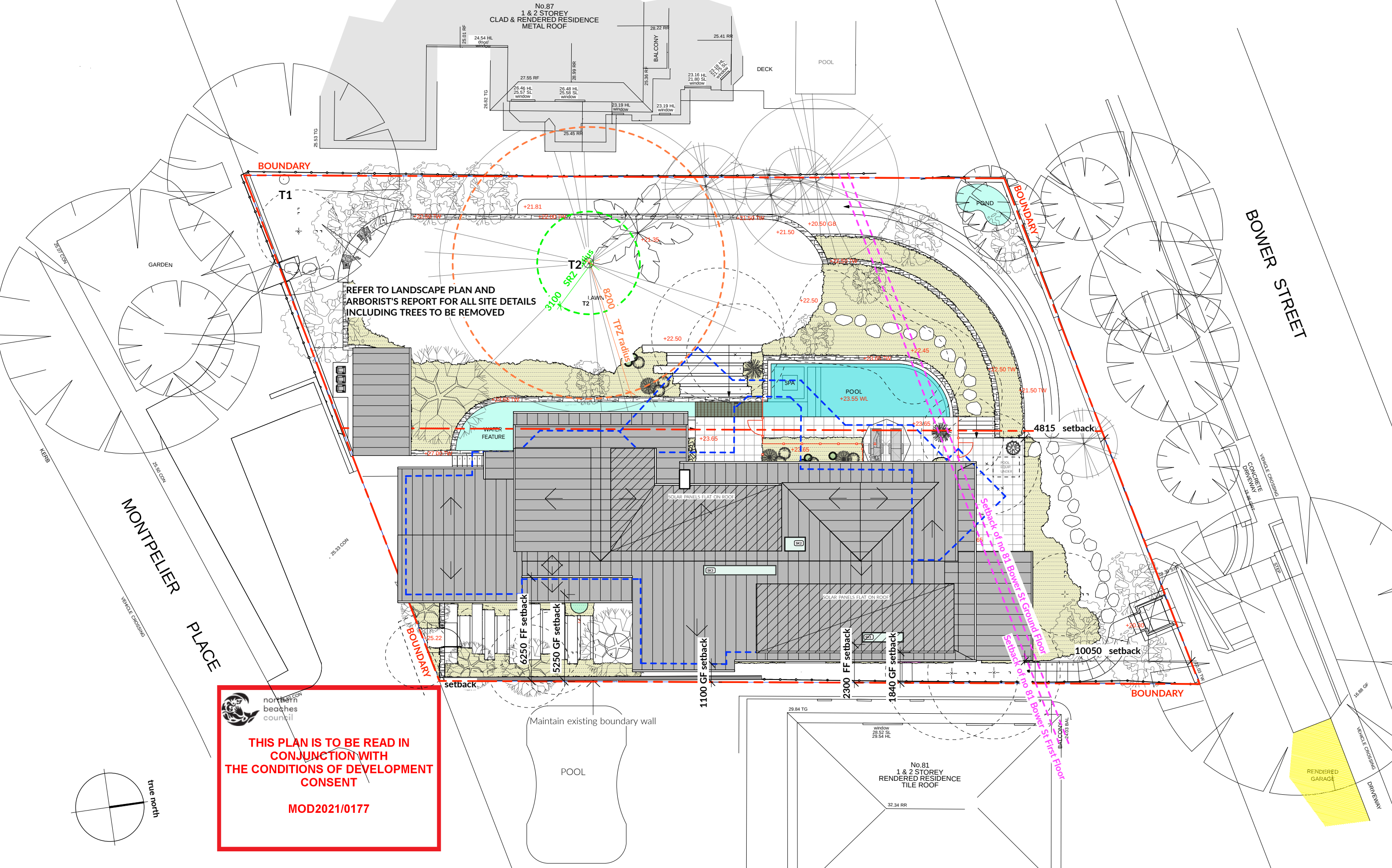




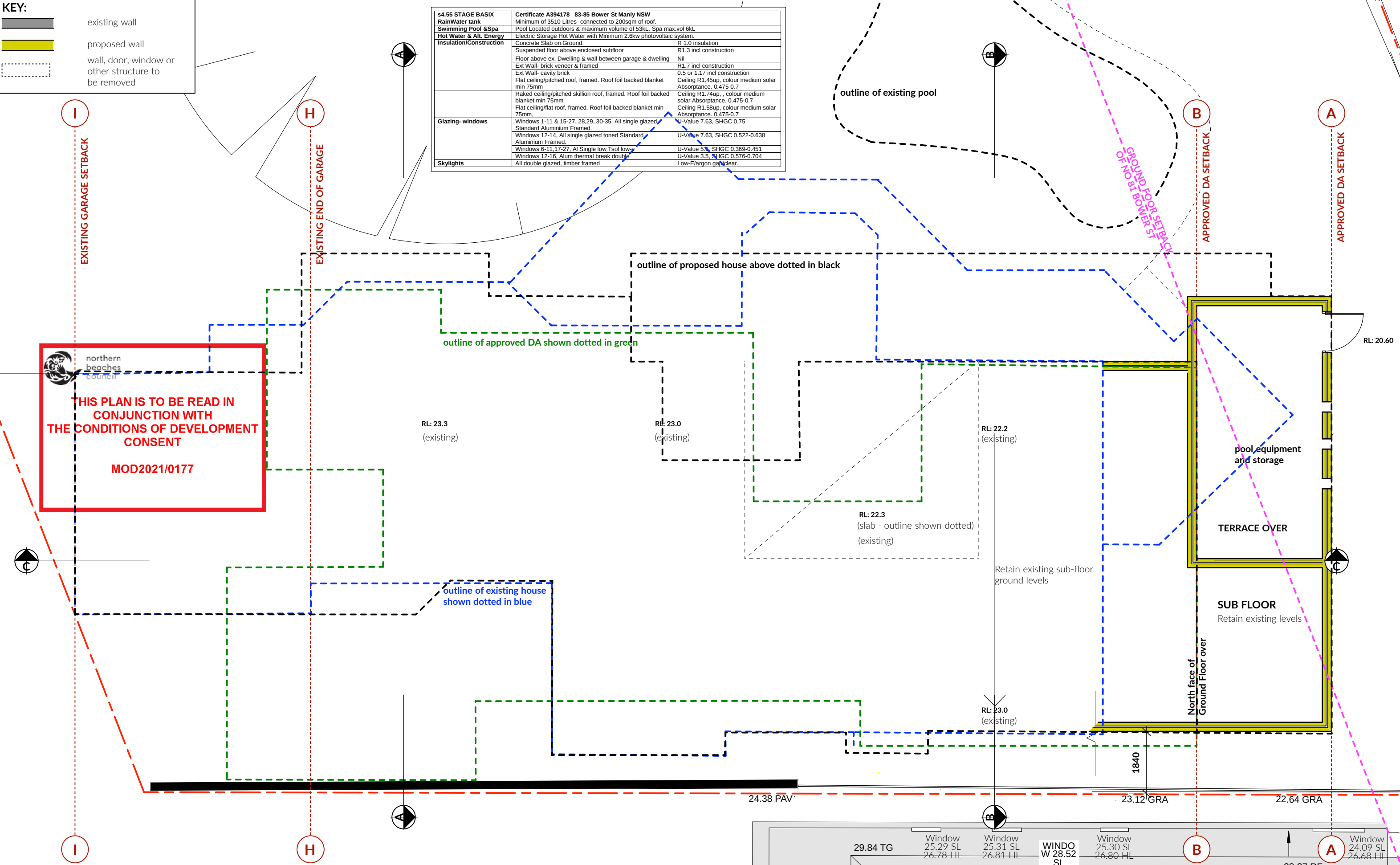
KEY:

existing wall

proposed wall

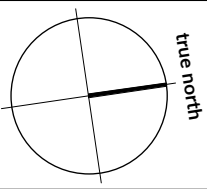
wall, door, window or other structure to be removed

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL
Hot Water & Airt. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.
Insulation/Construction	Concrete Slab on Ground. R 1.0 insulation
	Suspended floor above enclosed subfloor R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling Nil
	Ext Wall- brick veneer & framed R1.7 incl construction
	Ext Wall- cavity brick 0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm, Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Windows 1-11 & 15-27, 28-29, 30-35. All single glazed Standard Aluminium Framed. U-Value 7.63, SHGC 0.75
	Windows 12-14, All single glazed toned Standard Aluminium Framed. U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27, Al Single low Tsol low-e U-Value 5.5, SHGC 0.369-0.451
	Windows 12-16, Alum thermal break double U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed Low-E/argon gas clear.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0177

EVANS AND GREEN
43 McKell St
Birchgrove
ph: 0425 249 804



NOTES
Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale drawings.
This drawing is for Council Approval only, not for construction.

