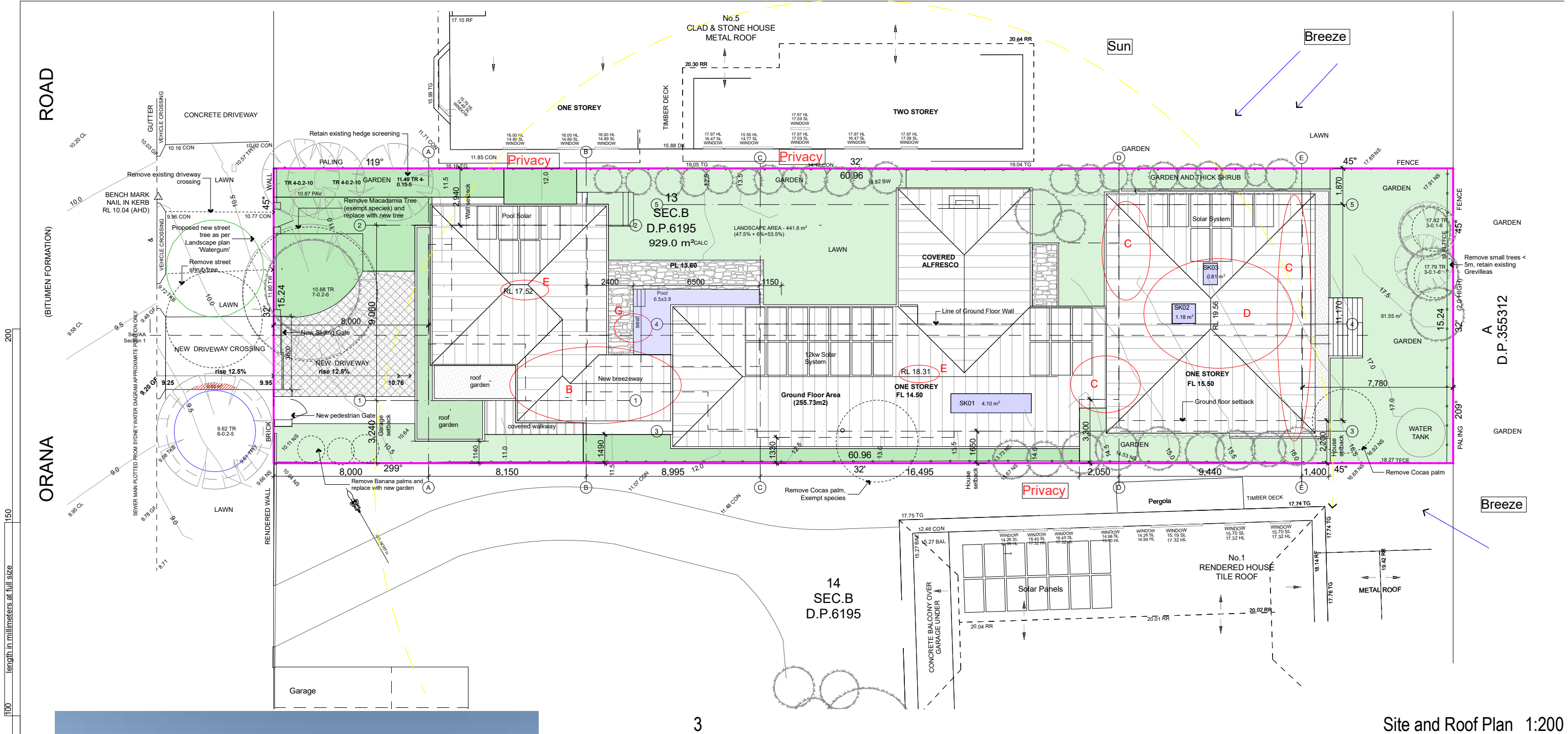




3

Site and Roof Plan 1:200

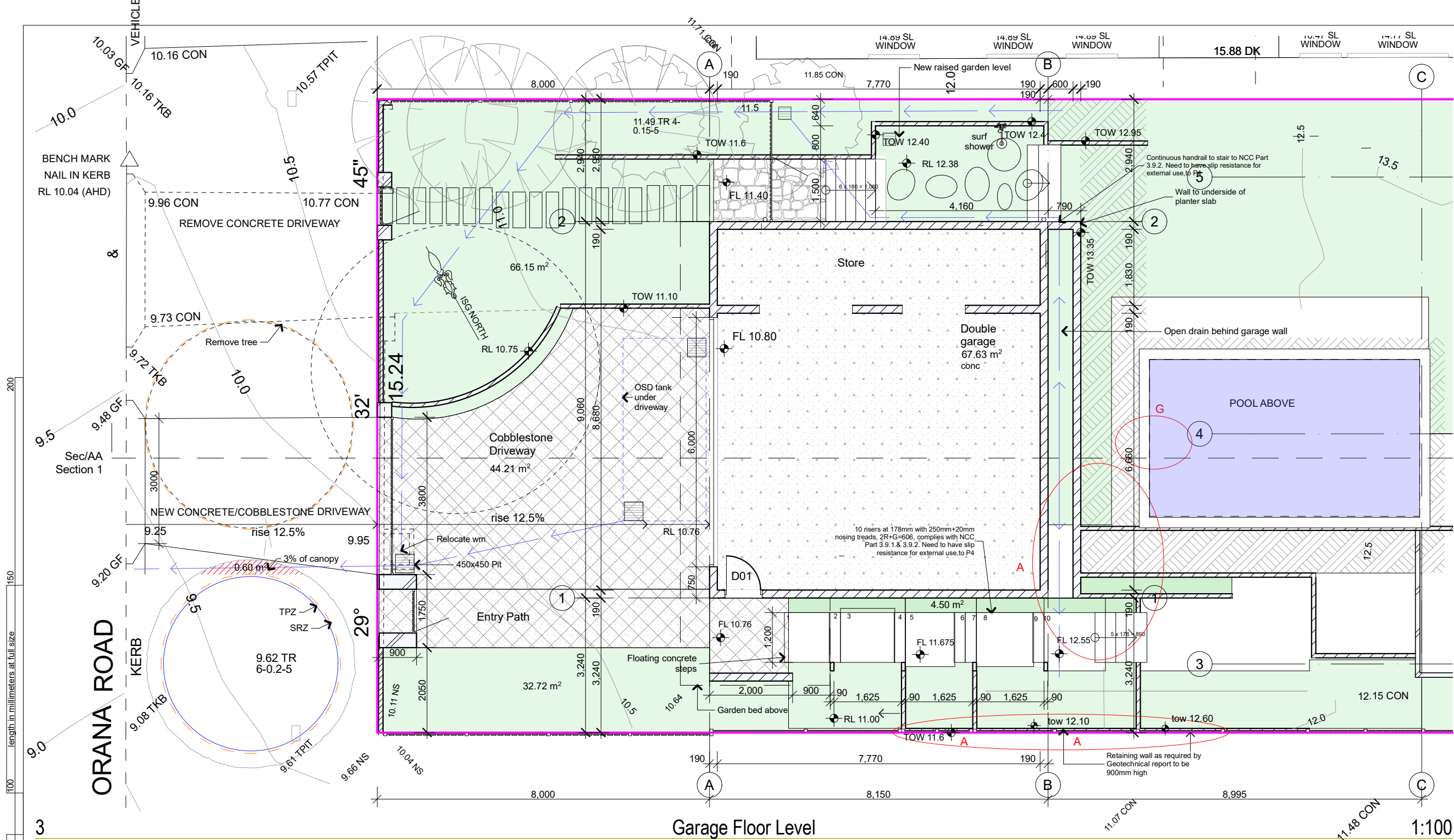


DA mod Streetfront - Picture1

- List of Modifications**
- A- Remove gym and add retaining walls to garage level
 - B- Change Studio to Masterbedroom and connect with Breezeway
 - C- Increase to ground floor area
 - D-Remove approved first floor
 - E- Modified roof height and shape
 - F- Modified windows and doors
 - G-Remove Spa

