

SS Certifications

Simon Trives

ABN 34 024 311 884

Telephone 02 9676 2370

Facsimile 02 9676 2594

PO BOX 2

DOONSIDE NSW 2767

Complying Development Certificate

COMPLYING DEVELOPMENT CERTIFICATE NUMBER

09/4089

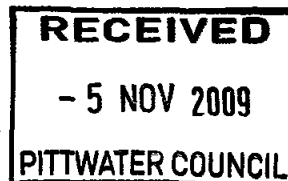
Issued under the Environmental Planning & Assessment Act 1976
Sections 75 to 77 & State Environmental Planning Policy (Exempt & Complying
Development Codes) 2008

COUNCIL:

Pittwater Council

APPLICANT

Name S Jackson
Address 26 Sydney Rd, Warriewood
Contact no (telephone/fax) 0415 515 469 / 9944 6284



OWNER

Name S Jackson
Address 26 Sydney Rd. Warriewood

SUBJECT LAND

Address 26 Sydney Rd, Warriewood
Lot 120 DP/MPS 30836

REC. 263242
28/10/09
\$30.00

PROPOSED COMPLYING DEVELOPMENT

Description Swimming Pool

Classification 10b

BUILDER or OWNER/BUILDER

Name Blue Haven Pools & Spas Pty Ltd

Contractor Licence No or 5367C

Owner Builder Permit No

\$ VALUE OF WORK

Swimming Pool \$40.000 00

DATE APPLICATION RECEIVED

Date Received 23/10/09

DETERMINATION

Decision Approved

Date of Decision 23/10/09

Determination has been assessed and approved under the Environmental Planning Instrument & is accompanied with a Schedule of Conditions

ATTACHEMENTS

Plans prepared by Blue Haven Pools

DATE OF LAPSE

Five (5) years from Commencement Date 23/10/14

LSL Required Yes

PLANS AND SPECIFICATIONS

APPROVED/REFUSED

List plan no(s) and specifications

Plans prepared by Blue Haven Pools

ACCREDITATION BODY

PlanningNSW. 20 Lee Street, Sydney 2000

CERTIFYING AUTHORITY

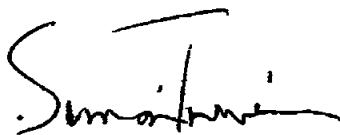
Name of Certifying Authority SS Certifications

Name of Accredited Certifier Simon Trives

Accreditation No BPB0414

Contact No: (02) 9676 2370

Address: PO Box 2 Doonside NSW 2767



SIGNED

DATED

23/10/09

INFORMATION ON REQUIRED INSPECTIONS

Please find your Complying Development Certificate No 09/4089 enclosed for
26 Sydney Rd, Warriewood

We will be required to carry out the following critical stage inspections

- Commencement/Pool Steel
- Pool Fence
- Final

TO BOOK AN INSPECTION CALL US ON 02 9676 2370

*****PLEASE BOOK INSPECTIONS BEFORE 3:00PM THE DAY
PRIOR TO THE INSPECTION*****

Contact Personnel

To check the status of your job contact:

Simon Trives

For technical enquiries contact:

Simon Trives

**NOTICE OF THE ISSUE OF A
COMPLYING DEVELOPMENT CERTIFICATE**

This is to notify you that a Complying Development Certificate has been issued with respect to a proposed development at a property near to you. Particulars relating to the Complying Development Certificate are set out below.

The proposed development may now be commenced without further notice to you.

1 Development Address

Street and Number **26 SYDNEY ROAD**

Town/City **WARRIEWOOD**

Postcode **2102**

Formal Particulars of Title

LOT 120

DP 30836

2. Name of Applicant

S. JACKSON

3 Description of Development

SWIMMING POOL

4. Council Area:

PITTWATER

5 Details of Complying Development Certificate

(a) Issued by* **SIMON TRIVES**

(b) Accreditation Number** **BPB 0414**

(c) Complying Development Certificate No **CA/4089**

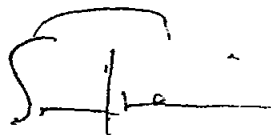
(d) Date of Certificate **23/10/09**

(e) Date on which the certificate lapses **23/10/14**

A copy of the determination of the application for the complying development certificate, including any related plans and specifications, are available for inspection at the Council's principal office, free of charge, during the Council's ordinary office hours.

This notice is issued pursuant to s 85 (1) (c) of the Environmental Planning and Assessment Act 1979 and Clause 130 (5) of the Environmental Planning and Assessment Regulation 2000.

(Signed)



Date

23/10/09

* Insert name of certifying authority

** Insert accreditation number if the certifying authority is an accredited certifier

Division 3 Conditions applying to complying development certificate under this code

Note Complying development must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part

Note A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan

Subdivision 1 Conditions applying before works commence

3 37 Protection of adjoining areas

- (1) A temporary hoarding, fence or awning must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works
- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
 - (b) could cause damage to adjoining lands by falling objects, or
 - (c) involve the enclosure of a public place or part of a public place

-
- (2) A temporary fence must be covered in cyclone wire mesh if it adjoins or is on a public place
 - (3) A temporary hoarding, fence or awning must not be erected on public land or a road unless the relevant authority has approved of the works
Note Approval in relation to public land may be granted under the *Local Government Act 1993*. Approval in relation to a road may be granted under the *Roads Act 1993*.

3.38 Toilet facilities

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site
- (2) Each toilet must
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - (c) be a temporary chemical closet approved under the *Local Government Act 1993*

3 39 Garbage receptacle

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers

Subdivision 2 Conditions applying during the works

Note The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise

3 40 Hours

Construction or demolition may only be carried out between 7 00 am and 5 00 pm on Monday to Saturday and reconstruction or demolition is to be carried out at any time on a Sunday or a public holiday

3 41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates

3 42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped

3.43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held
- (2) Demolition materials and waste materials must be disposed of at a waste management facility
- (3) The work site must be left clear of waste and debris at the completion of the works

Subdivision 3 Construction requirements

3.44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained

3.45 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.

CONSTRUCTION / COMPLYING DEVELOPMENT CERTIFICATE APPLICATION FORM

Principal Certifying Authority (PCA) Agreement

Issued under the Environmental Planning and Assessment Act 1979

Privacy Policy – The information you provide in this form will enable your application to be assessed by the Certifying Authority under the Environmental Planning and Assessment Act 1979. If the information is not to be provided, the application may not be accepted. The application can potentially be viewed by members of the public. Please contact Simon Trives if the information you have provided in the application is incorrect or required modification.

☐ Construction Certificate	☒ Complying Development Certificate
Development Application No _____	
Date DA Approved _____	☐ PCA Only

APPLICANT

Name/s S JACKSON
Postal Address 26 SYDNEY RD, WARRIEWOOD
Ph/Fax Mobile 0415 515 469 | 9944 6284

OWNERS DETAILS ☒ (If same as applicant, tick box)

Name/s _____
Postal Address _____
Ph/Fax Mobile _____

LAND TO BE DEVELOPED

Address 26 SYDNEY ROAD, WARRIEWOOD Gross Site Area 696 8m²
Lot No 120 DP/MPS 30836 Council Area PITTWATER

DETAILS OF DEVELOPMENT

Description of work Swimming Pool
Estimated cost of work \$40,000.00 Class of work 10b

DETAILS OF BUILDER

Builders Name Blue Haven Pools & Spas Builders Licence Number 5367C
Builders Address 68 Hume Highway, Lansvale 2166 Builders Phone Number 9728 0444

If you are not using a licensed builder please complete the next three questions where applicable

- 1 Are you an owner builder? Y N (please circle)
- 2 If yes, Please provide owner builder permit number _____
- 3 If no, please sign the following declaration
I/we declare that the reasonable market cost of the labour and materials to be used is less than \$5000

Signed by ALL owners _____

OWNERS DECLARATION

(Please tick)

- ☐ As owners of the above mentioned property we consent to this application
- ☐ As owners of the above mentioned property, we wish to appoint Simon Trives as the Principal Certifying Authority (PCA)

Owners Signature/s _____ Date _____

Applicant Signature/s _____ Date _____
(If different from owner/s)

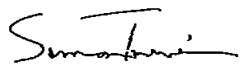
By consenting to and signing this application form I am agreeing to pay all associated fees and charges including those incurred by SS Certifications on my behalf

CRITICAL STAGE INSPECTIONS

The owner or the principal contractor must contact our office 48 hours prior to the following stages indicated below to arrange an inspection

BCA Class of Building	PCA to tick if inspection required	Critical Stages
☐ Class 1 ☒ Class 10	☒ ☐ ☒ ☐ ☐ ☐ ☒	1 Commencement of building work 2 Prior to placement of footings 3 Prior to pouring reinforced concrete building element 4 Prior to covering any stormwater drainage connections 5 Prior to covering floor, wall and roof framework 6 Prior to covering waterproofing of any wet areas 7 Completion of building work
PCA to state any other inspections when required		
☒ POOL FENCE		
☐		
☐		