CLIENTS: Ray + Julie Balcomb
PROPERTY: 83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

REVISION: A
DATE: March 2021

DRAWING: LOWER GROUND FLOOR PLAN
DRAWING No: S4.55.02

No.81
1 & 2 STOREY
RENDERED RESIDENCE
TILE ROOF

KEY:

- existing wall
- proposed wall
- wall, door, window or other structure to be removed

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0177

REFER TO LANDSCAPE PLAN FOR DETAILS OF LANDSCAPE SCHEME

EXISTING GARAGE SETBACK

line of approved DA

WATER FEATURE

GYM RL: 23.32

GARDEN ROOM RL: 23.32

TERRACE RL: 23.65

DINING

LIVING 1 RL: 23.7

KITCHEN

BEDROOM 3 RL: 23.94 EX

BEDROOM 4 RL: 23.94 EX

BATH

WC

LAUNDRY RL: 23.7

store

EX GARAGE RL: 25.2

POOL +23.55 WL

SPA

DECK RL: 23.65

BBQ

POL EQUIP. UNDER

APPROVED DA SETBACK

APPROVED DA SETBACK

required setback line of Ground Floor wall

required setback line of Ground Floor wall

Window 25.29 SL 26.78 HL

Window 25.31 SL 26.81 HL

Window 25.30 SL 26.80 HL

Window 24.09 SL 26.68 HL

EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

CLIENTS: Ray + Julie Balcomb

PROPERTY: 83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

NOTES: Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale drawings.
This drawing is for Council Approval only, not for construction.

REVISION: A

DATE: March 2021

DRAWING: GROUND FLOOR PLAN

DRAWING No: S4.55.03

No.81
1 & 2 STOREY
RENDERED RESIDENCE
TILE ROOF

S4.55 STAGE BASIX	Material A394178 83-85 Bower St Manly NSW
RainWater tank	of 3510 Litres - connected to 200sqm of roof.
Swimming Pool & Spa	ed outdoors & maximum volume of 53kL. Spa max vol 6kL
Hot Water & Alt. Energy	Storage Hot Water with Minimum 2.6kw photovoltaic system.
Insulation/Construction	Cement Slab on Ground. R1 1.0 insulation
	Suspended floor above enclosed subfloor R1 3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling Nil
	Ext Wall- brick veneer & framed R1 7 incl construction
	Ext Wall- cavity brick 0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm Ceiling R1 4.5up, colour medium solar Absorbance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm Ceiling R1 7.4up, colour medium solar Absorbance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm, Ceiling R1 5.8up, colour medium solar Absorbance. 0.475-0.7
	U-Value 7.63, SHGC 0.75
	Windows 1-11 & 15-27, 28-29, 30-35. All single glazed Standard Aluminium Framed.
	U-Value 7.63, SHGC 0.522-0.638
	Windows 12-14. All single glazed tinted Standard Aluminium Framed.
	U-Value 5.6, SHGC 0.369-0.451
	Windows 6-11, 17-27. All Single low Tsoi low-e
	U-Value 3.5, SHGC 0.576-0.704
	Windows 12-16. Alum thermal break double Low-E/largon gap/clear.
	All double glazed, timber framed
Skylights	

KEY:

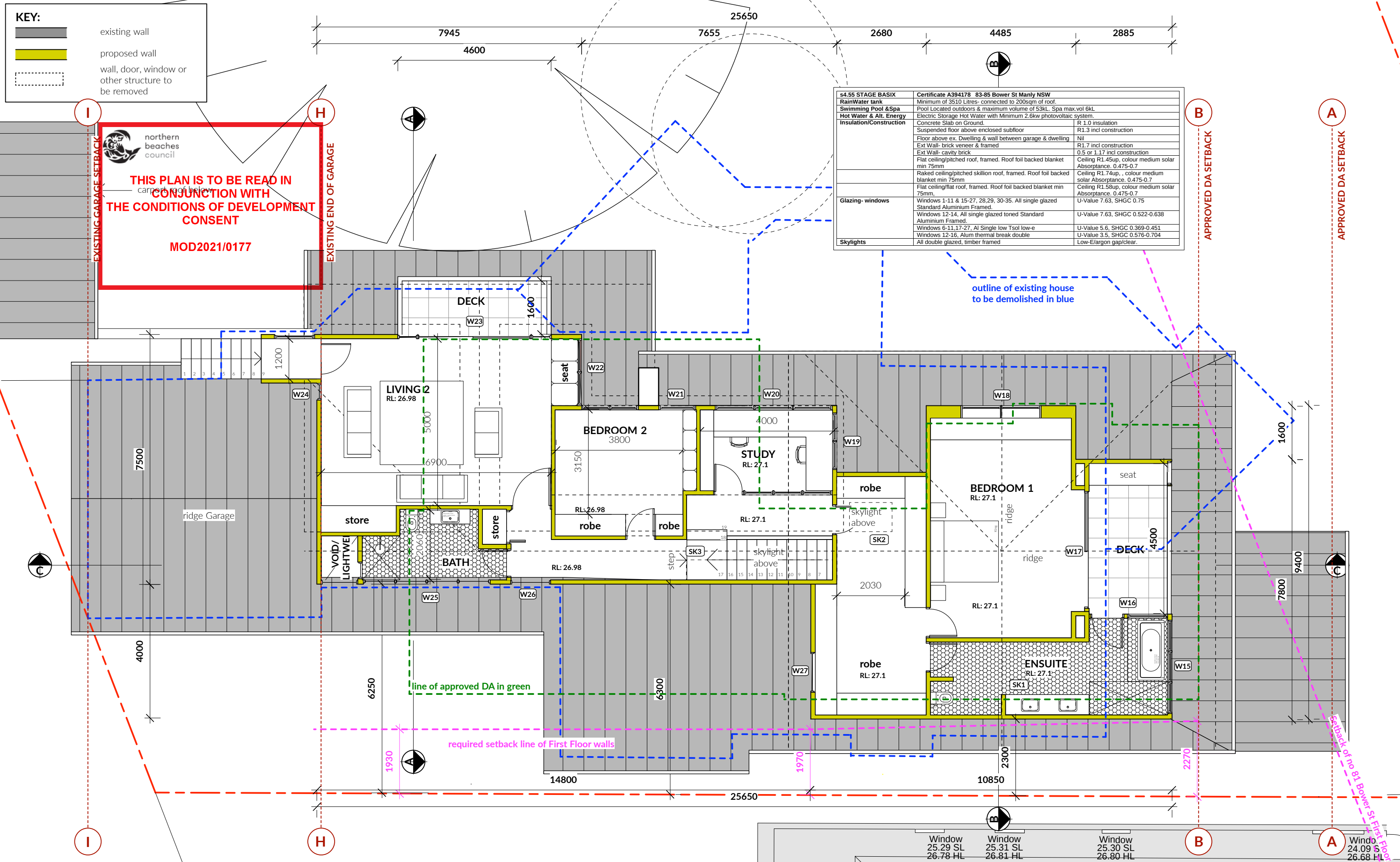
- existing wall
- proposed wall
- wall, door, window or other structure to be removed