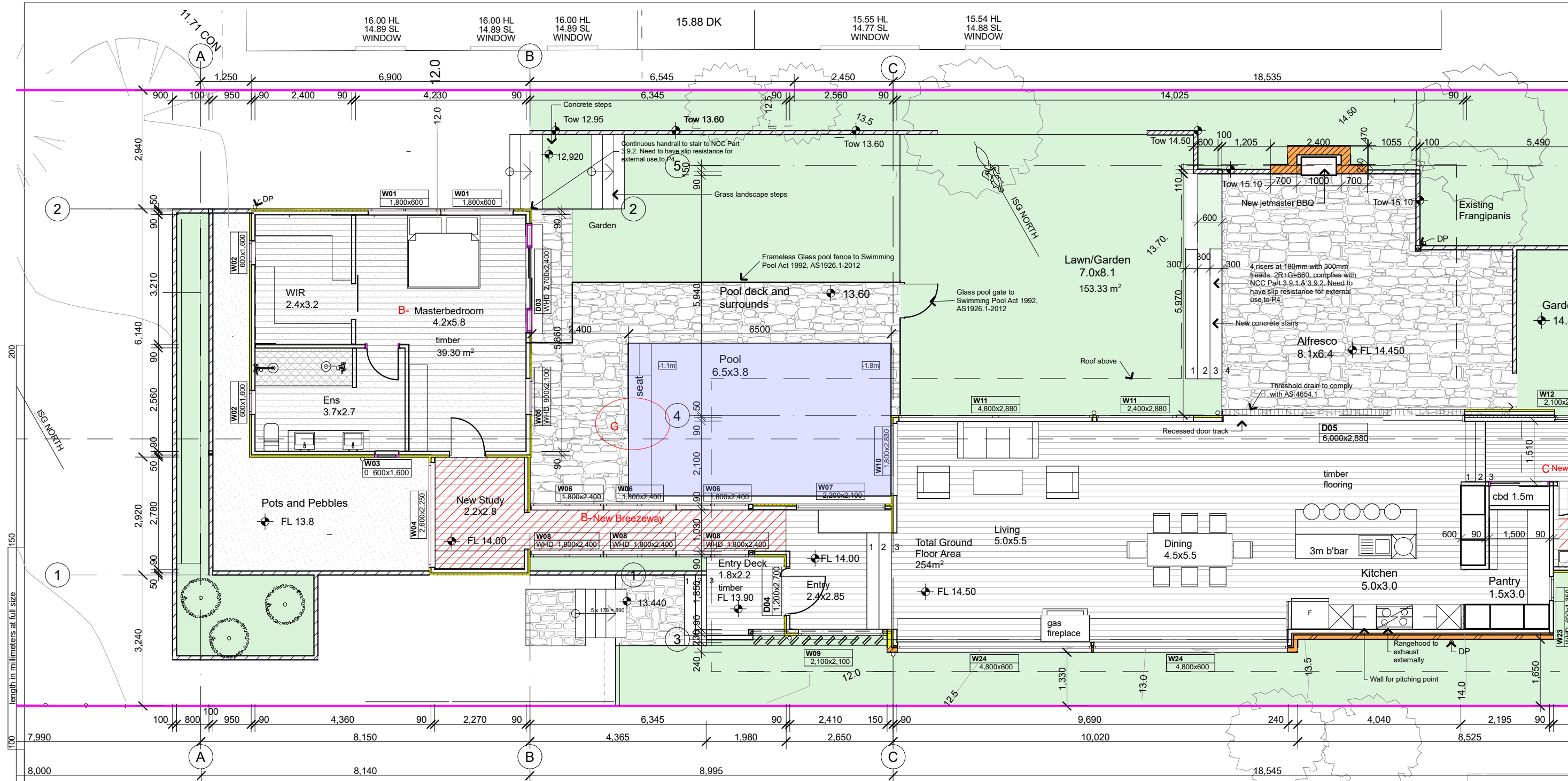
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	
Client S & J Halpin Project Name Halpin House and Pool 3 Orana Rd Mona Vale 2103	
SITING SPECIFIC DESIGNS Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd 0416 954 635 sheralee.ssd@bigpond.com	
Drawing Title: Plans Ground - Site and Roof Plan Site and Roof Plan, DA mod Streetfront - Picture1	
Scale: as noted	Date: 25.05.23
Status: DA mod	Checked By: SH
Project No: 2022 02	Drawing No.: DA00
Plot Date: 26/05/2023	