DETAILS OF PCA AND NOTICE OF COMMENCEMENT

DA No	Date of Consent
CC No	Date of Consent
CDC No 09/4089	Date of Consent 23 OCT 2009
Commencement date 28/10/09	
Name of PCA	Simon Trives
PCA Accreditation No	BPB 0414
ADDRESS of PCA Unit 9A, 36 Holbeche Rd. Arndell Park NSW 2148 (PO Box 2 Doonside 2767)	
PCA Telephone No 02 9676 2370 PCA Fax No 02 9676 2594	
Accreditation Body PlanningNSW – 20 Lee St, Sydney NSW 2000	
Signature of PCA 	



Certificate of Insurance

Blue Haven Pools and Spas Pty Ltd
68 Hume Highway
LANSDALE NSW 2166
Australia

Builder's Copy
Policy Number: RCW77315640
Date of Issue 30/09/2009
Broker Payment Reference
Builder's Job Number 09T17164

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract of Insurance Complies With: Section 92
Of The: Home Building Act 1989
Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: 29/09/2009
Declared Building Contract Value: \$40,000.00
(Refer policy for indemnity limit)
Carried out By: Blue Haven Pools and Spas Pty Ltd
Trading As:
ABN: 22 050 069 193
Licence Number: 5367C
For: Simon Jackson
In Respect Of: Swimming Pools
At: House Number 26
Sydney road
WARRIEWOOD NSW 2102
Permit Authority: Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

COI00632901

Generated 30/09/2009

Signed for and on behalf of the Insurer

B. J. D.

Insurer: Vero Insurance Limited ABN 48 005 297 807
Vero Warranty is a division of Vero Insurance Limited

LETTER OF CONSENT

OWNERS CONSENT

I/we the owners of the subject property hereby give consent for the lodgement of all relevant applications (i.e. Development Application, Construction Certificate, Complying Development Certificate, Occupation Certificate, Compliance Certificate,) for consideration

I/we also declare if applicable that all documentation presented as part of an application for a Construction Certificate has remained unaltered from that issued with any Development Consent or that any changes have been documented and advised accordingly

PRINCIPAL CERTIFYING AUTHORITY

With reference to this proposed development I/we the owners of the subject property advise of our decision to appoint

☐ Simon Trives ☐ Other (please select by ticking the box) to fulfil the role of Principal Certifying Authority (PCA) as outlined in the Environmental Planning and Assessment Act, 1979 (as amended)

I/we understand that this engagement shall be subject to the Terms and Conditions outlined in the application and the associated Schedule and I/we further understand that the appointed certifier will carry out all mandatory inspections required by the Act during the course of construction along with any others that he/she deems to be necessary and referred to the above mentioned Agreement

I/we also advise that I/we are aware of the conditions attached to any Development Consent (i.e. Local Development Consent or Complying Development Consent) and are aware of our responsibilities in relation to those conditions

I/we also advise that I/we are aware of the conditions attached to any Development Consent (i.e. Development Consent or Complying Development Consent) and are aware of our responsibilities in relation to those conditions

I/we also understand that any condition or other imposed by any relevant approval authority will be an additional cost to the contract price

SIGNATURES

APPLICANT (Customer must sign this section)	
Name (please print)	<i>Simon Trives</i>
Signature	<i>[Signature]</i>
Date	

All current owners of property must sign below

OWNER 1	
Name (please print)	<i>Jazmin Martin</i>
Signature	<i>[Signature]</i>
Date	

OWNER 2	
Name (please print)	
Signature	
Date	

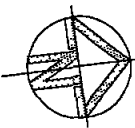
OWNER 3	
Name (please print)	
Signature	
Date	

OWNER 4	
Name (please print)	
Signature	
Date	

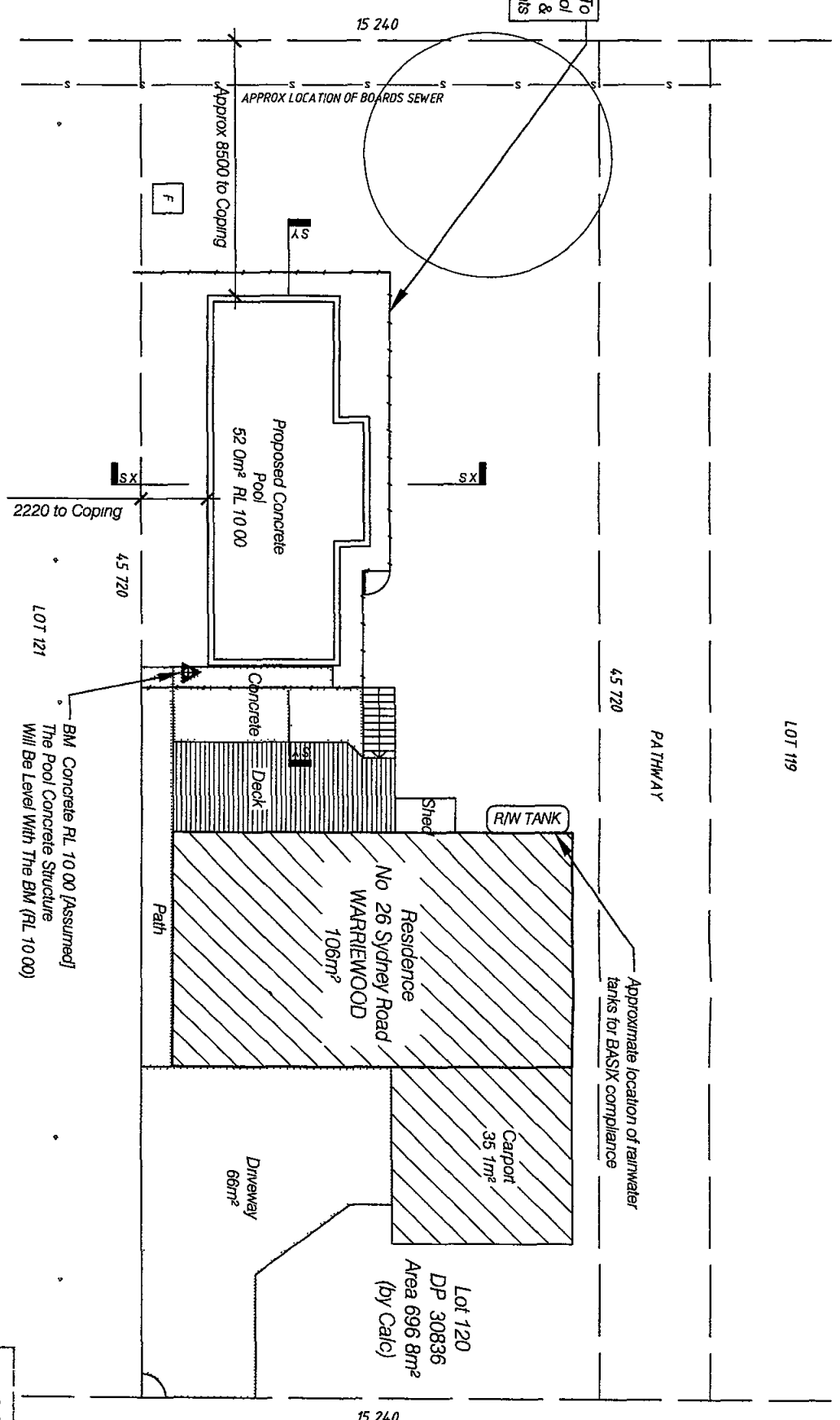
SIGNED CUSTOMER

BUILDER

[Signature]



Enclose Pool Area To
AS1926 Swimming Pool
Fencing Standard &
Councils Requirements



SYDNEY ROAD

SS Certifications
APPROVED
09/4089
Date 23 OCT 2009

Legend

To Be Removed

Existing Spot Heights

Paving

Existing Tree

NOTE: FENCE LOCATIONS HAVE NOT BEEN DETERMINED IN RELATION TO BOUNDARIES

IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK TAKE ALL REQUIRED PRECAUTIONS TO PREVENT DAMAGE TO SERVICES

▲ BM Concrete RL 10.00 [Assumed] The Pool Concrete Structure Will Be Level With The BM (RL 10.00)

F Sound Proof Filter Box

POOL OVERFLOW TO BE PUMPED TO SEWER TO COUNCIL'S & SYDNEY WATER'S REQUIREMENTS

SITE CALCULATIONS

SITE -	696 8m²
PROPOSED SITE COVERAGE	
Residence -	106m²
Driveway -	66m²
Car Port -	35.1m²
Paved Concrete Areas -	30m²
Proposed Pool -	52m²
Proposed Pool Coping -	7m²

PROPOSED SITE COVERAGE
Including Residence, Garage, Carports, Sheds
Not Including Unenclosed Balconies, Decks, Pergolas, Terraces,
Driveways, R/W Tanks attached to House, Swimming Pools)

141 1m² (20.3%)
PROPOSED SOFT LANDSCAPED AREAS
(min 2.5m wide)
FRONT - 82 5m²
REAR - 270 1m²
TOTAL - 332 6m² (47.7%)