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0177

s4.55 STAGE BASIX	
RainWater tank	Certificate A394178 83-85 Bower St Manly NSW
Swimming Pool & Spa	Minimum of 3510 Litres- connected to 200sqm of roof.
Hot Water & Alt. Energy	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL.
Insulation/Construction	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.
	Concrete Slab on Ground.
	Suspended floor above enclosed subfloor
	Floor above ex. Dwelling & wall between garage & dwelling
	Ext Wall- brick veneer & framed
	Ext Wall- cavity brick
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm
Glazing - windows	Windows 1-11 & 15-27, 28-29, 30-35. All single glazed Standard Aluminium Framed.
	Windows 12-14, All single glazed toned Standard Aluminium Framed.
	Windows 6-11, 17-27, All Single low Tsol low-e
	Windows 12-16, Alum thermal break double
Skylights	All double glazed, timber framed
	R 1.0 insulation
	R1.3 incl construction
	Nil
	R1.7 incl construction
	0.5 or 1.17 incl construction
	Ceiling R1.45up, colour medium solar Absorptance, 0.475-0.7
	Ceiling R1.74up, , colour medium solar Absorptance, 0.475-0.7
	Ceiling R1.58up, colour medium solar Absorptance, 0.475-0.7
	U-Value 7.63, SHGC 0.75
	U-Value 7.63, SHGC 0.522-0.638
	U-Value 5.6, SHGC 0.369-0.451
	U-Value 3.5, SHGC 0.576-0.704
	Low-E/argon gap/clear.



EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.

Use Figured dimensions. Do not scale drawings.

This drawing is for Council Approval only, not for construction.

CLIENTS: Ray + Julie Balcomb

PROPERTY: 83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

REVISION: A

DATE: March 2021

DRAWING: FIRST FLOOR PLAN

DRAWING No: **S4.55.04**

No.81
1 & 2 STOREY
RENDERED RESIDENCE
TILE ROOF



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0177

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kl. Spa max vol 6kl.	
Hot Water & Alt. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, . colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm.	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	Windows 1-11 & 15-27, 28-29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
Glazing- windows	Windows 12-14, All single glazed toned Standard Aluminium Framed.	U-Value 5.6, SHGC 0.369-0.451
	Windows 6-11,17-27. Al Single low Tsoil low-e	U-Value 3.5, SHGC 0.576-0.704
Skylights	Windows 12-16, Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
	All double glazed, timber framed	Low-E/argon gap/clear.

SOLAR PANELS FLAT ON ROOF

SK2

SK3

SOLAR PANELS FLAT ON ROOF

SK1

EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale drawings.
This drawing is for Council Approval only, not for construction.

CLIENTS:

Ray + Julie Balcomb

SCALE:

1:100

REVISION:

A

DRAWING:

ROOF PLAN

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

DATE:

March 2021

DRAWING No:

S4.55.05



s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53m ³ Spa max vol 6kL	
Hot Water & Ail. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm,	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Windows 1-11 & 15-27, 28,29, 30-35, All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14, All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27, Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16, Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed	Low-E/argon gap/clear.

Sandstone Cladding



BOUNDARY

New roof over existing Garage.

7200mm height line
at south corner

line of approved DA in green

skylight over stairs

same ridge height as approved DA
and existing house

8500mm height
at East Elevation

wall height + roof allowance
building envelope

6850mm wall height line

1900 Sill 1900mm from
First Floor level

existing house shown dotted
in blue

sliding screen doc

Verandah same setback as approved DA.

43 McKell St
Birchgrove
ph: 0425 249 804

Measurements in mm unless otherwise noted.

Use Figured dimensions. Do not scale drawings.

This drawing is for Council Approval only, not for construction.

PROPERTY: 83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

DATE: March 2021

DRAWING No.: **S4.55.20a**



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0177

H

EXISTING END OF GARAGE

EXISTING GARAGE SETBACK

BOUNDARY

7200mm height line
at south corner

line of approved DA

8500mm height line
at East Elevation

6850mm wall height line

wall height + roof allowance
building envelope

B

APPROVED DA SETBACK

A

APPROVED DA SETBACK

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL.	
Hot Water & Aft. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm.	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14. All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27. Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16. Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed	Low-E/argon gap/clear.

MATERIALS KEY:



Weatherboards



Brick Walls



Metal Roof



Sandstone Cladding

RL:30.62
Max Ridge height
Existing + Proposed

RL:27.10
First Floor FFL 2

RL:26.98
First Floor FFL 2

RL:25.2
Garage EX FFL

RL:23.94
Ground Floor EX FFL 3

RL:23.70
Ground Floor FFL 2

RL:23.32
Ground Floor FFL 1

RL:22.5
New lawn level

EXISTING GROUND LINE WITHIN NO 81

Existing Boundary wall to be retained

Sill 1900mm from
First Floor level

SK3

skylight over stairs

same ridge height as approved DA
and existing house

existing house shown dotted
in blue

B

S

EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale drawings.
This drawing is for Council Approval only, not for construction.

CLIENTS:

