

NORTHERN BEACHES COUNCIL

Waste Management Plan

(For development in the area of WLEP 2011 and WLEP 2000)

This plan is to be completed
in accordance with Council's

Waste Management Guidelines

(For development in the area of WLEP 2011 and WLEP 2000)

Effective Date: 25 October 2016

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Purpose of the Waste Management Plan

This *Waste Management Plan (WMP)* will detail the arrangements for waste management during all stages of development and occupation.

The WMP must be completed in accordance with the Waste Management Guidelines (Guidelines).

A completed WMP is a mandatory requirement for any Development Application (DA) submitted under WLEP 2011 or WLEP 2000. DAs that are submitted without a completed WMP will be rejected or refused by Council.

Structure of the Waste Management Plan

All applicants are required to complete the 'Applicant and Project Details' part of the WMP and include it with the relevant Sections that apply to their proposed development.

The WMP is divided into Sections and applicants are only required to complete the relevant Sections in accordance with the Guidelines. The table below identifies which Sections are relevant to which development types.

For example, if the proposed development was to include demolition of an existing structure and construction of a single dwelling, the relevant Sections would be Sections 1, 2 and 3.

Section	Development Type [^]
Section 1 – Demolition	All
Section 2 – Construction	All
Section 3 – On-going waste management for one or two dwellings	One or two dwelling developments Mixed-use developments containing one or two dwellings
Section 4 – On-going waste management for three or more dwellings	Three or more dwelling developments Mixed-use developments containing three or more dwellings
Section 5 – On-going waste management for non-residential and mixed use developments	Commercial developments Industrial developments Mixed-use developments
Section 6 – Private roadway developments	Private roadways

[^]Note: the definitions of the development types are provided in Section vi of the Introduction to the Guidelines

Applicant and Project Details

Complete this page and the relevant Sections that apply to your proposed development.

Applicants' Details

Name: (must be the same as the DA form)	Tim & Air Kiehne
Address: (must be the same as the DA form)	13 Athol Street Frenchs Forest, NSW, 2086
Phone Number:	0423 328 617 Air, 0409 242 251 Tim
Email Address:	air.kiehne@gmail.com

Property Details

Lot No: Deposited Plan (DP) No: or Strata Plan (SP) No:	Lot 13 DP 225845
Unit No: House No: Street: Suburb: Postcode:	13 Athol Street Frenchs Forest 2086

Project Details

Description of proposed development:	Demolition of an existing swimming pool and construction of a new swimming pool
Structures to be demolished:	existing swimming pool

Applicant Declaration

I declare that:

1. This plan has been completed in accordance with the Waste Management Guidelines
2. To the best of my knowledge, the details on this form are accurate and correct

I understand that:

1. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, NSW Environment Protection Authority or WorkCover NSW.
2. A bond in accordance with Council's fees and charges may apply to this development and must be paid to Council prior to any works commencing.
3. The bond will only be refunded when Council is satisfied that all waste outlined in this plan has been managed as per the plan, and evidence such as photos, receipts and statutory declarations must be supplied where appropriate.

Signature of Applicant:   Date: 31/10/2022

Section 1 – Demolition

This section must be completed in accordance with 'Chapter 1 – Demolition' of the Waste Management Guidelines

MATERIALS ON SITE	DESTINATION <i>Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection</i>					
	REUSE AND RECYCLING (MOST FAVOURABLE)				DISPOSAL (LEAST FAVOURABLE)	
Types of Waste Material	Estimated Volume (m ³) or Weight (t)	ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Recycling Outlet (RO) ✓ Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
			WTC	RO	WTC	LS
Excavated Material						
Garden Organics						
Bricks					OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles	3m ^3					
Concrete	18 m ^3					
Timber						
Plasterboard						
Metals	6m ^3					
Asbestos						
Other waste (please specify)						
Estimated Total % Recovered						

Refer to the estimation tables in 'Chapter 1 – Demolition' of the Guidelines for assistance in completing this table.

The applicant must submit a Site Plan showing the structures to be demolished and storage areas for waste and construction materials (if the development also includes construction).