SITE PLAN



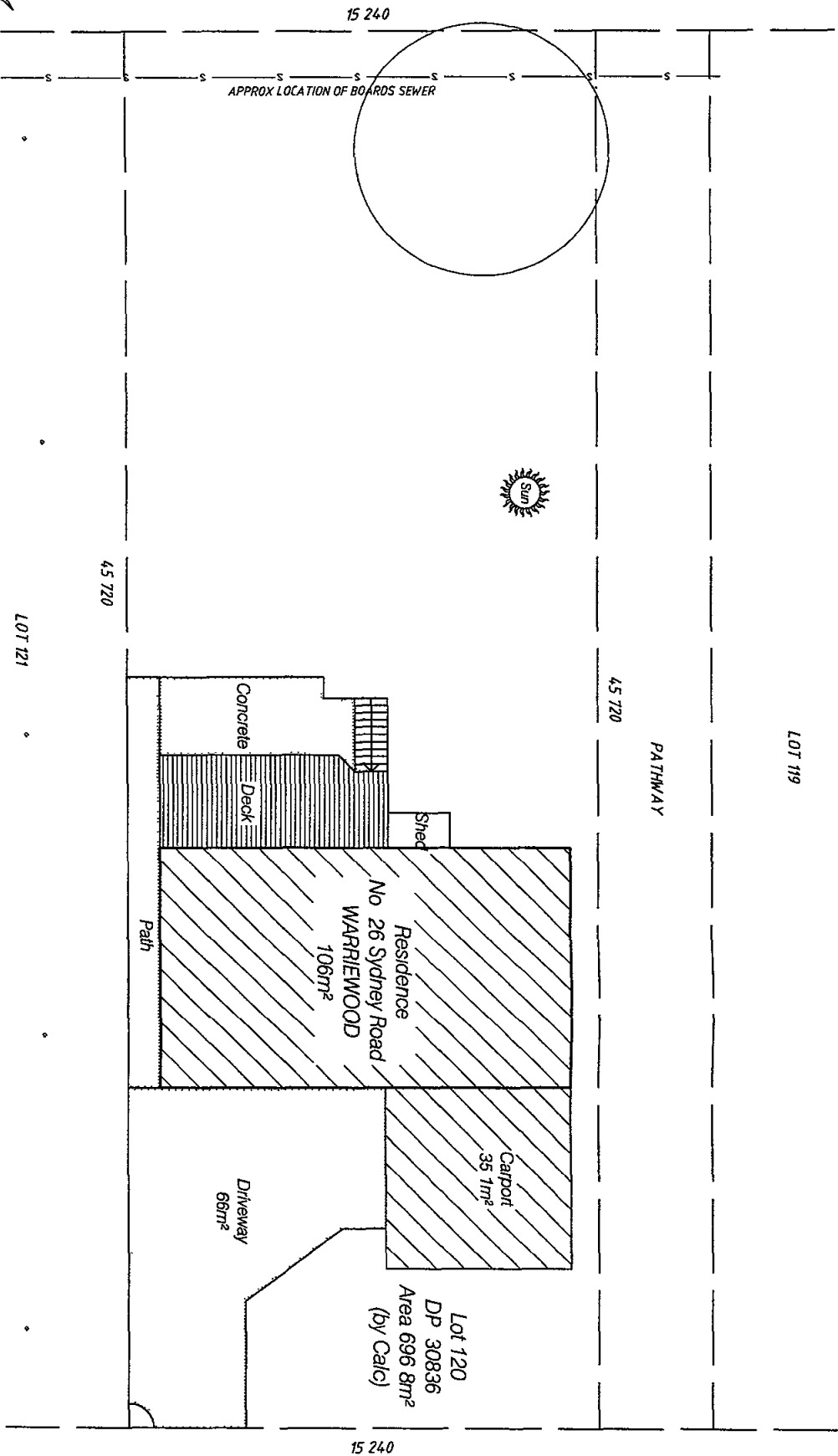
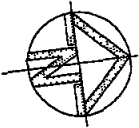
BLUE HAVEN POOLS & SPAS PTY LTD
Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone (02) 9728 0444 Fax (02) 9728 0455

Keighran and Associates Pty Ltd
Consulting Structural and Civil Engineers
APPROVED
BE (Hons), MEngSci, FIEAust, CPEng
Registered NPER 3719 (Structural & Civil)
ABN 25 003 832 291
DATE 14/10/09



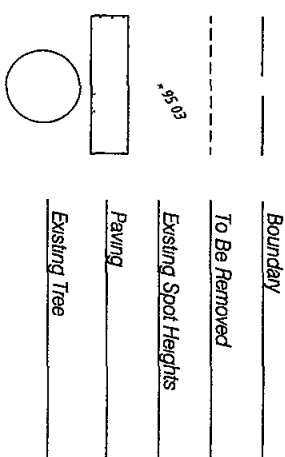
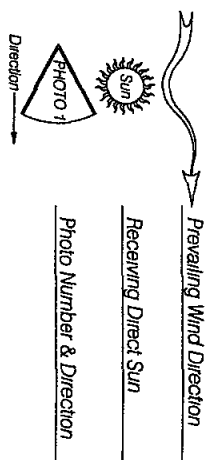
PROPOSED SWIMMING POOL STRUCTURAL DETAILS
FOR S JACKSON
AT 26 Sydney Road, WARRIEWOOD

DATE 14/10/09
DRAWN OL-9110
SHEET 1 OF 7
DRAWING/CONTRACT No
BHP 09T17164



SYDNEY ROAD

Legend



NOTE: FENCE LOCATIONS HAVE NOT BEEN DETERMINED IN RELATION TO BOUNDARIES

SS Certifications
APPROVED
66/CDC 09/4089
Date 23 OCT 2009

SCALE 1:200



SITE ANALYSIS

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone (02) 9728 0444 Fax (02) 9728 0455

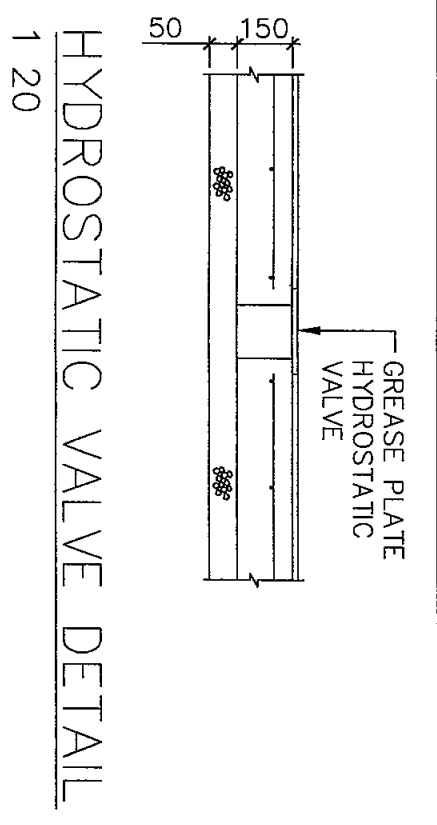
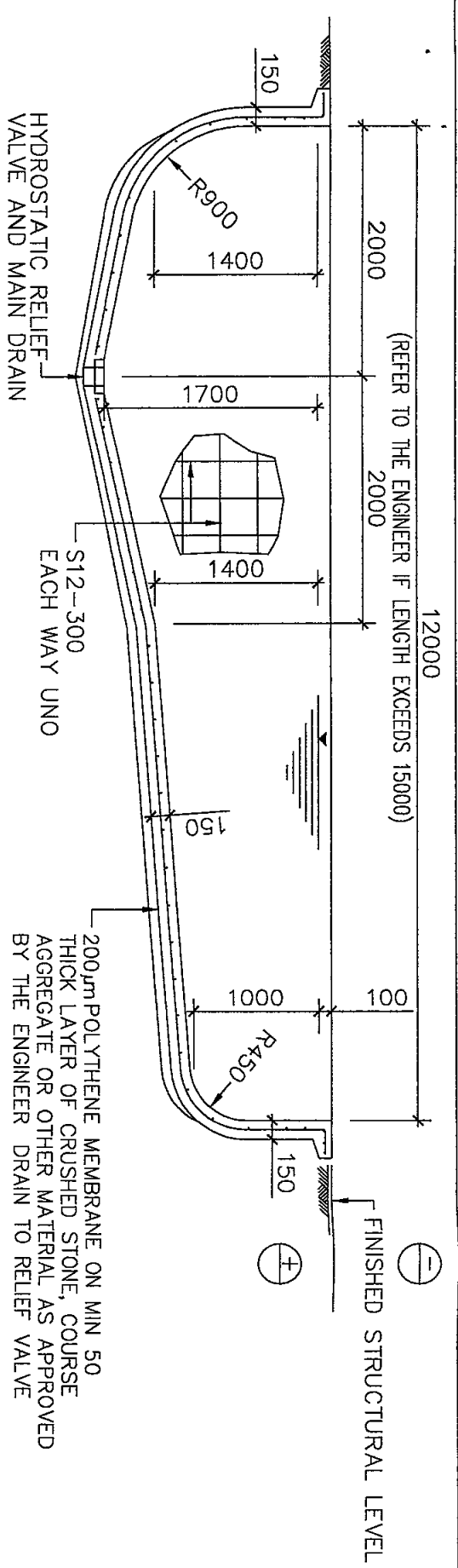


