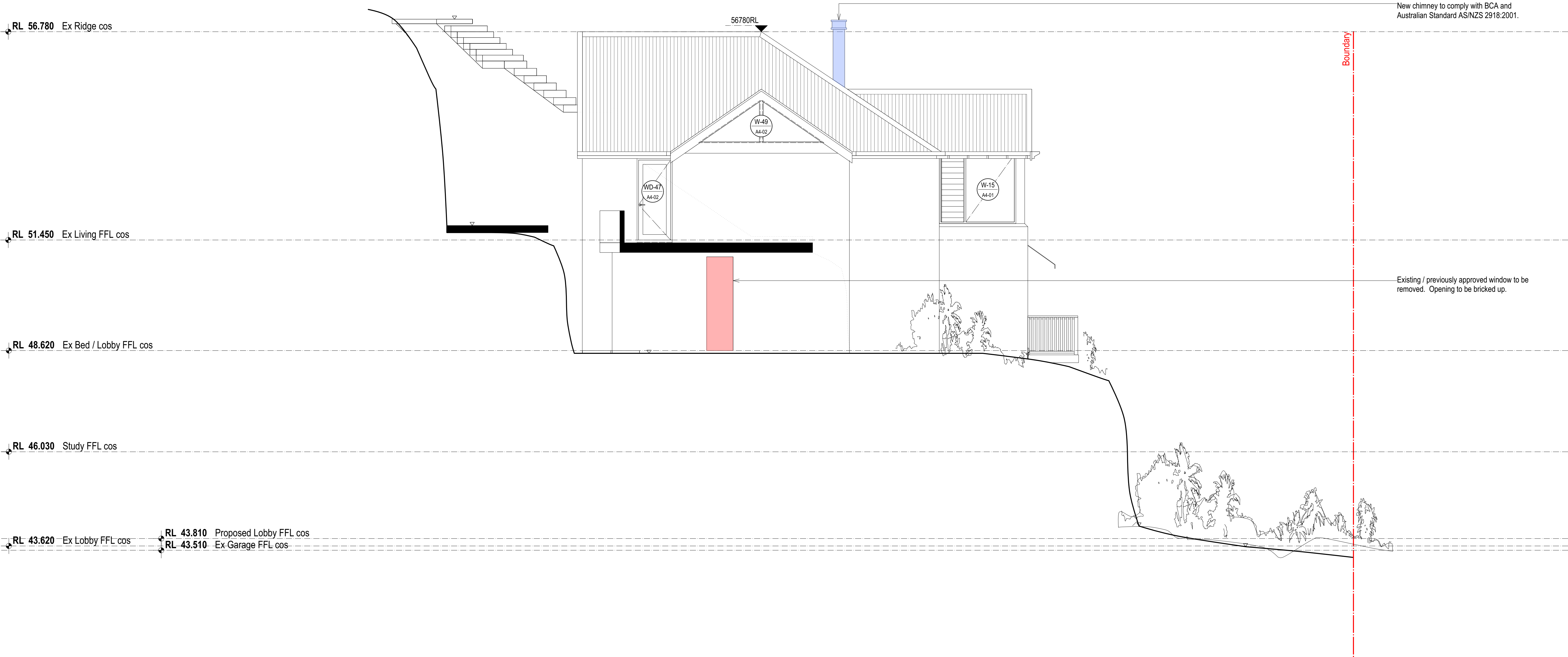
<u>MATERIALS & SYMBOLS KEY:</u>		
		METAL ROOFING FINISH
		GLASS
		TIMBER FINISH
		BRICKWORK RENDER FINISH
		CONCRETE / STONE / FLOOR TILE FINISH
	SMOKE ALARM	
	AS3986 & NCC 3.7.3.3. INSTALLED ON ALL LEVELS.	