Ray + Julie Balcomb

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

REVISION: A

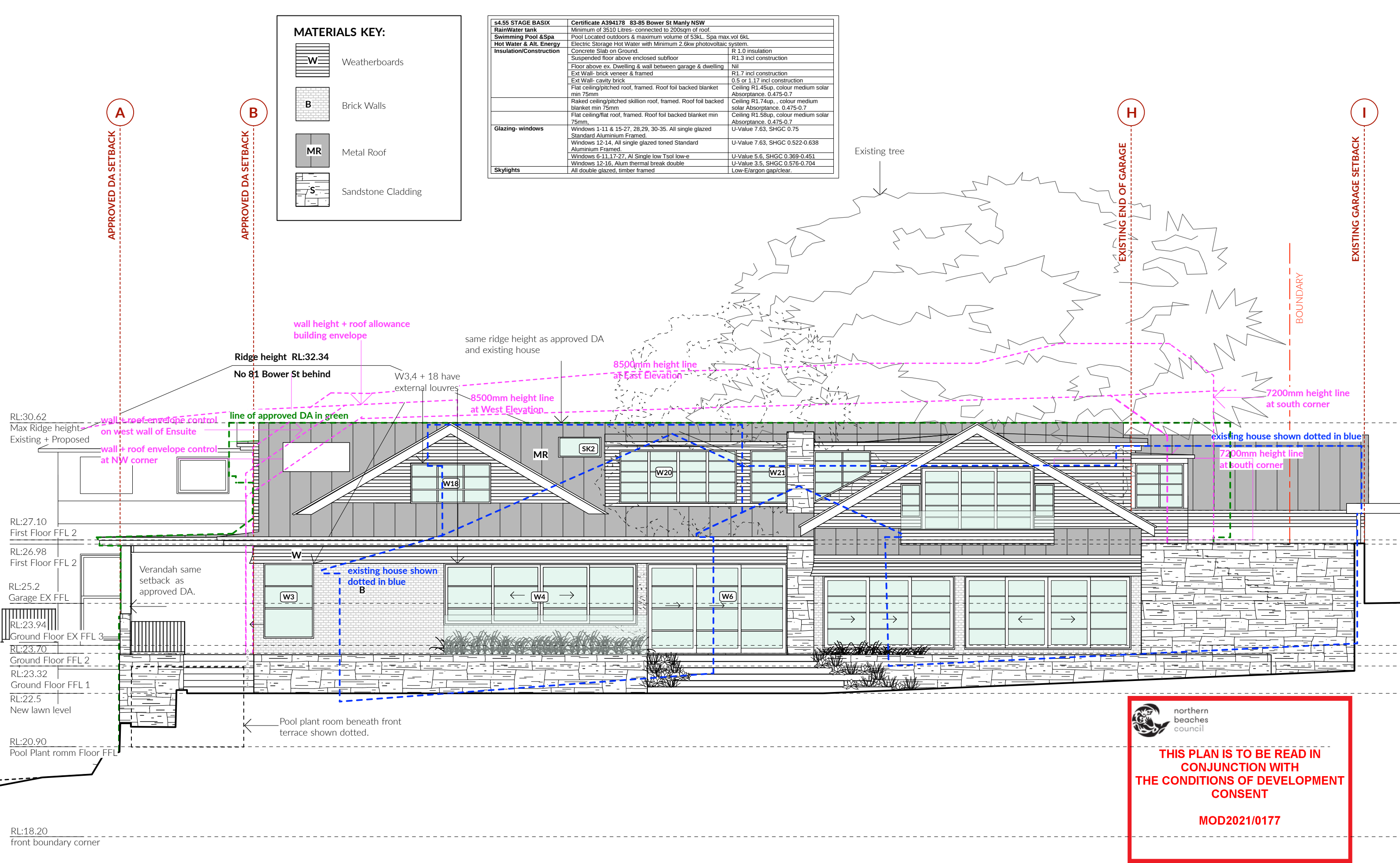
DATE: March 2021

DRAWING:

EAST ELEVATION
including boundary wall

DRAWING No.:

S4.55.20b



EVANS AND GREEN 43 McKell St Birchgrove ph: 0425 249 804	NOTES Measurements in mm unless otherwise noted. Use Figured dimensions. Do not scale drawings. This drawing is for Council Approval only, not for construction.	CLIENTS: Ray + Julie Balcomb PROPERTY: 83-85 Bower Street MANLY, LOT 76 + 77 DP 8075	SCALE: 1:100	REVISION: A DATE: March 2021	DRAWING: WEST ELEVATION DRAWING No: S4.55.21
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s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL	
Hot Water & Ait. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm.	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14. All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27. Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16. Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed	Low-E/argon gap/clear.

MATERIALS KEY:

W

Weatherboards

B

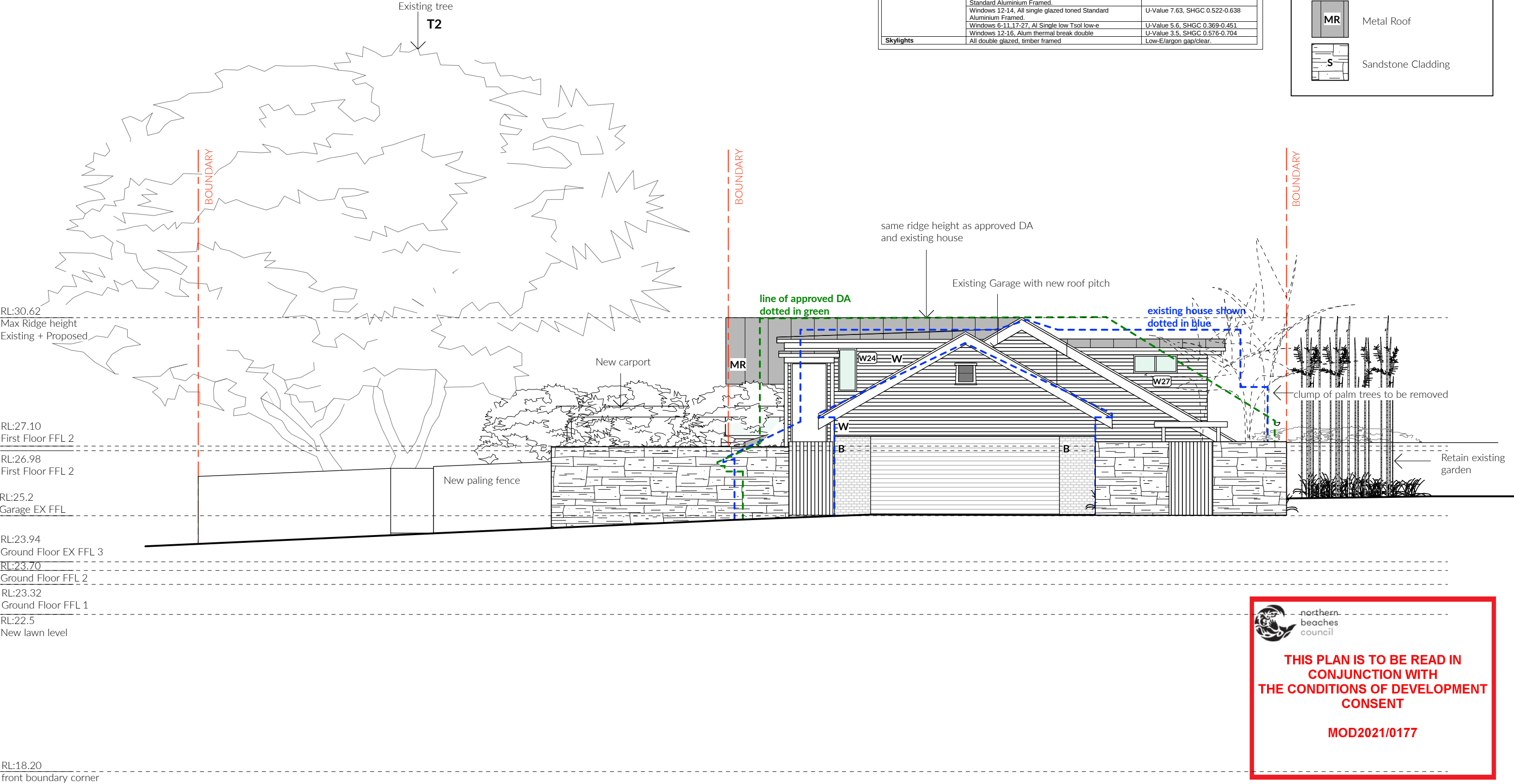
Brick Walls

MR

Metal Roof

S

Sandstone Cladding



EVANS AND GREEN 43 McKell St Birchgrove ph: 0425 249 804	NOTES Measurements in mm unless otherwise noted. Use Figured dimensions. Do not scale drawings. This drawing is for Council Approval only, not for construction.	CLIENTS: Ray + Julie Balcomb PROPERTY: 83-85 Bower Street MANLY, LOT 76 + 77 DP 8075	SCALE: 1:100	REVISION: A DATE: March 2021	DRAWING: SOUTH ELEVATION Street DRAWING No.: S4.55.22
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W

Weatherboards

B

Brick Walls

MR

Metal Roof

S

Sandstone Cladding



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0177

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL.	
Hot Water & Ait. Energy Insulation/Construction	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm,	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14, All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27, Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
Skylights	Windows 12-16, Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
	All double glazed, timber framed	Low-E/argon gap/clear.