PROPOSED SWIMMING POOL
FOR S JACKSON
AT 26 Sydney Road, WARRIEWOOD

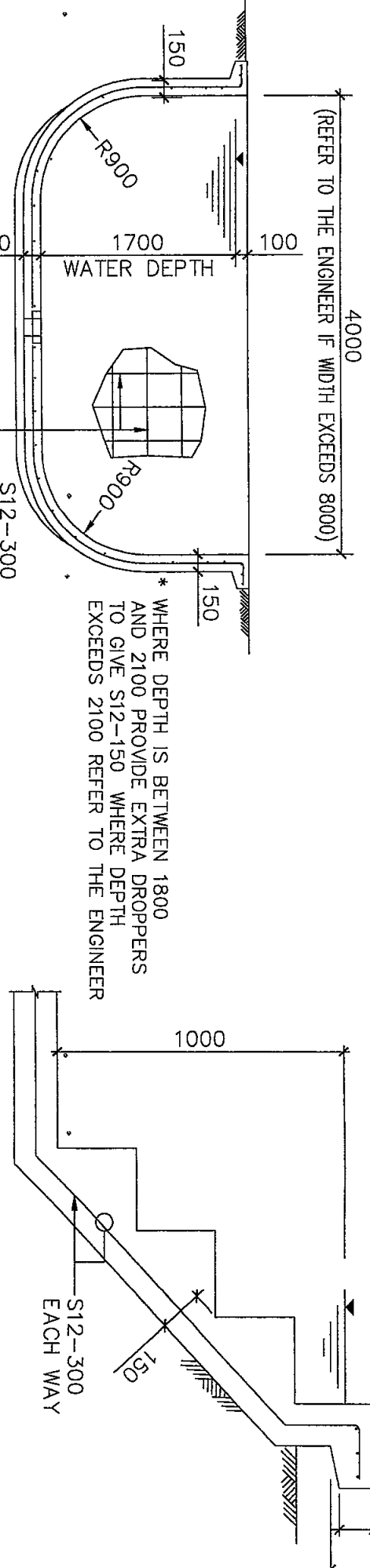
DATE 14/10/09
DRAWN OL-9110

SHEET 2 OF 7

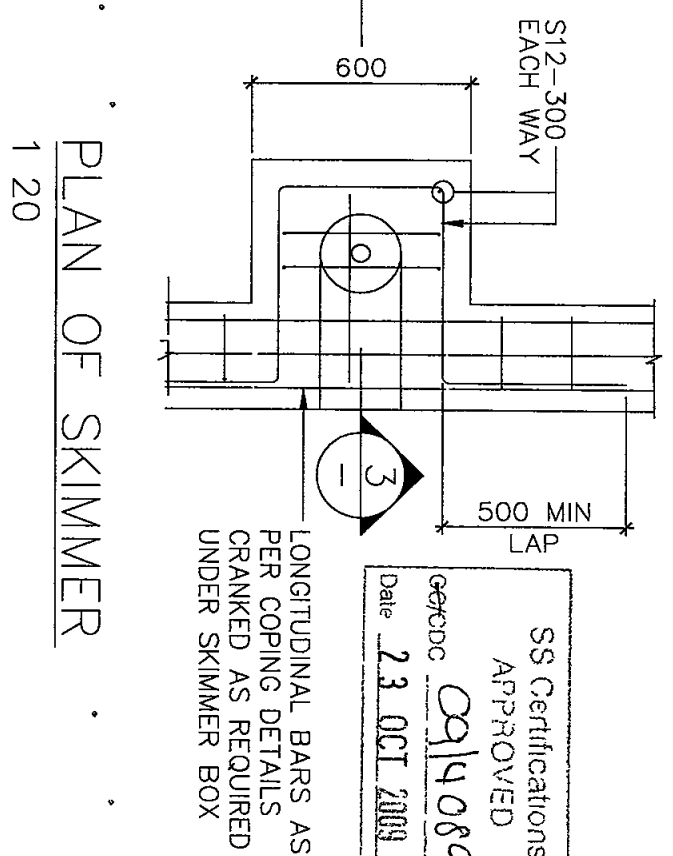
DRAWING/CONTRACT No
BHP 09T17164



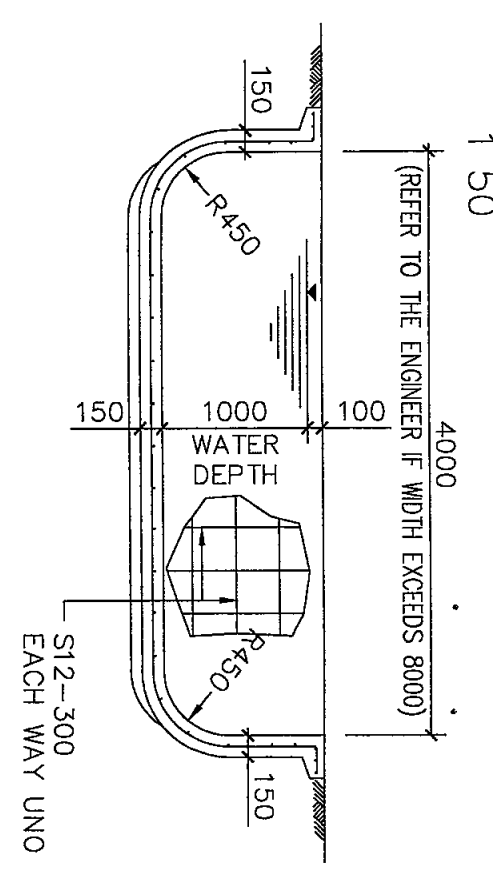
LONGITUDINAL SECTION



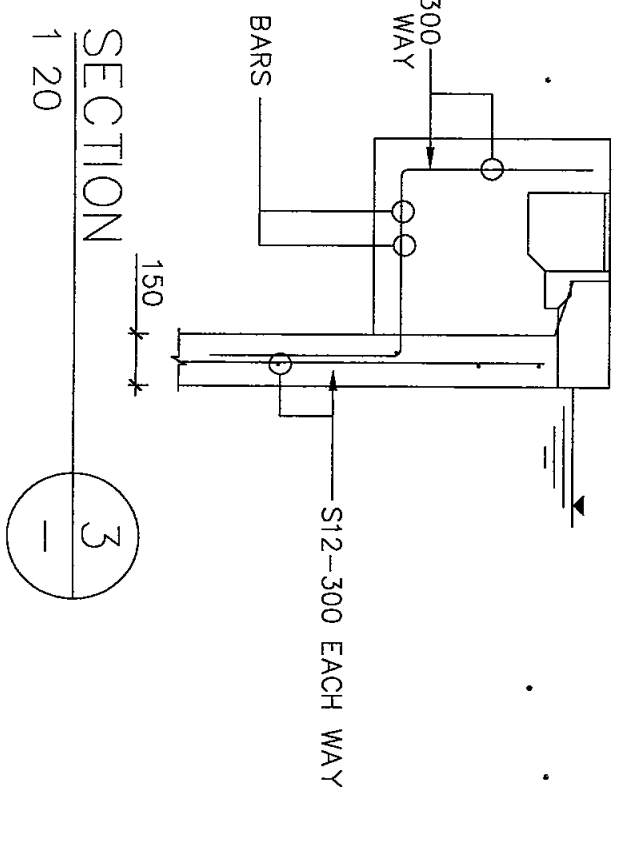
STEPS CAST AGAINST GROUND



DEEP END SECTION



SPA SECTION



BLUE HAVEN POOLS & SPAS PTY LTD

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68 Hume Highway Lansvale NSW 2166
Telephone (02) 9728 0444 Fax (02) 9728 0455