- List of Modifications**
- A- Remove gym and add retaining walls to garage level
 - B- Change Studio to Masterbedroom and connect with Breezeway
 - C- Increase to ground floor area
 - D- Remove approved first floor
 - E- Modified roof height and shape
 - F- Modified windows and doors
 - G- Remove Spa

Client S & J Halpin	
Project Name Halpin House and Pool	
Address 3 Orana Rd Mona Vale 2103	
SITING SPECIFIC DESIGNS Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd 0416 954 635 sheralee.ssd@bigpond.com	
Drawing Title Plans Ground - Garage Floor	
Scale: as noted	Date: 25.05.23
Status: DA mod	Checked By: SH
Project No: 2022 02	Drawing No.: DA01
Plot Date: 26/05/2023	



Ground Floor
1:100

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C- Increase to ground floor area
- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove spa

C-	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

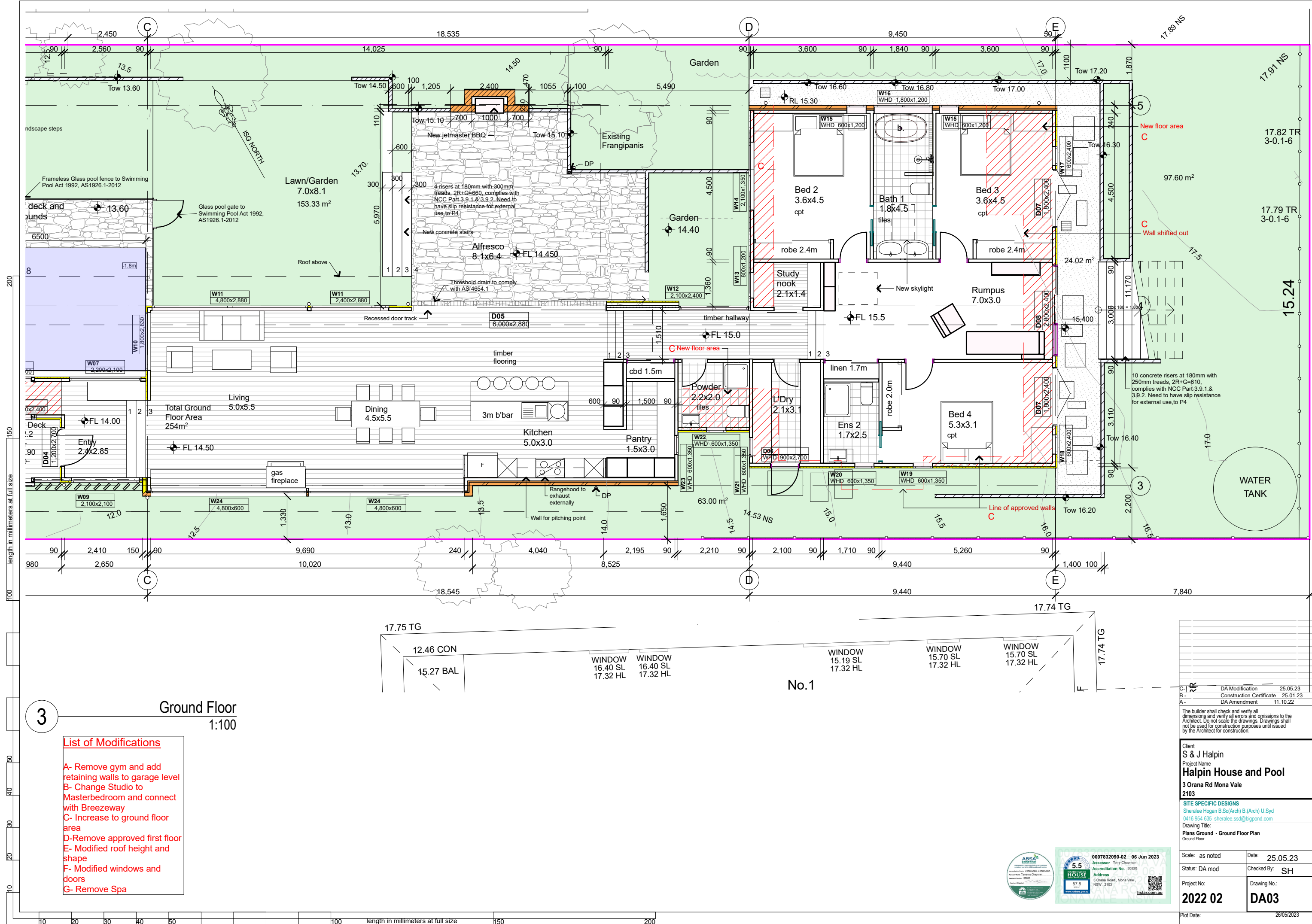
Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 25.05.23
Status: DA mod Checked By: SH