WMP Checklist

Have you included the following:	Applicant Tick
A site plan showing: • The structures to be demolished. • Storage areas for waste to be reused, recycled, or disposed of. • Materials storage (if the development also includes construction)	☒
The table on the previous page, completed in accordance with 'Chapter 1 – Demolition' in the guidelines.	☐

LEGEND

AWN - AWNING
BALC - BALCONY LEVEL
CHM - CHIMNEY LEVEL
CL - ROAD CENTER LINE LEVEL
CONC - CONCRETE SURFACE LEVEL
DECK - DECK LEVEL
EPIT - ELECTRICAL PIT
ELEC- ELECTRICAL SUBSTATION
TPIT - TELECOMMUNICATION PIT
FLR - FLOOR LEVEL
GAS - GAS METER
GATE - GATE
GDN - GARDEN LEVEL
GRATE - GRATED PIT LEVEL
GRV - GRAVEL LEVEL
HC - HOUSE CONNECTION
HYD - HYDRANT
INV- INVERT LEVEL
KT - TOP OF KERB LEVEL
KI - KERB INVERT LEVEL
LP - LIGHT POLE
PAR - PARAPET LEVEL
PAT - PATIO
PATH - PATH LEVEL
PAV - PAVING LEVEL
PINV - PIT INVERT
POOL - POOL LEVEL
RWT - RAIN WATER TANK
ROOF - ROOF LEVEL
SIC - SEWER INSPECTION CAP
SKYL - SKYLIGHT LEVEL
SPIPE - SEWER VENT PIPE
SPHT - SPOT HEIGHT
STEP - STEP LEVEL
TG - TOP OF GUTTER
TILE - TILED LEVEL
TOW - TOP OF WALL
TPIT - TELSTRA PIT
WALL - WALL LEVEL (TOW- TOP OF WALL,
BOW- BOTTOM OF WALL)
WM - WATER METER

TR/6/0.2/5 - TREE (SPREAD 6m, TRUNK
DIA 0.2m, HEIGHT 5m) DIMENSIONS ARE
APPROXIMATE

DOOR
TD - DOOR TOP
BD - DOOR BOTTOM
WINDOW
TW - WINDOW TOP
BW - WINDOW BOTTOM

CONTOUR INTERVAL - 0.2m

NOTES:

- A FIELD BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING DP224535,DP225845, DP247597, DP1190985 & DP1192794 BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.
- DIMENSIONED STRUCTURES ARE IN RELATION TO THIS BOUNDARY SURVEY.
- ORIGIN OF LEVELS SSM9174 RL: 159.316m (A.H.D.- CLASS LC) SEARCH DATED 22/12/2022.
- BEARINGS ARE ON MGA GRID NORTH.
- RELATIONSHIP OF OTHER IMPROVEMENTS, DETAIL AND ADJOINING BUILDINGS TO THE BOUNDARY, IF CRITICAL, WILL REQUIRE FURTHER SURVEY. IF ANY FENCING OR BUILDING NEAR THE SUBJECT BOUNDARIES IT IS RECOMMENDED THAT THE BOUNDARIES BE PHYSICALLY MARKED BY A REGISTERED SURVEYOR.
- SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
- ROOF AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
- ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
- THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.
- IF TREE DIMENSIONS ARE NOT STATED, TREE SYMBOLS ARE USED TO INDICATE THE OUTLINE OF A HEDGE. SYMBOLS MAY NOT INDICATE ACTUAL AMOUNT OF TREES
- RESTRICTIONS ON THE USE OF LAND NOTED ON TITLE (DP224535 & DP225845)

0	AK	INITIAL ISSUE	19/01/23
REVISION	BY	REVISION DESCRIPTION	DATE

PLAN OF DETAIL OVER
No. 13, ATHOL STREET,
FRENCHS FOREST, NSW, 2086.



TRUENORTH SURVEY GROUP
A.B.N. 97 106 447 198
Registered Consulting Surveyors
16/9 Narabang Way
Belrose NSW 2085
Tel : (02) 9450 0868
Mob : (0412) 353 784
Email : andrew@truenorthsurveys.com.au

SCALE: 1:100 @ A1 : 1:200 @ A3		DATE: 19/01/2023
CLIENT: TIMOTHY AND AIR KIEHNE		DATUM: AHD
JOB No. 2639		PAGE 1 OF 1
DRAWN	CHECKED	APPROVED
KS	AK	AK
DRAWING No. 2639	REVISION 0	

Section 2 – Construction

This section must be completed in accordance with 'Chapter 2 – Construction' of the Waste Management Guidelines

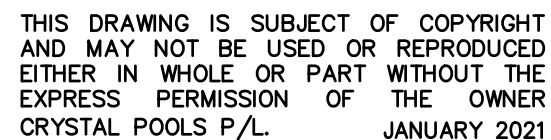
MATERIALS ON SITE	DESTINATION <i>Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection</i>					
	REUSE AND RECYCLING (MOST FAVOURABLE)				DISPOSAL (LEAST FAVOURABLE)	
Types of Waste Material	Estimated Volume (m ³) or Weight (t)	ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Specify recycling outlet (RO) ✓ Specify Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
* Please specify			WTC	RO	WTC	LS
Excavated Material	52					
Garden Organics						
Bricks					OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles						
Concrete						
Timber*						
Plasterboard						
Metals*						
Asbestos						
Other waste*						
Estimated Total % Recovered						

Refer to the estimation tables in 'Chapter 2 – Construction' of the Guidelines for assistance in completing this table.