RL:30.62
Max Ridge height
Existing + Proposed

RL:27.10
First Floor FFL 2

RL:26.98
First Floor FFL 2

RL:25.2
Garage EX FFL

RL:23.94
Ground Floor EX FFL 3

RL:23.70
Ground Floor FFL 2

RL:23.32
Ground Floor FFL 1

RL:22.5
New lawn level

RL:21.5
New retaining wall level

RL:20.90
Pool Plant room Floor FFL

RL:18.20
front boundary corner

NO 81 BOWER ST

NO 2 MONTPELIER PLACE

NO 1 MONTPELIER PLACE

Existing tree
T2

BOUNDARY

BOUNDARY

BOUNDARY

same ridge height as approved DA
and existing house

Allowable Building Envelope based on
max permissible wall height of 6.85m

8500mm height line
at North face of Living Room

line of approved DA in green

Allowable Building Envelope at ridge line over Bed 1

Allowable Building Envelope at northern corner
RL: 28.89 Balcony - No 1 Montpelier Place

existing house shown dotted in blue

required setback
of Ground Floor

1740

EXISTING GROUND LINE

Trees to be removed - see

W15

W17

W1

W2

MR

W

B

EVANS AND GREEN
43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.

Use Figured dimensions. Do not scale off drawings.

This drawing is for Council Approval only, not for construction.

CLIENTS: Ray + Julie Balcomb

PROPERTY: 83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

REVISION: A

DATE: March 2021

DRAWING: NORTH ELEVATION

DRAWING No: **S4.55.23**

MATERIALS KEY:



Weatherboards



Brick Walls

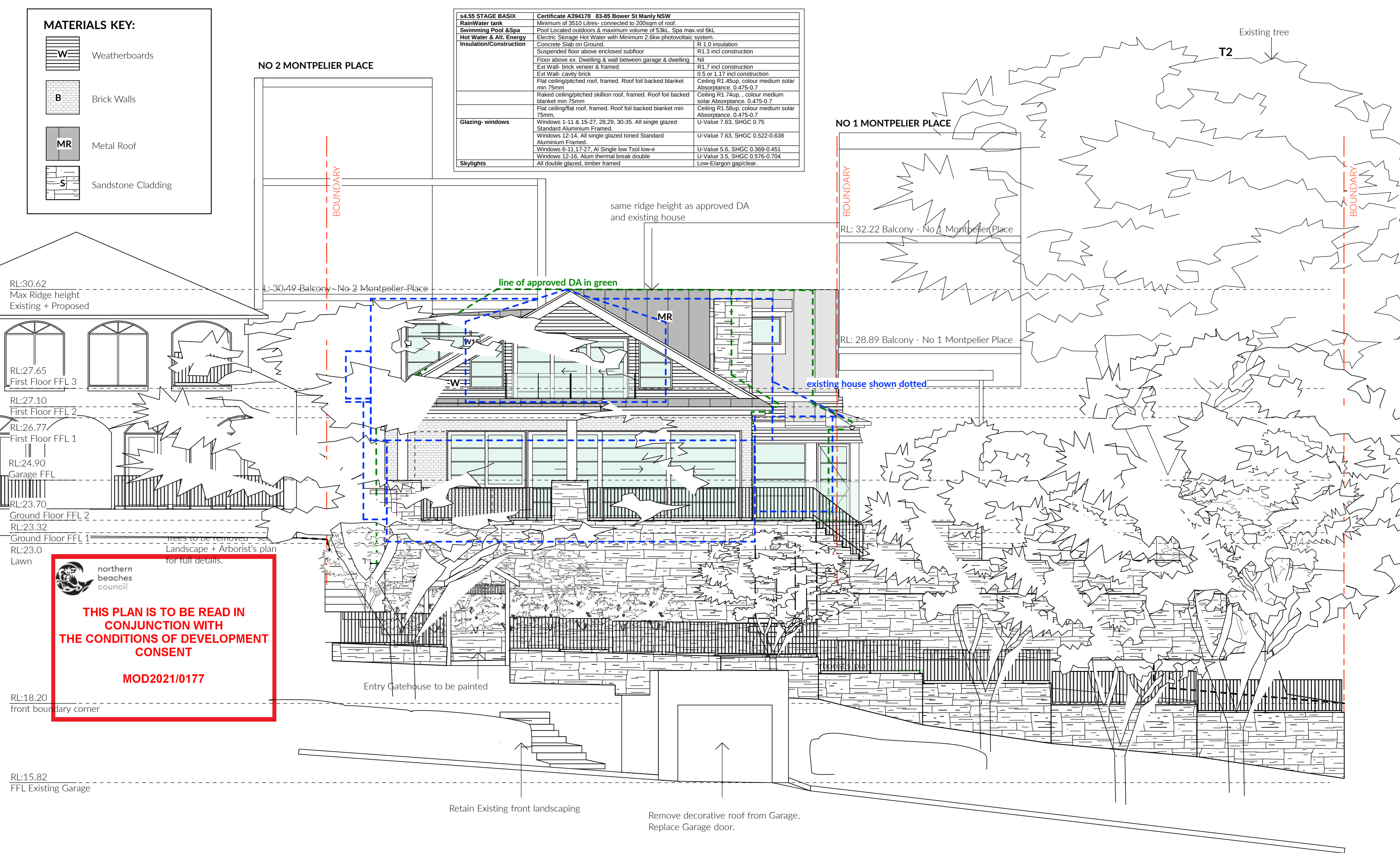


Metal Roof



Sandstone Cladding

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL.	
Hot Water & Alt. Energy Insulation/Construction	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R 1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm,	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	Windows 1-11 & 15-27, 28-29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14, All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27, Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16, Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed	Low-E/argon gap/clear.





THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0177

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL	
Hot Water & Alt. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm.	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
	U-Value 7.63, SHGC 0.75	
Glazing- windows	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 12-14. All single glazed toned Standard Aluminium Framed.	U-Value 5.6, SHGC 0.369-0.451
	Windows 6-11,17-27. Al Single low Tsol low-e	U-Value 3.5, SHGC 0.576-0.704
	Windows 12-16. Alum thermal break double	Low-E/argon gap/clear.
	Skylights	All double glazed, timber framed

MATERIALS KEY:



Weatherboards



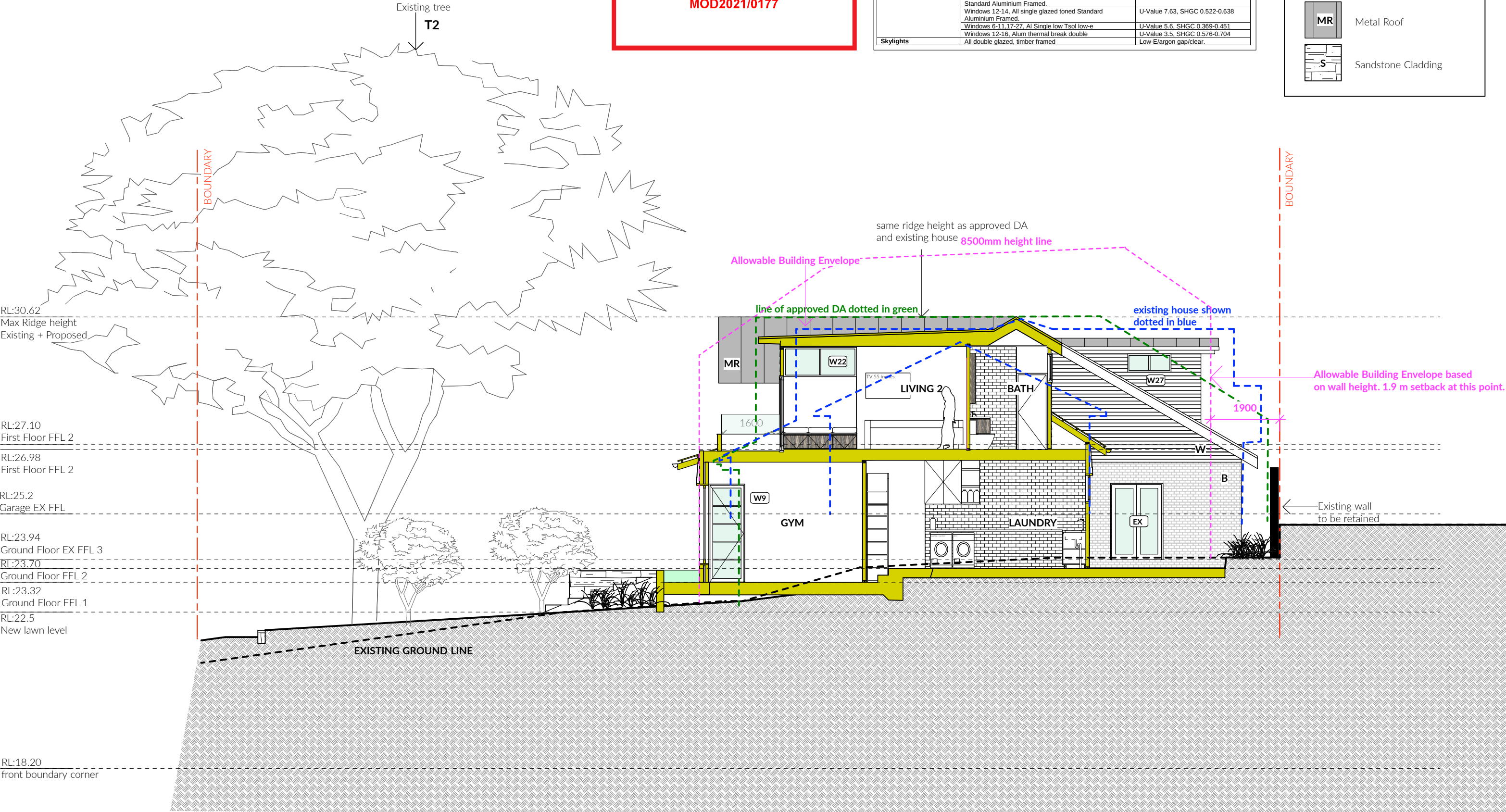
Brick Walls



Metal Roof



Sandstone Cladding



EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale drawings.
This drawing is for Council Approval only, not for construction.

CLIENTS:

Ray + Julie Balcomb

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:100

REVISION: A

DATE: March 2021

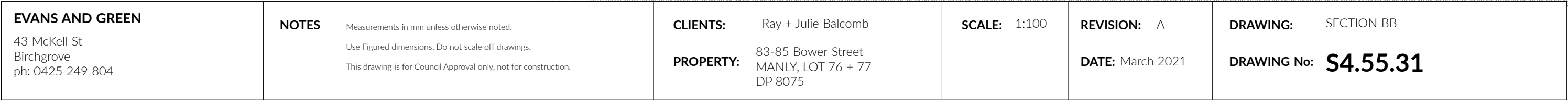
DRAWING: SECTION AA

DRAWING No: S4.55.30



4.455 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sgm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL	
Hot Water & Alt. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorbance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, , colour medium solar Absorbance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.58up, colour medium solar Absorbance. 0.475-0.7
Glazing- windows	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14, All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27, All Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16, Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
Skylights	All double glazed, timber framed	Low-E/argon gap/clear.

The image displays four distinct wall textures arranged vertically. Each texture is shown in a square frame with a corresponding label to its right. The textures are: Weatherboards (horizontal planks), Brick Walls (brick pattern), Metal Roof (corrugated metal), and Sandstone Cladding (sandstone blocks).





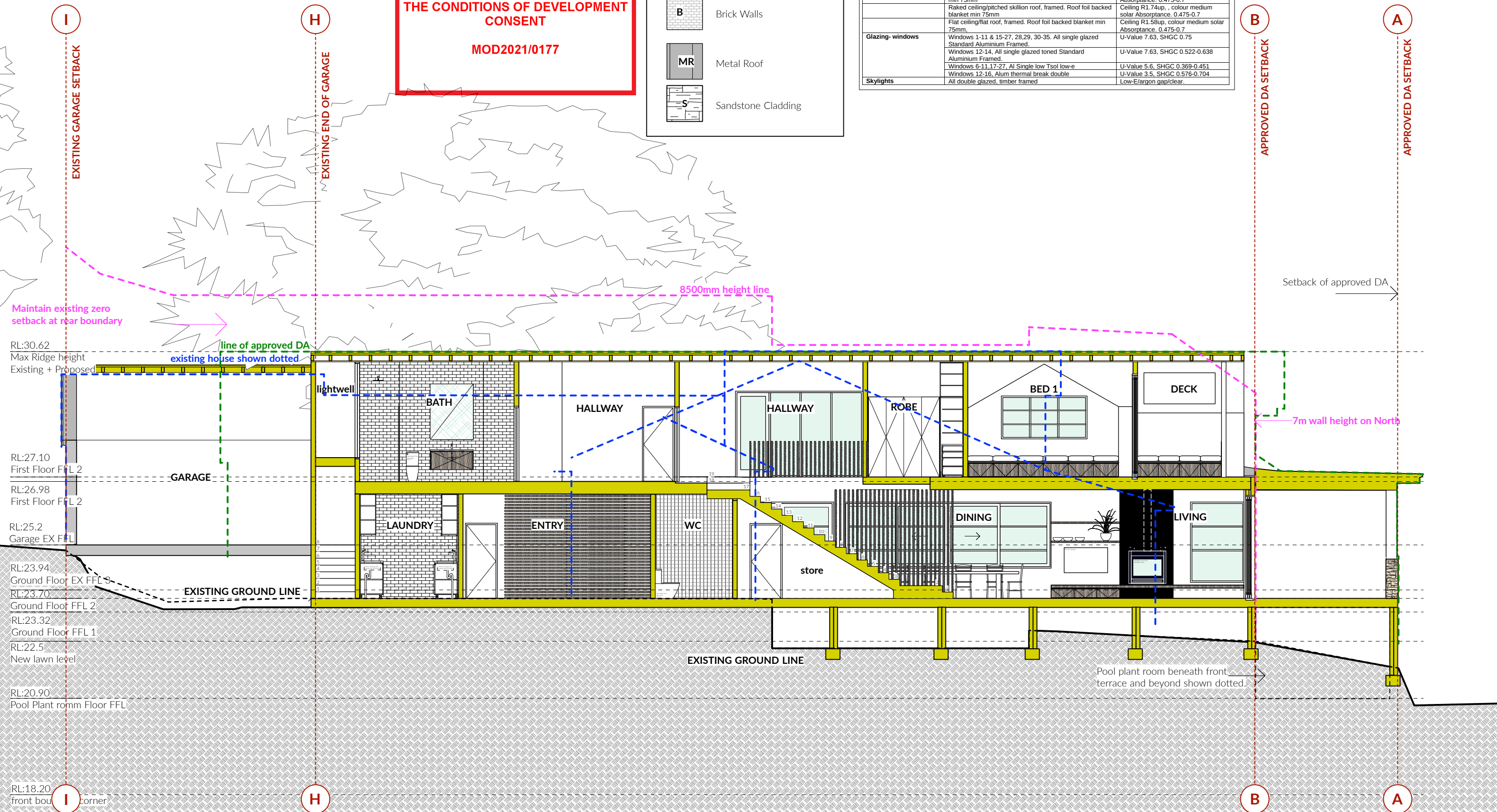
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0177

MATERIALS KEY:

-  Weatherboards
-  Brick Walls
-  Metal Roof
-  Sandstone Cladding

s4.55 STAGE BASIX	Certificate A394178 83-85 Bower St Manly NSW	
RainWater tank	Minimum of 3510 Litres- connected to 200sqm of roof.	
Swimming Pool & Spa	Pool Located outdoors & maximum volume of 53kL. Spa max.vol 6kL.	
Hot Water & Alt. Energy	Electric Storage Hot Water with Minimum 2.6kw photovoltaic system.	
Insulation/Construction	Concrete Slab on Ground.	R 1.0 insulation
	Suspended floor above enclosed subfloor	R1.3 incl construction
	Floor above ex. Dwelling & wall between garage & dwelling	Nil
	Ext Wall- brick veneer & framed	R1.7 incl construction
	Ext Wall- cavity brick	0.5 or 1.17 incl construction
	Flat ceiling/pitched roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.45up, colour medium solar Absorptance. 0.475-0.7
	Raked ceiling/pitched skillion roof, framed. Roof foil backed blanket min 75mm	Ceiling R1.74up, colour medium solar Absorptance. 0.475-0.7
	Flat ceiling/flat roof, framed. Roof foil backed blanket min 75mm.	Ceiling R1.58up, colour medium solar Absorptance. 0.475-0.7
Glazing- windows	Windows 1-11 & 15-27, 28,29, 30-35. All single glazed Standard Aluminium Framed.	U-Value 7.63, SHGC 0.75
	Windows 12-14. All single glazed toned Standard Aluminium Framed.	U-Value 7.63, SHGC 0.522-0.638
	Windows 6-11,17-27. Al Single low Tsol low-e	U-Value 5.6, SHGC 0.369-0.451
	Windows 12-16. Alum thermal break double	U-Value 3.5, SHGC 0.576-0.704
	Skylights	Low-E/argon gap/clear.



EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

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CLIENTS:

Ray + Julie Balcomb

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

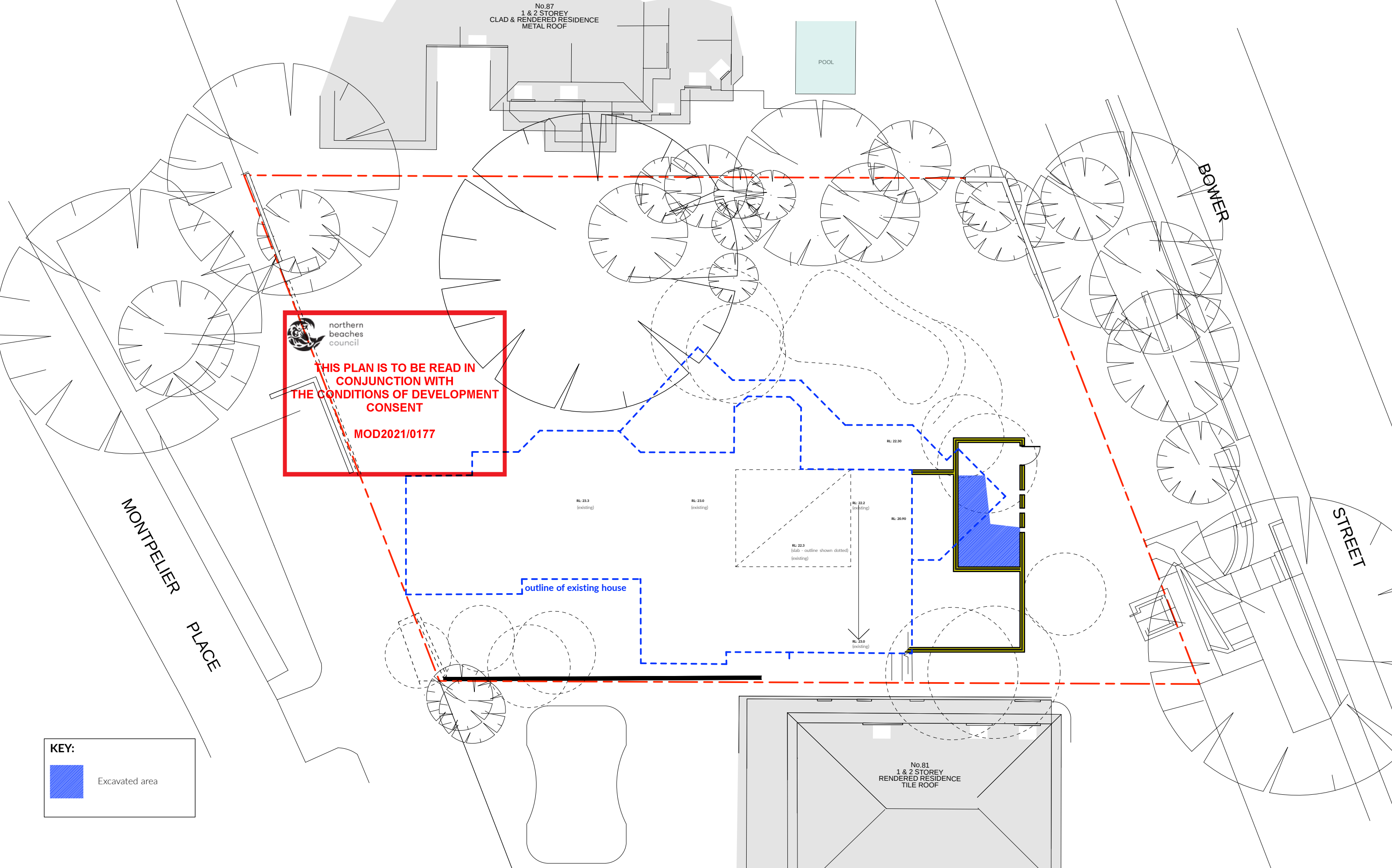
SCALE: 1:100

REVISION: A

DATE: March 2021

DRAWING: SECTION CC

DRAWING No: **S4.55.32**



KEY:

 Excavated area

EVANS AND GREEN 43 McKell St Birchgrove ph: 0425 249 804	NOTES Measurements in mm unless otherwise noted. Use Figured dimensions. Do not scale off drawings. This drawing is for Council Approval only, not for construction.	CLIENTS: Ray + Julie Balcomb PROPERTY: 83-85 Bower Street MANLY, LOT 76 + 77 DP 8075	SCALE: 1:200	REVISION: A DATE: March 2021	DRAWING: Excavation PLAN DRAWING No: S4.55.51
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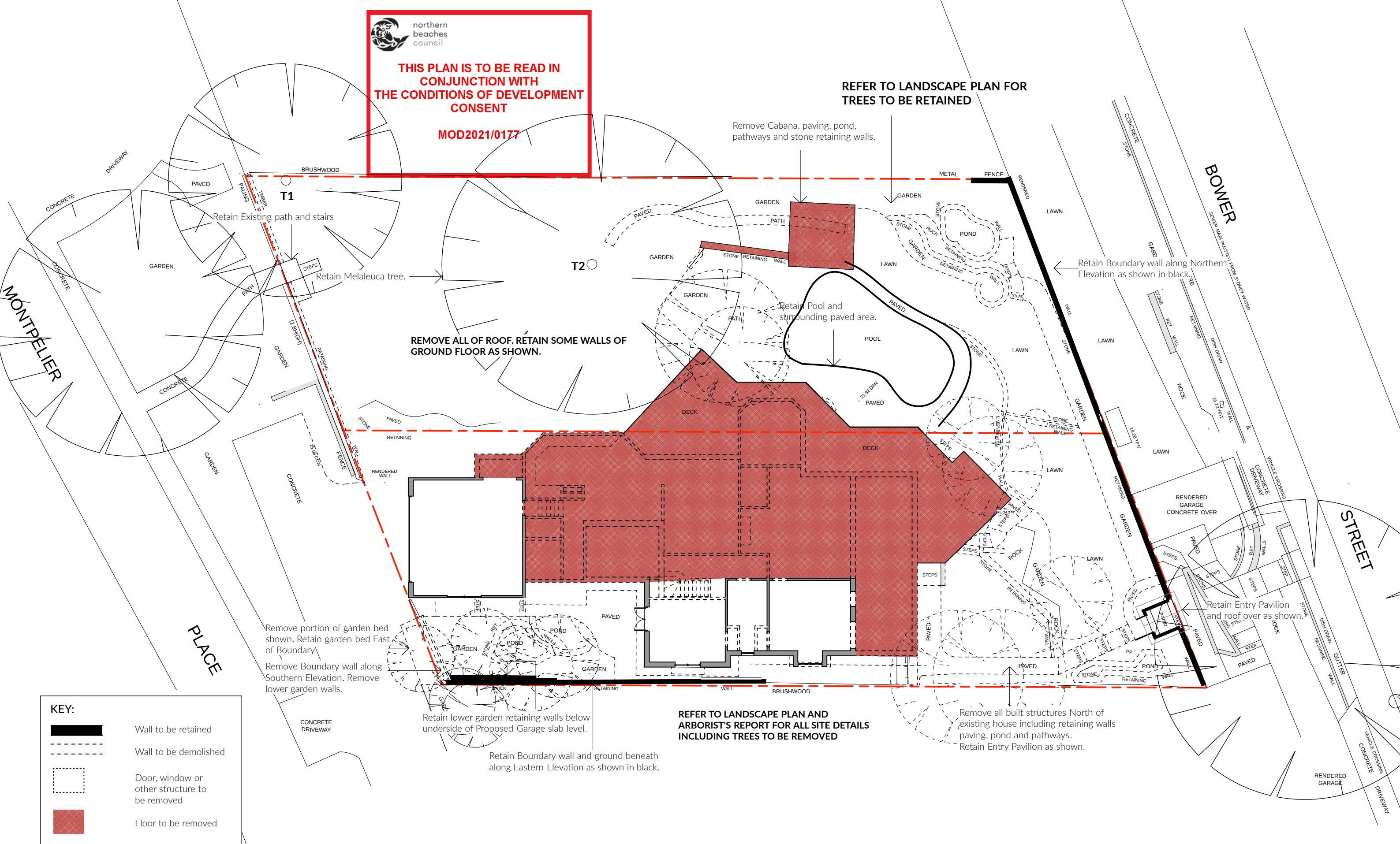