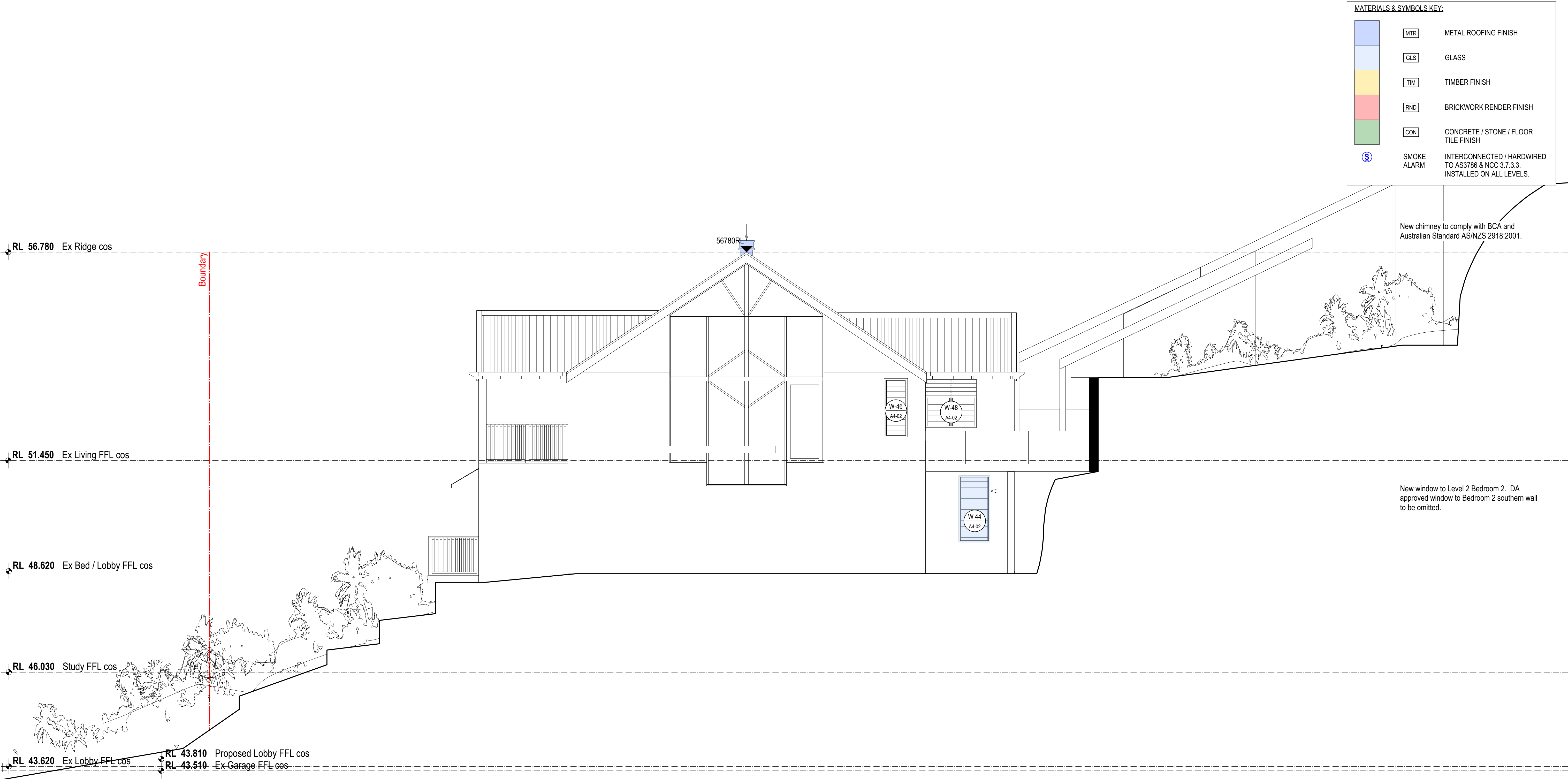




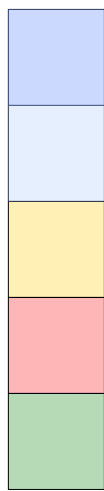
MATERIALS & SYMBOLS KEY:

<div></div>	MTR	METAL ROOFING FINISH
<div></div>	GLS	GLASS
<div></div>	TIM	TIMBER FINISH
<div></div>	RND	BRICKWORK RENDER FINISH
<div></div>	CON	CONCRETE / STONE / FLOOR TILE FINISH
<div></div>	SMOKE ALARM	INTERCONNECTED / HARDWIRED TO AS3786 & NCC 3.7.3.3. INSTALLED ON ALL LEVELS.