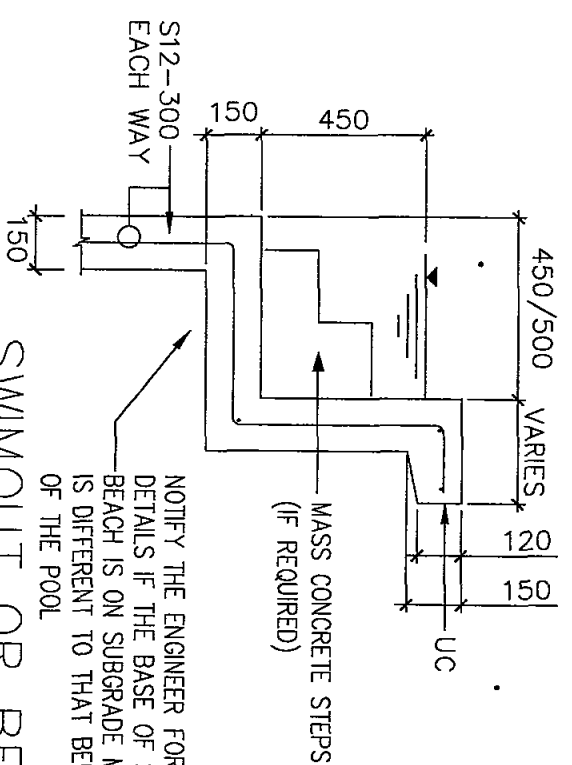
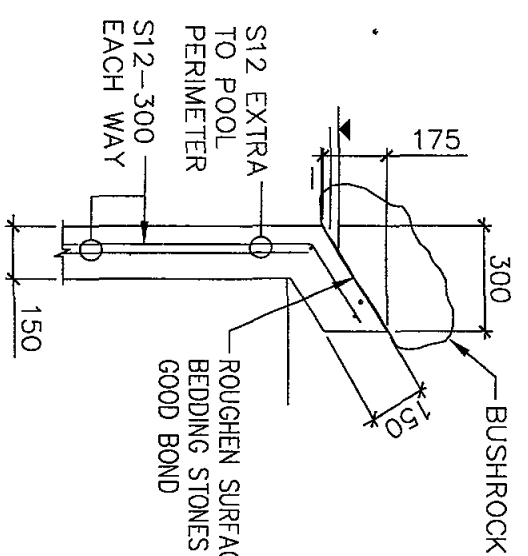
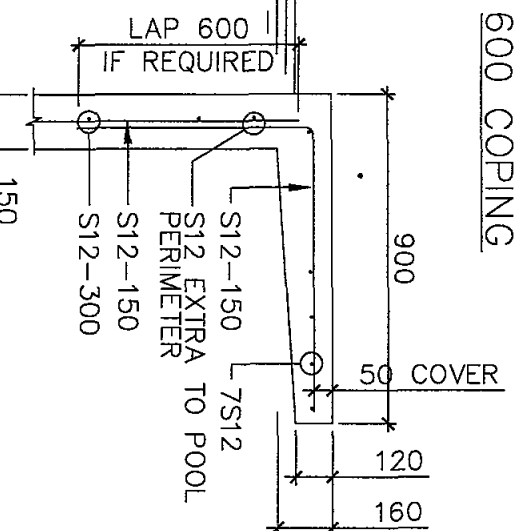
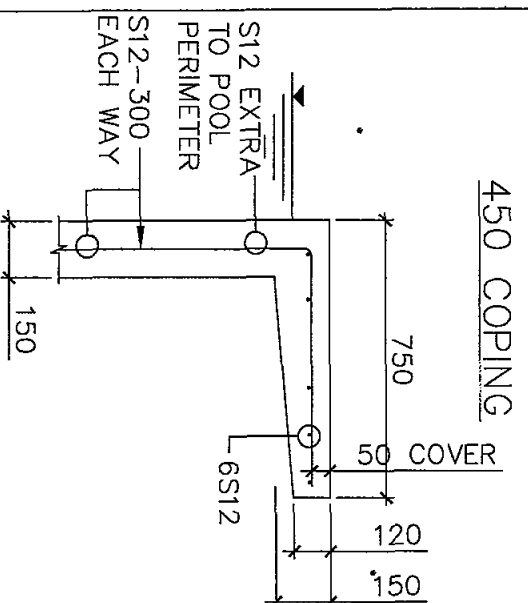
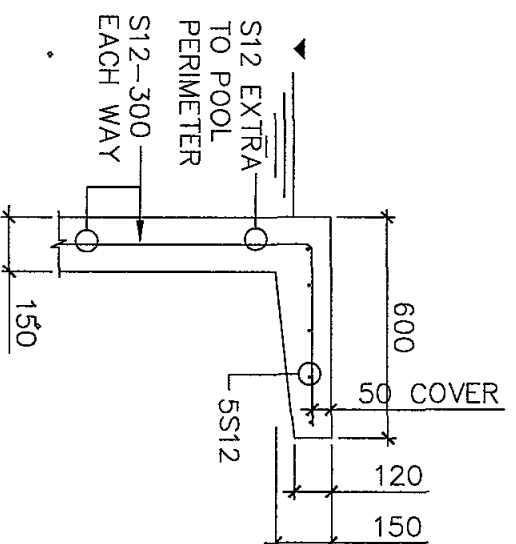
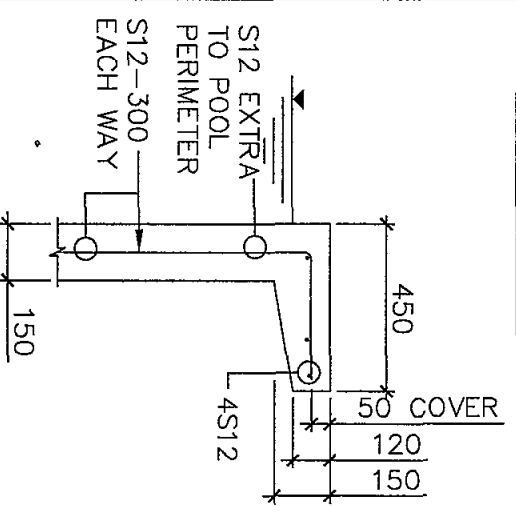
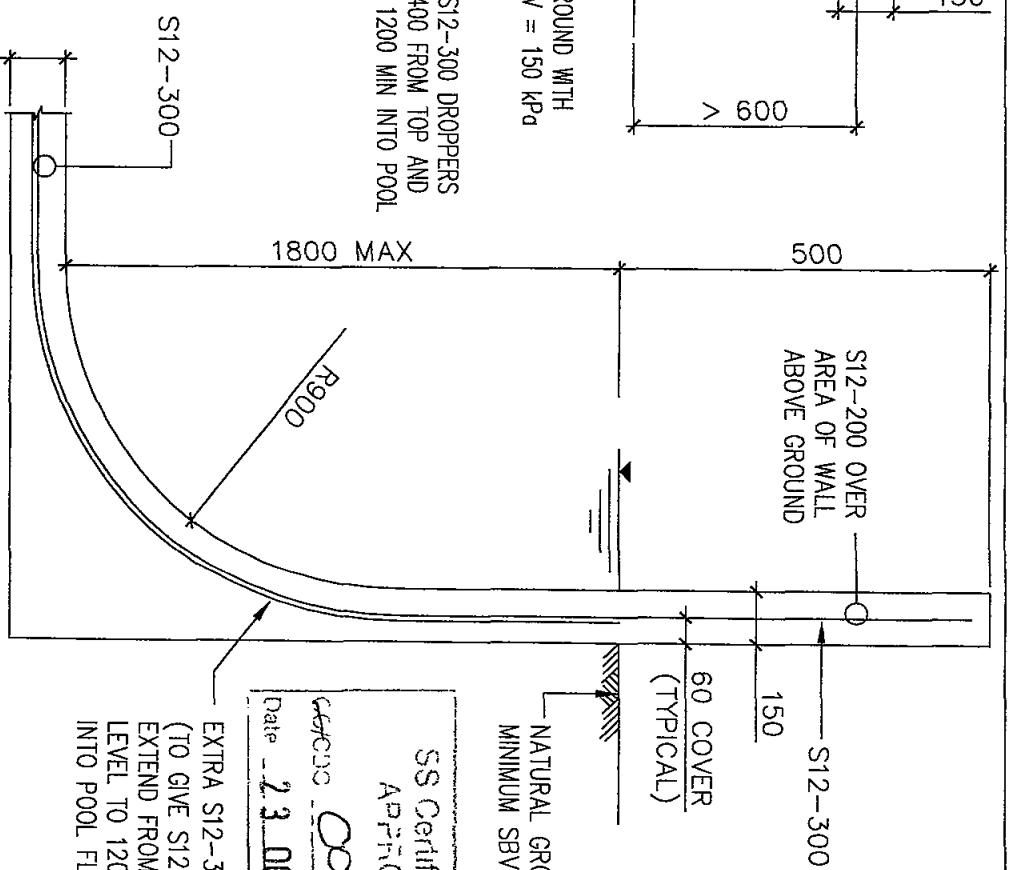
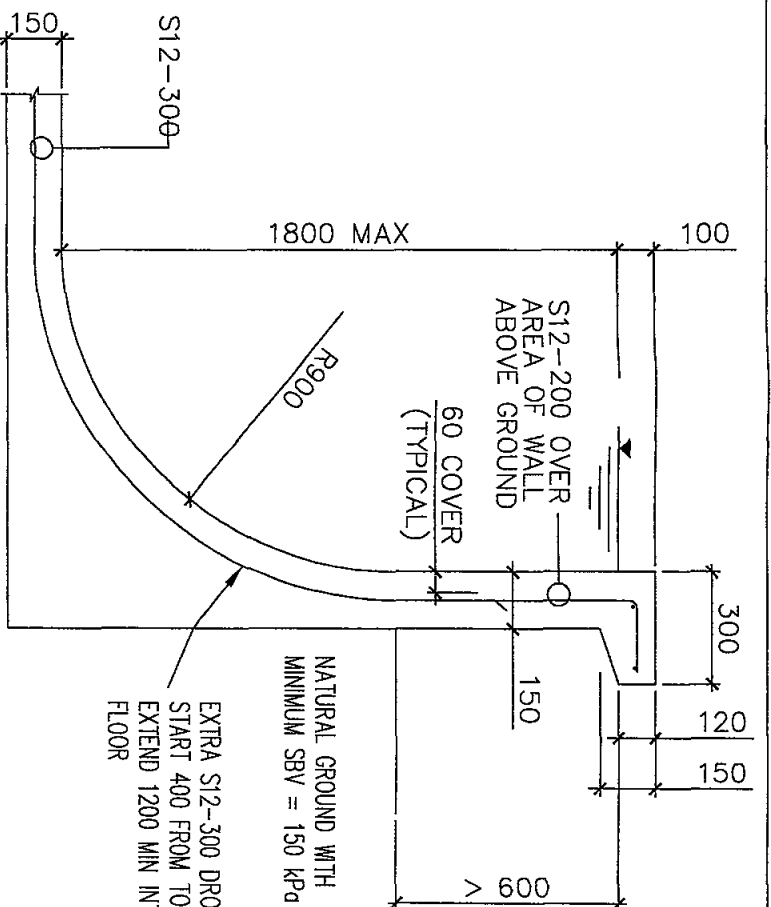
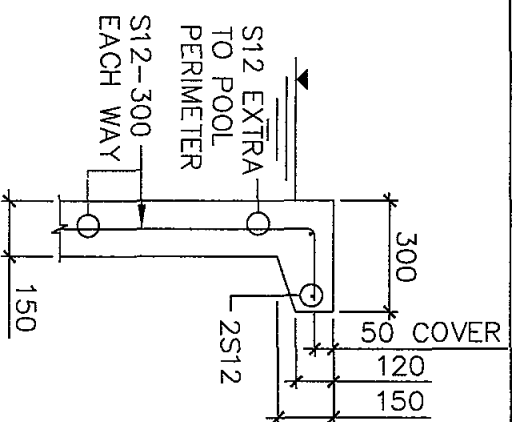
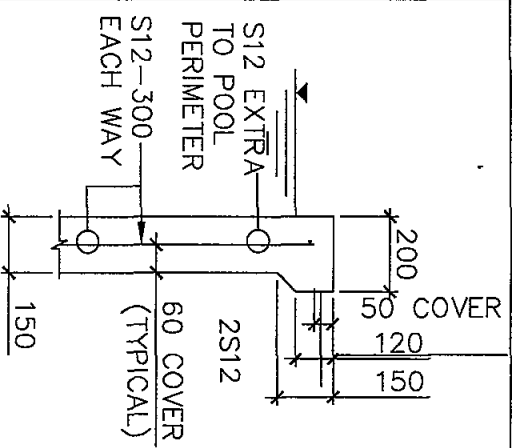
Structural details only certified by
Keighran and Associates Pty Ltd
Consulting Structural and Civil Engineers
ABN 25 003 832 291
APPROVED
BE (Hons), MEngSci, FEAust, CPEng
Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS
FOR S JACKSON
AT 26 Sydney Road, WARRIEWOOD