Project No: **2022 02** Drawing No.: **DA02**

Plot Date: 26/05/2023





Ground Floor
1:100

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C- Increase to ground floor area
- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove Spa

No.1

C-1	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 25.05.23

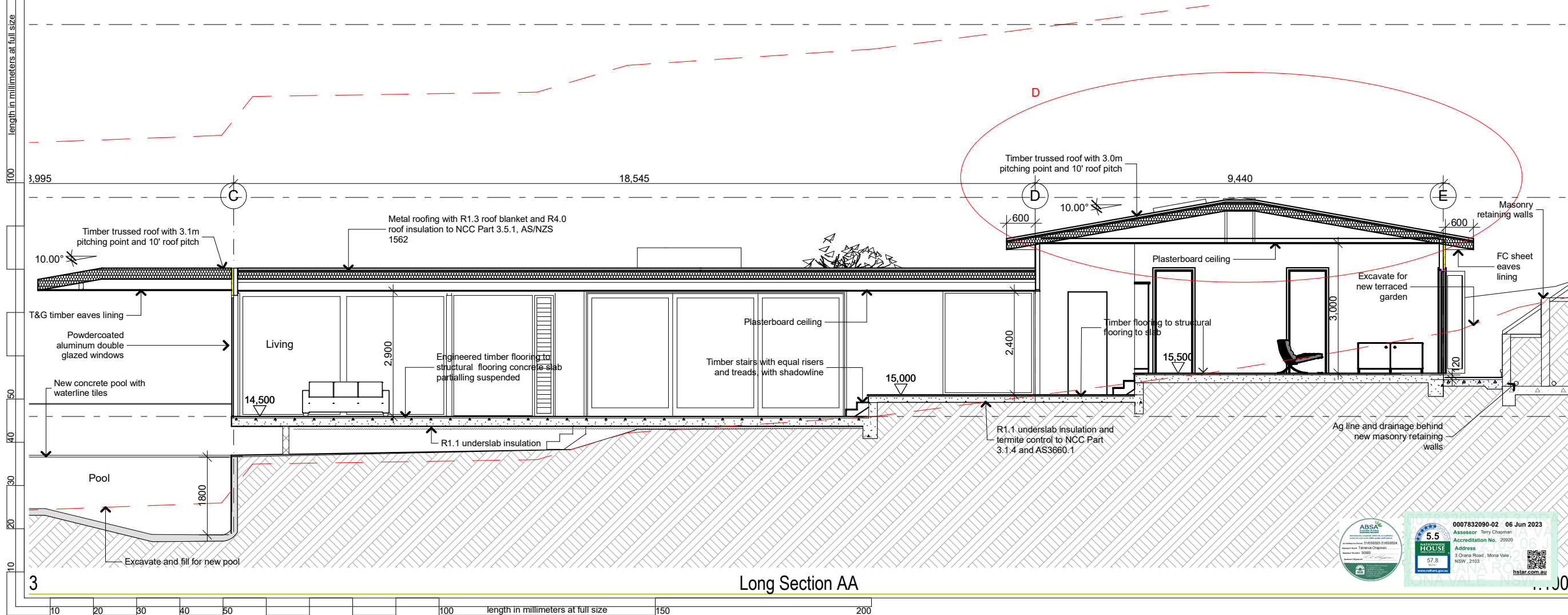
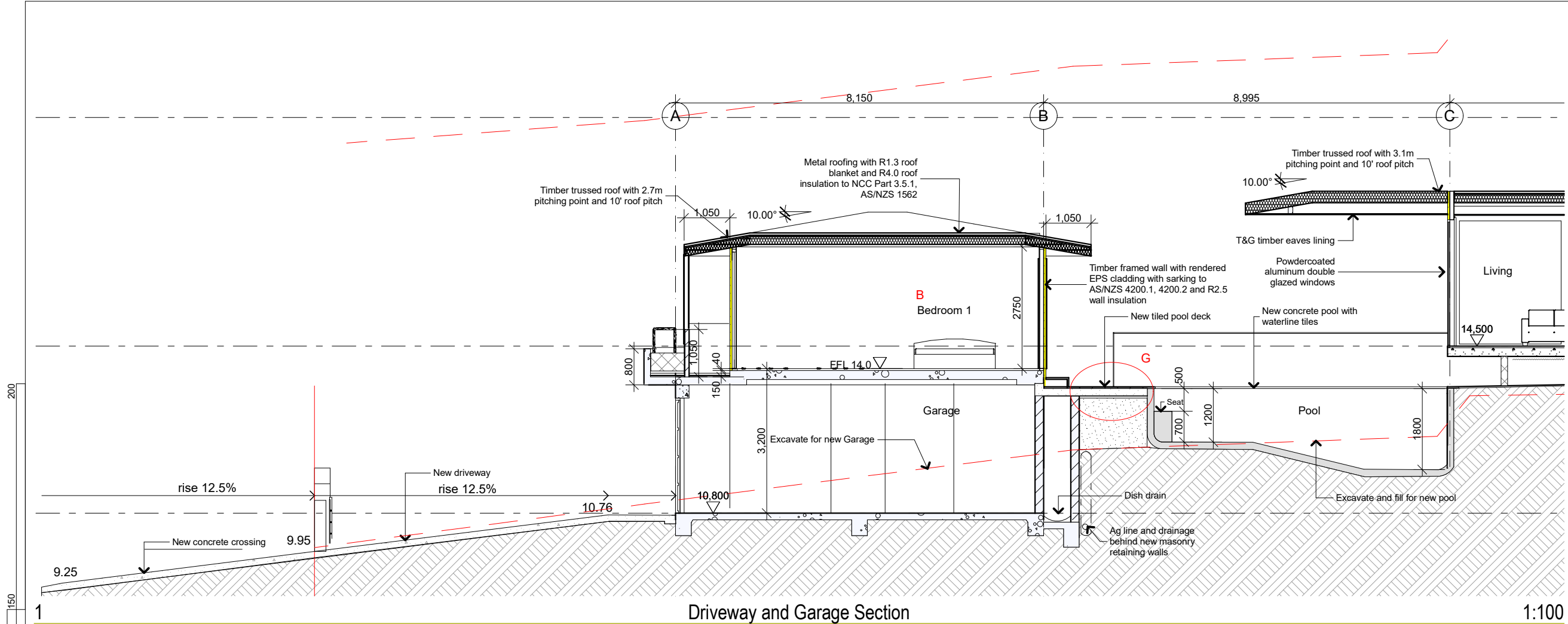
Status: DA mod Checked By: SH