MATERIALS & SYMBOLS KEY:



MTR

METAL ROOFING FINISH

GLS

GLASS

TIM

TIMBER FINISH

RND

BRICKWORK RENDER FINISH

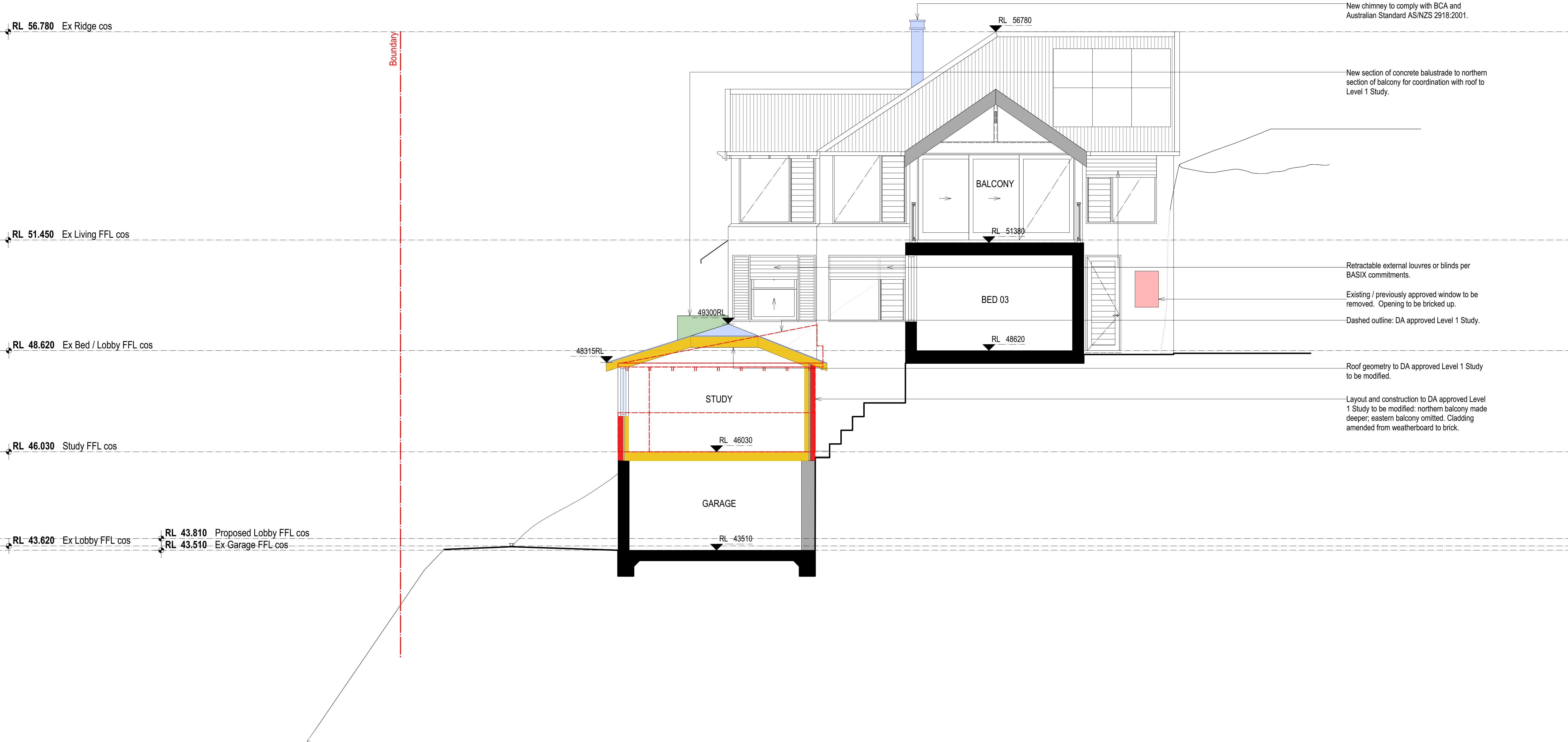
CON