DATE 14/10/09
DRAWN OL-9110
SHEET 3 OF 7
DRAWING/CONTRACT No
BHP 09T17164

SS Certifications
APPROVED
09/14089
Date 23 OCT 2009



1 20
REFER TO THE ENGINEER IF THE FEATURE WALL IS TO BE PART
RETAINING OR IF ITS HEIGHT IS TO EXCEED 1000 ABOVE GROUND

NOTIFY THE ENGINEER FOR ADDITIONAL DETAILS IF THE BASE OF SWIMOUT OR BEACH IS ON SUBGRADE MATERIAL WHICH IS DIFFERENT TO THAT BELOW THE BASE OF THE POOL.

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone (02) 9728 0444 Fax (02) 9728 0455

Keighran and Associates Pty Ltd
Consulting Structural and Civil Engineers APR 25 003 812 201

APPROVED

DATE 14 / 10 / 09

BE (Hons), MEngSci, FEAust, CPEng
Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS

FOR S JACKSON

AT 26 Sydney Road, WARRIEWOOD

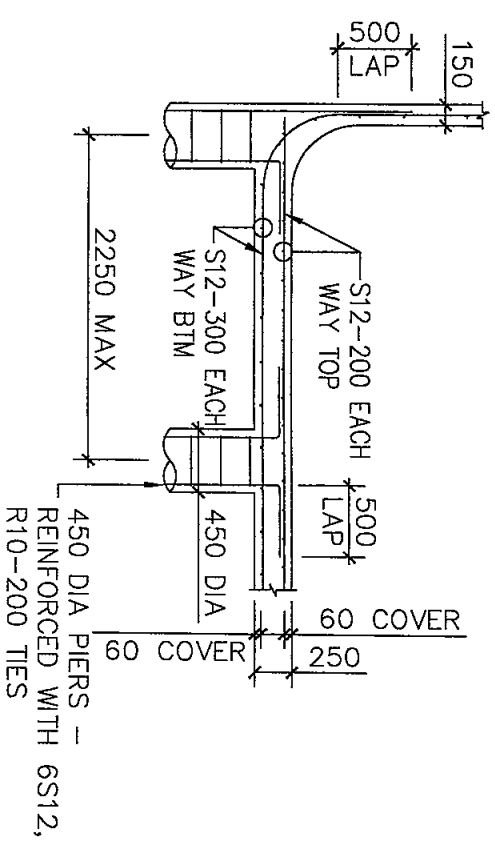
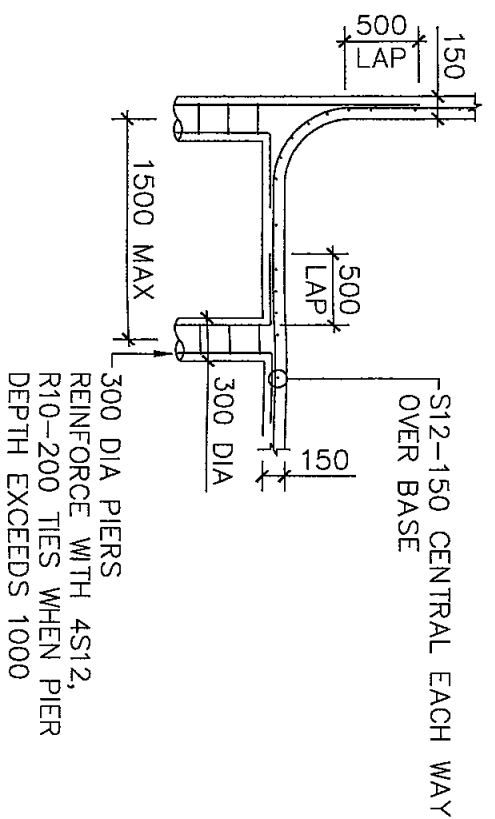
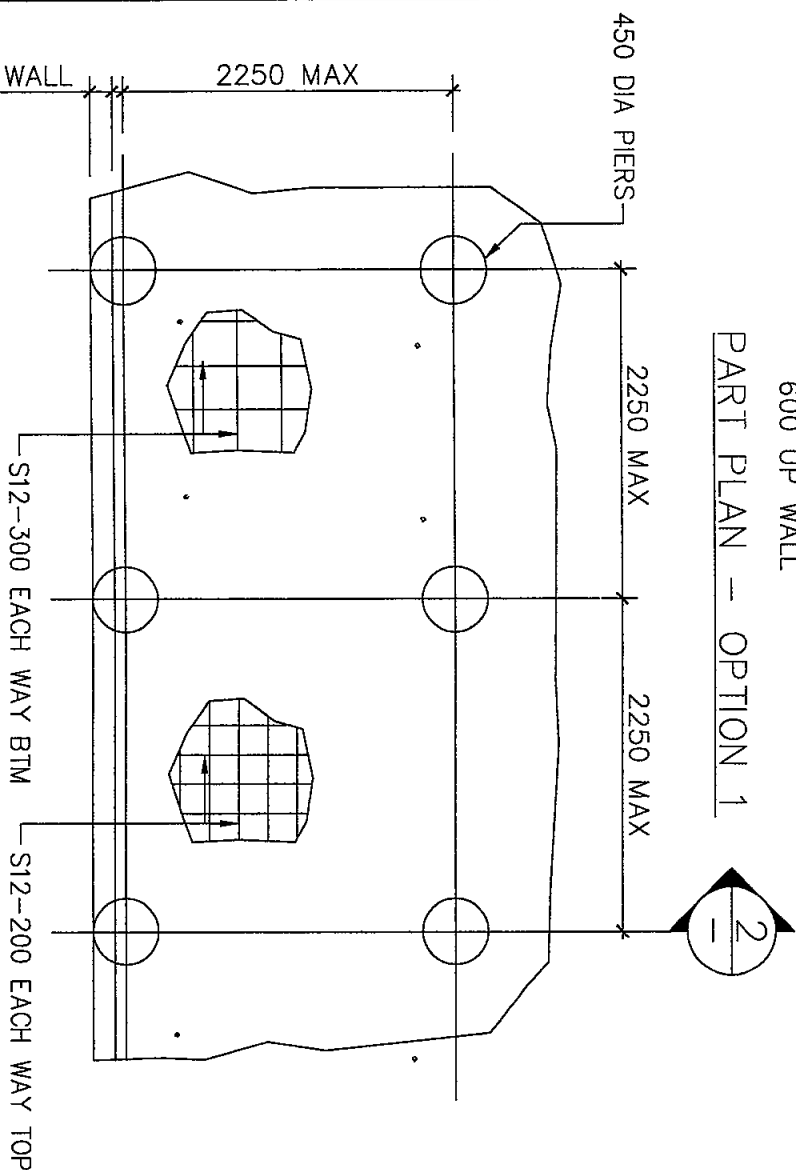
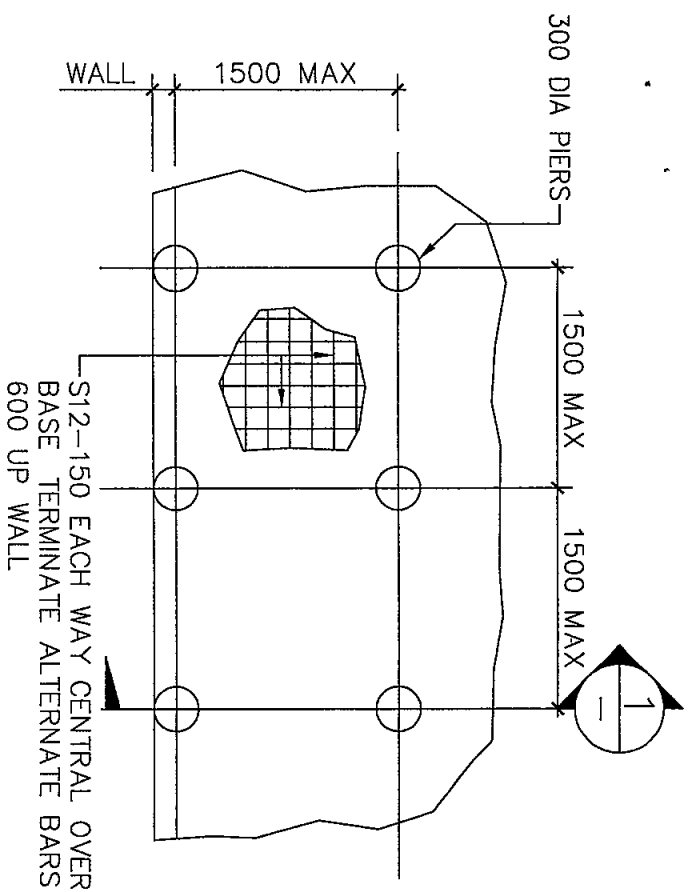
DATE 14/10/09