northern
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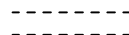
**REFER TO LANDSCAPE PLAN FOR
TREES TO BE RETAINED**



KEY:



Wall to be retained



Wall to be demolished



Door, window or
other structure to
be removed



Floor to be removed

EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

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CLIENTS:

Ray + Julie Balcomb

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:200

REVISION: A

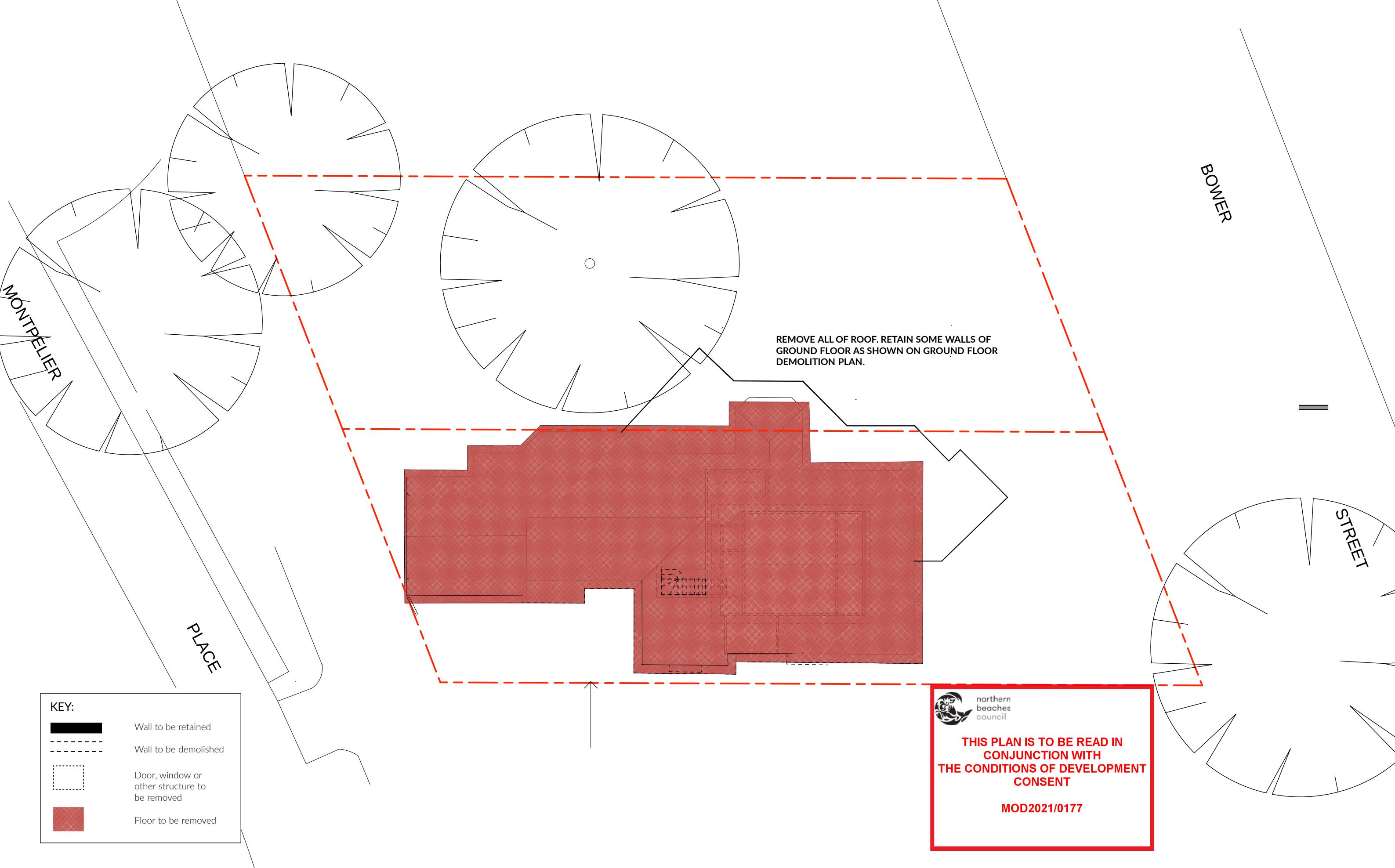
DATE: March 2021

DRAWING:

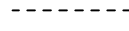
DEMOLITION PLAN
Ground Floor

DRAWING No:

S4.55.52



KEY:

-  Wall to be retained
-  Wall to be demolished
-  Door, window or other structure to be removed
-  Floor to be removed



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**THIS PLAN IS TO BE READ IN
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EVANS AND GREEN

43 McKell St
Birchgrove
ph: 0425 249 804

NOTES

Measurements in mm unless otherwise noted.
Use Figured dimensions. Do not scale off drawings.
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CLIENTS:

Ray + Julie Balcomb

PROPERTY:

83-85 Bower Street
MANLY, LOT 76 + 77
DP 8075

SCALE: 1:200

REVISION: A

DATE: March 2021

DRAWING:

DEMOLITION PLAN
First Plan

DRAWING No:

S4.55.53



stone cladding



brick walls at base



Metal roofing



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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CONSENT**

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Black steel balustrade



Black metal doors and windows



Black horizontal timber board cladding

EVANS AND GREEN 43 McKell St Birchgrove ph: 0425 249 804	NOTES Measurements in mm unless otherwise noted. Use Figured dimensions. Do not scale off drawings. This drawing is for Council Approval only, not for construction.	CLIENTS: Ray + Julie Balcomb PROPERTY: 83-85 Bower Street MANLY, LOT 76 + 77 DP 8075	SCALE:	REVISION: A DATE: March 2021	DRAWING: FINISHES DRAWING No: S4.55.56
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