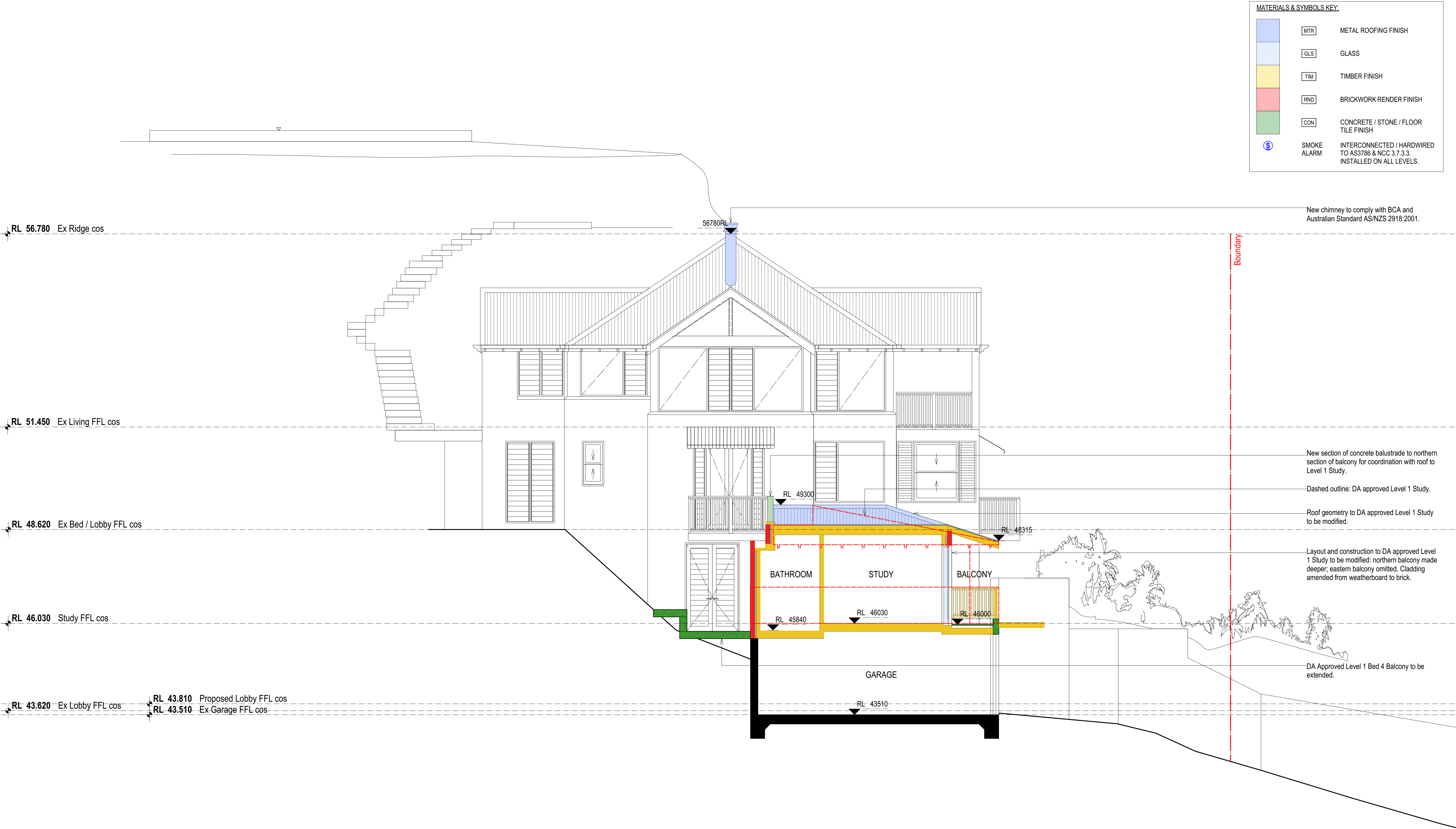
CONCRETE / STONE / FLOOR
TILE FINISH



SMOKE
ALARM

INTERCONNECTED / HARDWIRED
TO AS3786 & NCC 3.7.3.3.
INSTALLED ON ALL LEVELS.