DRAWN OL-9110

SHEET 4 OF 7

DRAWING/CONTRACT No.

BHP 09T17164



SECTION 1

SECTION 2

SUSPENDED POOL PLANS

PIERS 1 50
F'C = 20 MPa
60 COVER TO REINFORCEMENT
PIERS TO BE FOUNDED IN UNIFORM ROCK WITH A SAFE BEARING VALUE OF 800 kPa REFER TO THE ENGINEER IF DEPTH OF PIERS EXCEEDS 3000

Structural details only certified by

BLUE HAVEN POOLS & SPAS PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone (02) 9728 0444 Fax (02) 9728 0455



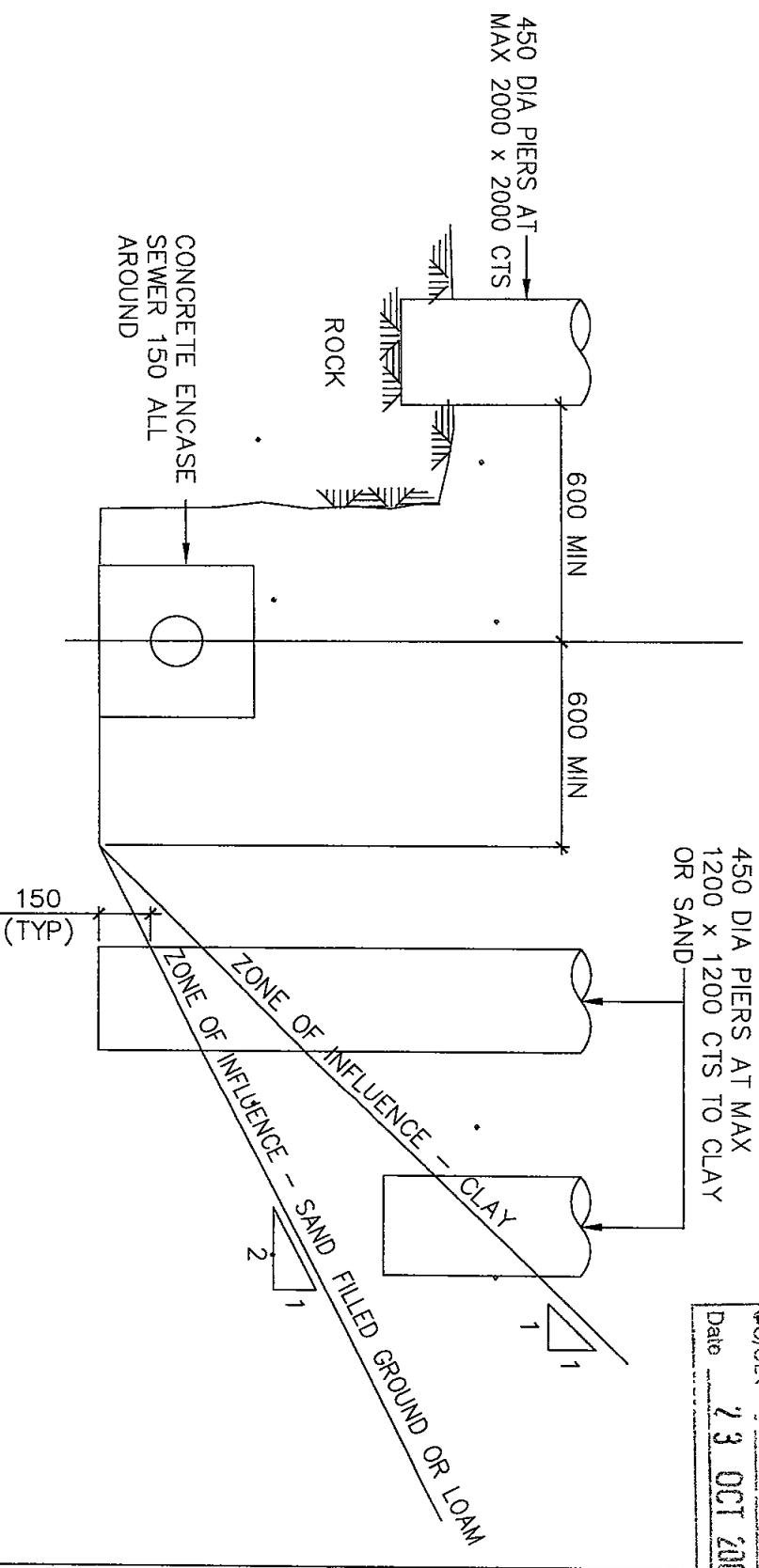
Keighran and Associates Pty Ltd
Consulting Structural and Civil Engineers
APPROVED DATE 14/10/09
BE (Hons), MEngSci, FEAust, CPEng
Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS
FOR S JACKSON
AT 26 Sydney Road, WARRIEWOOD

- 1 CLAY OR SAND TO HAVE A MINIMUM SAFE BEARING VALUE OF 200kPa
- 2 ROCK TO HAVE A MINIMUM SAFE BEARING VALUE OF 800kPa
- 3 POOL BASE TO BE AS PER SUSPENDED POOL FOR RELEVANT PIER SPACING

TYPICAL BUILDING OVER SYDNEY WATER SEWER



SS Certifications
APPROVED
09/10/09
Date 23 OCT 2009

DATE 14/10/09 SHEET 5 OF 7
DRAWN OL-9110
DRAWING/CONTRACT NO BHP 09T17164

GENERAL

- G1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS2783 - 1992
G2 THE SETTING OUT DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING EXCAVATION
G3 ANY UNFORESEEN VARIATIONS TO THE ASSUMED SITE CONDITIONS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING
G4 THE WALKWAYS AND COPINGS HAVE BEEN DESIGNED FOR A LIVE LOAD OF 4kPa
G5 THE ENGINEER SHALL BE NOTIFIED OF ANY PROPOSED VARIATION TO THIS PRIOR TO PLACING THE REINFORCEMENT
G6 PRIOR TO EMPTYING THE POOL THE OWNER SHALL ENSURE THAT ALL EXTERNAL GROUNDWATER HAS BEEN REMOVED FROM THE BASE AND WALLS OF THE POOL
G7 THE ENGINEER SHALL BE NOTIFIED IF THE POOL IS OUT OF THE GROUND BY MORE THAN 900

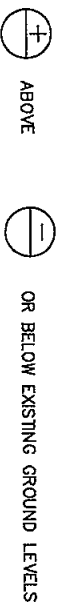
CONCRETE

- C1 THE DETAILS PRESENTED ON THE FOLLOWING SHEETS COMPLY WITH THE REQUIREMENTS OF AS2783-1992
C2 ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS3600
C3 ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH OF 25MPa AND HAVE A MAXIMUM AGGREGATE SIZE OF 10mm AND A MAXIMUM SLUMP OF 80mm UNLESS NOTED OTHERWISE
C4 WHERE THE POOL IS LOCATED WITHIN 1km OF LARGE EXPANSION OF SALT WATER THE CONCRETE SHELL SHALL HAVE A MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH OF 32MPa
C5 CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH AND MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE APPROVAL OF THE ENGINEER HOWEVER THE RADIUS OR CONCRETE THICKNESS MAY BE INCREASED
C6 UNLESS OTHERWISE NOTED CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH AS2783-1992
C7 CONCRETE COVER SHALL BE MAINTAINED BY THE USE OF APPROVED CHAIRS AT APPROXIMATELY 750 CROSS CENTRES
C8 ALL CONCRETE SHALL BE CURED BY THE OWNER FOR A MINIMUM OF 7 DAYS AFTER POURING BY KEEPING ALL EXPOSED SURFACES WET WITH WATER
C9 S NOTATION TO REINFORCEMENT DENOTES GRADE 230 DEFORMED BAR
C10 UNLESS OTHERWISE NOTED ALL REINFORCEMENT LAPS SHALL BE A MINIMUM OF 500mm
C10 PROVIDE 10mm CONTROL JOINTS IN THE WALKWAY FINISH AT MAXIMUM 4000 CENTRES AND AT POINTS OF RE-ENTRANT CORNERS IN PLAN
C11 PROVIDE 10mm CONTROL JOINTS BETWEEN THE PERIMETER EDGE OF THE POOL AND ALL ABUTTING CONCRETE OR MASONRY FINISHES