The applicant must submit a Site Plan showing the structures to be demolished and storage areas for waste and construction materials (if the development also includes construction).

WMP Checklist

Have you included the following:	Applicant Tick
A site plan showing: • The structures to be demolished. • Potential storage areas for waste to be reused, recycled, or disposed of. • Materials storage	☒
The table on the previous page, completed in accordance with 'Chapter 2 – Construction' in the guidelines.	☒



**13 ATHOL STREET,
FRENCH'S FOREST
NSW 2086**

LoT No.: 13
D.P. No.: 225845
AREA: 753.80m²

GARAGE

POTENTIAL MATERIAL
STORAGE AREA

POOLS SAFE FENCE WITH SC &
SL LATCH - BY OTHERS

BOUNDARY FENCE TO BE 1.8m HIGH

1400 TO WATER

21.165m

1500 TO BDRY

13.135m

POOLS SAFE FENCE WITH SC &
SL LATCH - BY OTHERS

BOUNDARY FENCE TO BE 1.8m HIGH

FILTER EQUIPMENT (UNDER COPING)

- TO BE ENCLOSED IN SOUND PROOF ENCLOSURE
- SOUND PROOF ENCLOSURE TO BE CLEAR OF 900mm NON-CLIMB ZONE.

ATHOL STREET

38.14m

22m

18.9m

N

* LOCATION OF POOL TO BE THE SAME AS EXISTING POOL

SITE PLAN
SCALE 1:200

REVISED	09.10	POOL WIDTHS	CMF
B	09.10	REVISED POOL PLAN, BDY OFFSET	CMF
A	25.03	ISSUED FOR CONSTRUCTION	CMF
REV.	DATE	AMENDMENT	DRAWN



IBS AUSTRALIA
Innovative Building Systems

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APPROVED  DATE 25.03.2022
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AT: 13 ATHOL STREET,
FRENCHS FOREST
NSW 2086

DATE	25.03.2022
------	------------

JOB NUMBER
14718

DWG No.
P02

REV. C

Section 3 – On-going waste management for one or two dwellings

This section is to be completed in accordance with 'Chapter 3 – On-going waste management for one or two dwellings' of the Waste Management Guidelines.

Type of development: _____

Number of dwellings: _____

WMP Checklist

Do your architectural and landscape plans include the following:	Applicant Tick
Waste Storage Area design requirements (Chapter 3.2.)	☐
Waste Storage Area location requirements (Chapter 3.3.)	☐

Section 4 – On-going waste management for three or more dwellings

This section is to be completed in accordance with 'Chapter 4 – On-going waste management for three or more dwellings' of the Waste Management Guidelines.

Type of development: _____

Number of dwellings: _____

WMP Checklist and Applicant Declaration

Do your architectural/landscape plans include the following:	Applicant Tick	N/A
Waste Storage Area design requirements (Chapter 4.2.)	☐	-
Waste Storage Area location requirements (Chapter 4.3.)	☐	-
Pathway, access and door requirements (Chapter 4.4.)	☐	-
Clean-up waste requirements (Chapter 4.5.)	☐	☐
Kerbside (on-street) waste collection requirements (Chapter 4.6.)	☐	☐
On-site (off-street) waste collection requirements (Chapter 4.7.)	☐	☐

Section 5 – On-going waste management for non-residential and mixed use developments

This section is to be completed in accordance with 'Chapter 5 – On-going waste management for non-residential developments' and 'Chapter 6 – On-going waste management for mixed use developments' of the Waste Management Guidelines.

Type of development: _____

Number of commercial premises: _____

Number of Waste Storage Areas: _____

WMP Checklist

Do your architectural/landscape plans include the following:	Applicant Tick	N/A
Waste Storage Area design requirements (Chapter 5.2.)	☐	-
Waste Storage Area location requirements (Chapter 5.3.)	☐	-

Section 6 – Private roadway developments

This section is to be completed in accordance with 'Chapter 7 – Private roadway developments' of the Waste Management Guidelines.

Type of development: _____

Number of dwellings: _____

(Only applicable for sub-divisions)

WMP Checklist and Applicant Declaration

Do your sub-division plans include the following:	Applicant Tick	N/A
Council's waste vehicle design requirements (Chapter 7.2.)	☐	☐
Waste Storage Area requirements (Chapter 7.3.)	☐	☐