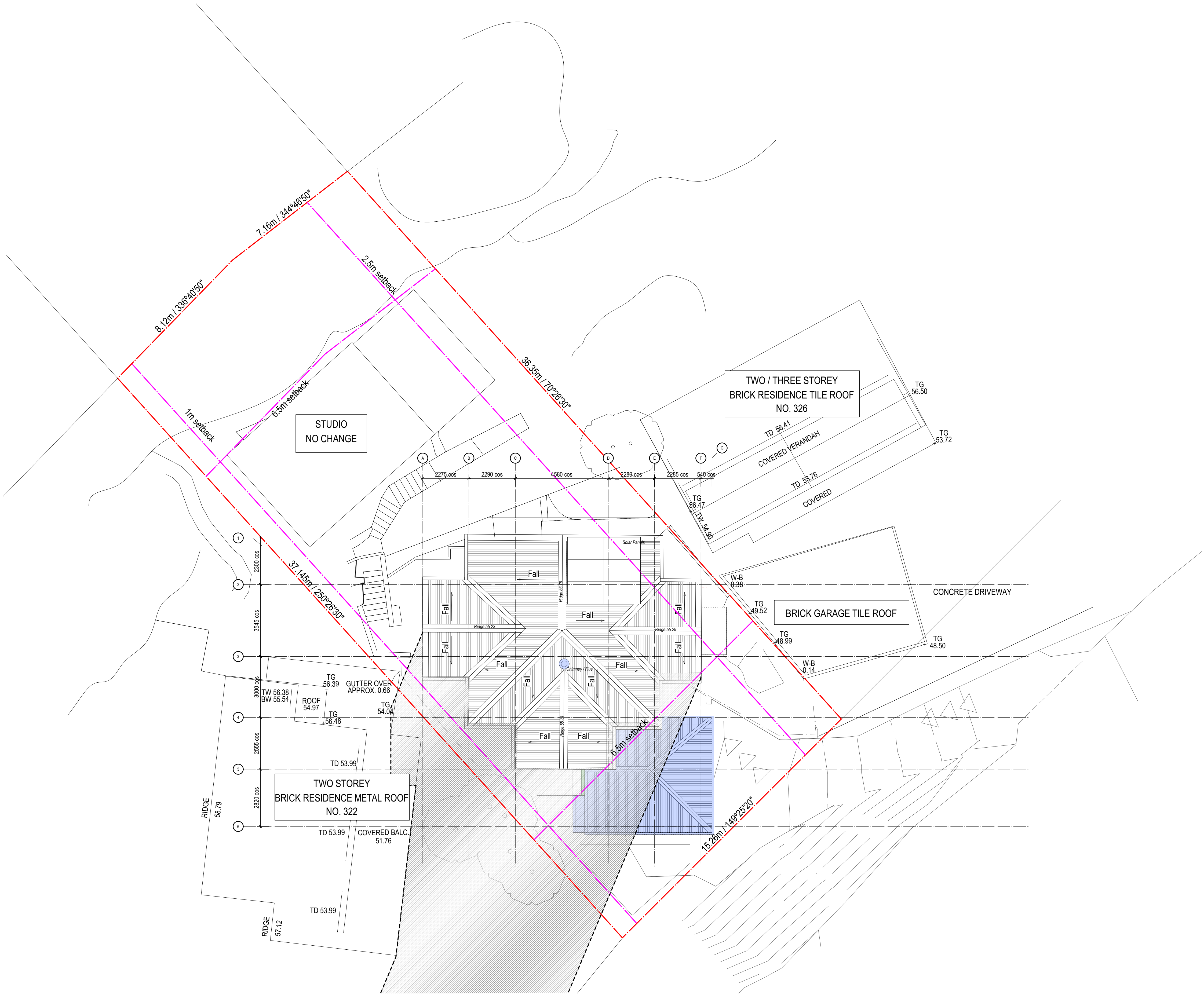




LEGEND:

Indicative of existing shadow

Indicative shadow from Proposed S4.55 amendments

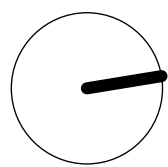


DEUCHRASS

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- All dimensions and levels to be checked on site prior to the commencement of work.
- Read all notes in conjunction with the materials schedule and the specification.
- Read in conjunction with other consultants drawings.
- Contractors shall only build off drawings marked "construction".
- Contractor to ensure current revisions of drawings, specification and schedules are used and distributed to sub-contractors, suppliers and manufacturers.
- Do not scale from drawings. Contractor to verify all dimensions on site prior to commencing any work. Copyright reserved ©
- Nom. Architect: John Deuchrass / Deuchrass Architects Pty Ltd. NSW Reg no. 9285.

NORTH



REV
A
B

DESCRIPTION
DEVELOPMENT APPLICATION
S455 APPLICATION

DATE
2/2024
7/7/2025

PROJECT NAME
324 WHALE BEACH ROAD, PALM BEACH, NSW

PROJECT NO.
2503

DRAWN BY
Deuchrass Architects Pty. Ltd.

SCALE @ A3
REFER DRAWING TITLES

DRAWING
SITE PLAN - SHADOWS EXISTING &
PROPOSED 3pm

DATE
REFER REVISION

DRAWING NO. 4-03 / S4-55

REVISION B