FOUNDATION

- F1 THE DESIGN OF THE POOL HAS BEEN BASED ON BEING SUPPORTED BY UNIFORM NATURAL GROUND WITH A MINIMUM SAFE BEARING VALUE OF 150kPa (UNLESS SHOWN AS SUSPENDED ON PIERS) THE BUILDER SHALL NOTIFY THE ENGINEER IF ANY OTHER GROUND CONDITIONS ARE ENCOUNTERED PRIOR TO COMPLETING THE EXCAVATION THE BUILDER SHALL ALSO NOTIFY THE ENGINEER IF A CLASS H OR E SUBGRADE IS ENCOUNTERED
F2 THE EXCAVATION SHALL BE KEPT FREE OF WATER ANY SOFTENED SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR FILL PRIOR TO PROCEEDING
F3 THE UNDERSIDE OF THE POOL SHALL BE SEPARATED FROM THE SUBGRADE WITH A 200µm POLYTHENE MEMBRANE OVER 50 CRUSHED STONE COURSE AGGREGATE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER
F4 ANY PROPOSED EXCAVATIONS WHICH ARE TO BE WITHIN THE ZONE OF INFLUENCE OF AN EXISTING STRUCTURE SHALL BE REFERRED TO THE ENGINEER PRIOR TO COMMENCEMENT

LEVELS SHOWN INDICATE FINISHED STRUCTURAL LEVEL



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Keighran and Associates Pty Ltd
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ABN 25 003 832 291

APPROVED

DATE 20/10/09

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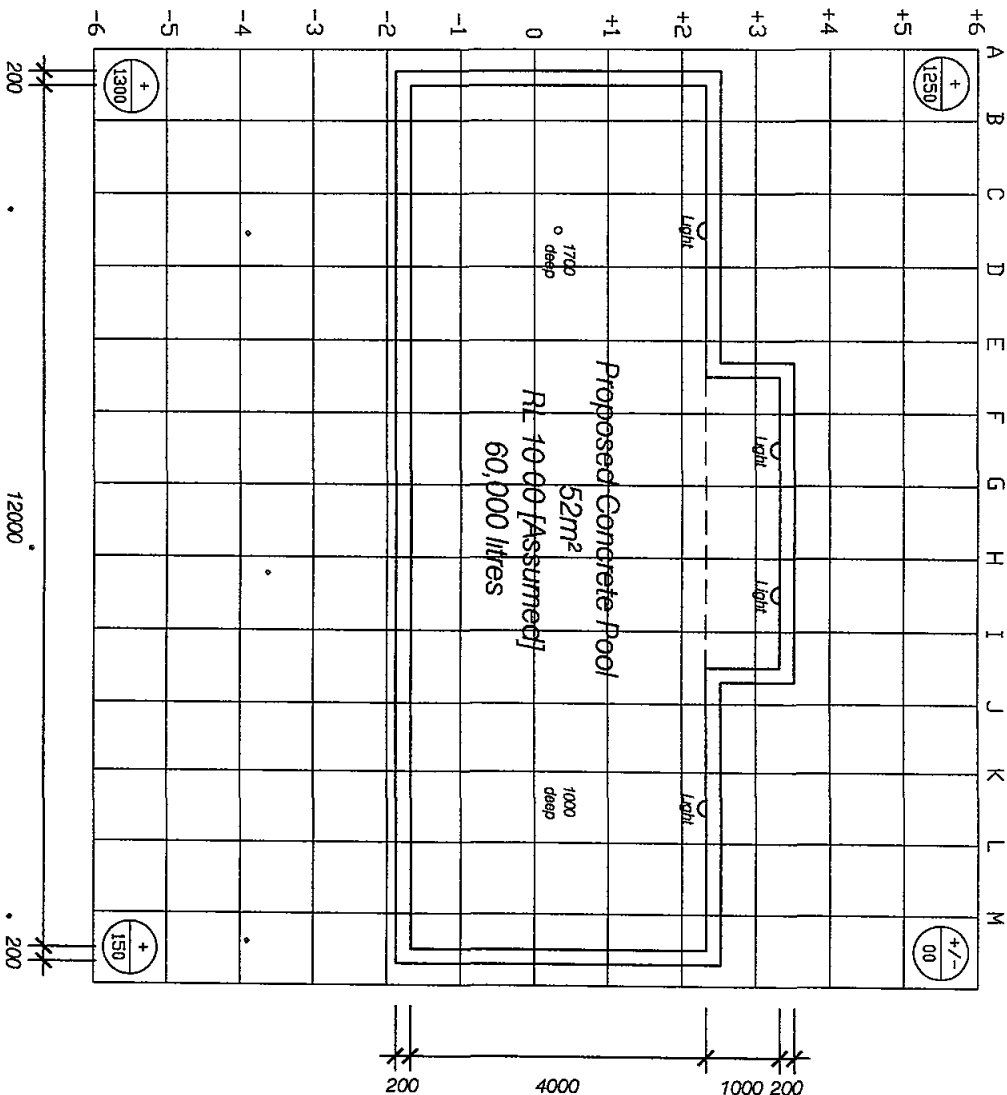
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FOR S JACKSON
AT 26 Sydney Road, WARRIEWOOD

SCALE 1:100

0 1 2 3 4 5

P O O L P L A N

PROVIDE 1 SKIMMER
PROVIDE 4 LIGHTS
MAKE PROVISION FOR SOLAR
PROVIDE 1 SURF BOARD

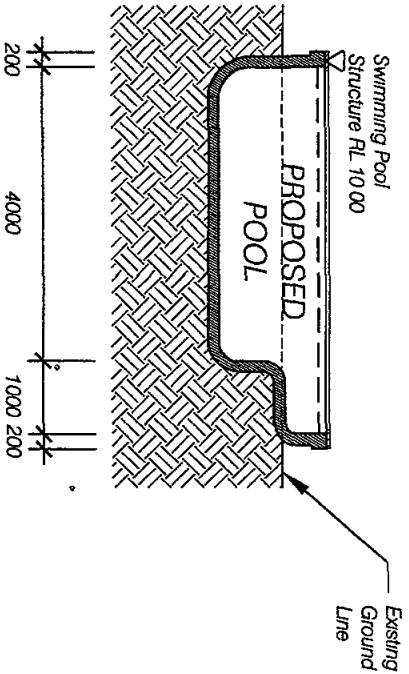


SS Certifications
APPROVED
09/14089
Date - 23 OCT 2009

DATE 14/10/09
DRAWN OL-9110
SHEET 6 OF 7

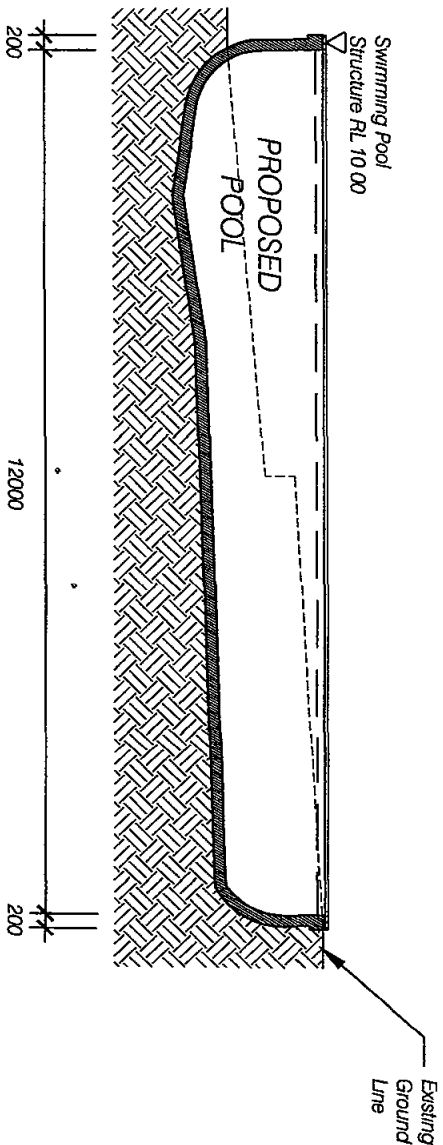
DRAWING/CONTRACT No
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SS Certifications
APPROVED
ce/cdc 09/4089
Date 23 OCT 2009



130
120
110
100
90
80

POOL SHELL APPROXIMATE ONLY, REFER
ENGINEERS DETAIL & SPECIFICATION I



Section X

1 - 100 @ A3

Section Y

1 - 100 @ A3

SCALE 1:100
0 1 2 3 4 5 10

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