Project No: 2022 02 Drawing No.: DA03

Plot Date: 26/05/2023



- List of Modifications**
- A- Remove gym and add retaining walls to garage level
 - B- Change Studio to Masterbedroom and connect with Breezeway
 - C- Increase to ground floor area
 - D-Remove approved first floor
 - E- Modified roof height and shape
 - F- Modified windows and doors
 - G- Remove Spa



DA Modification	25.05.23
B - Construction Certificate	25.01.23
A - DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Sections
Driveway and Garage Section, Long Section AA

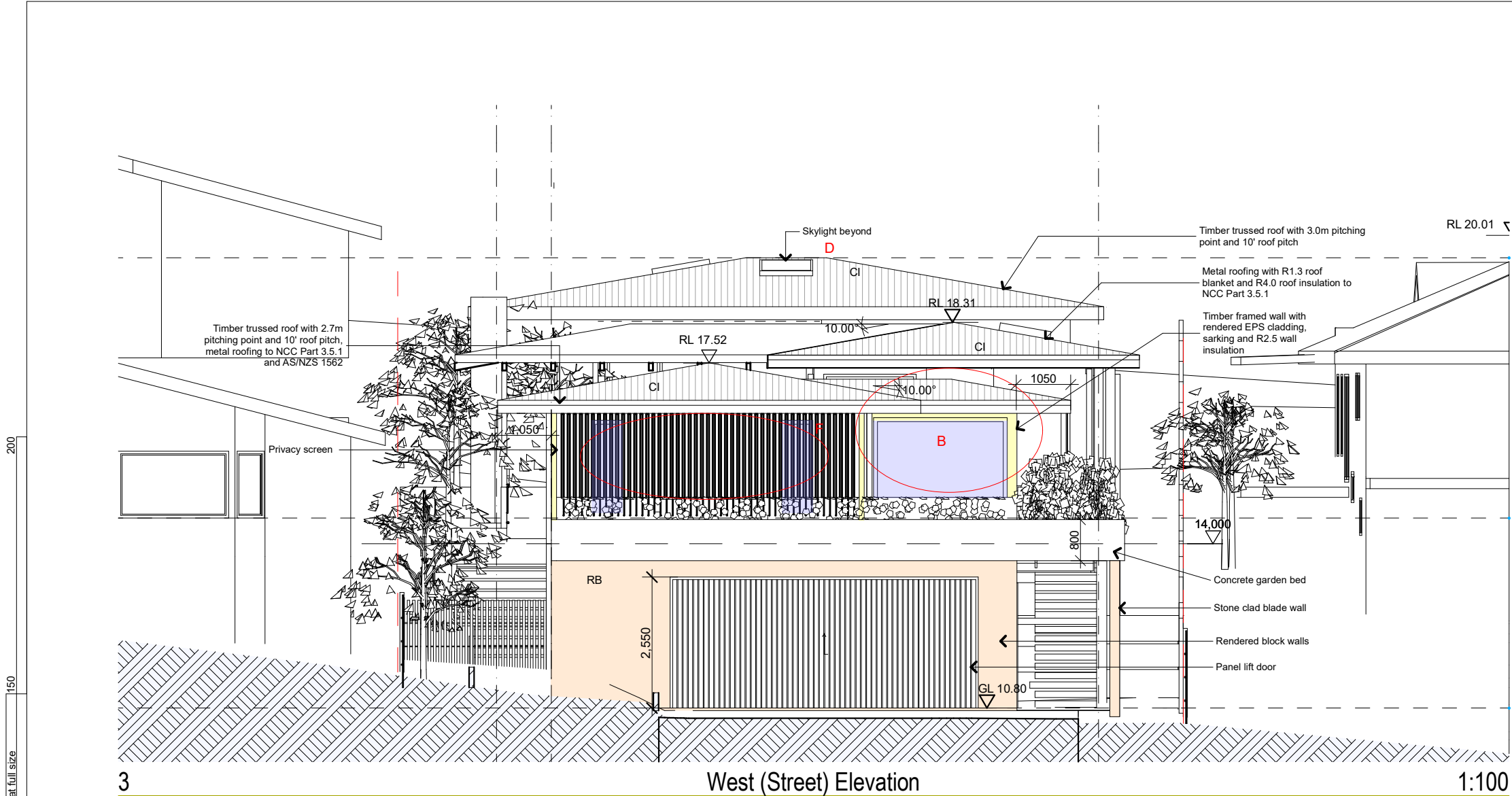
Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No: Drawing No.:

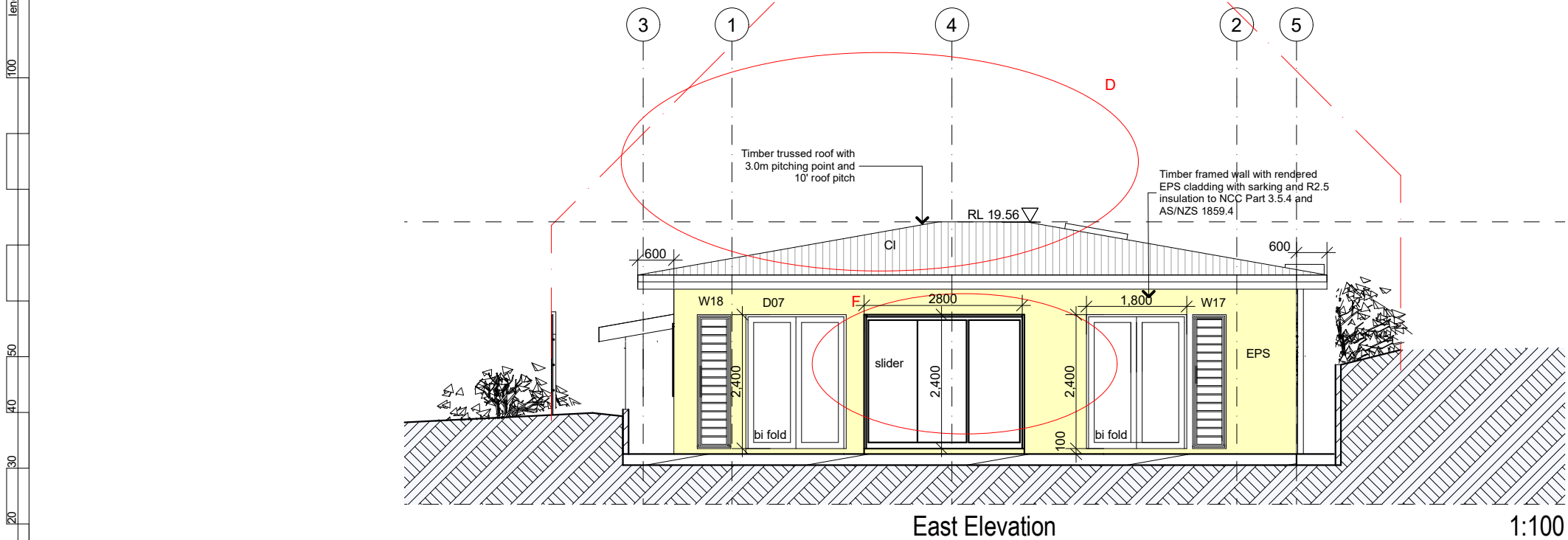
2022 02 DA04

Plot Date: 25/05/2023



West (Street) Elevation

1:100



East Elevation

1:100

List of Modifications

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C- Increase to ground floor area
- D- Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G - Remove Spa

Steve Halpin 3 Orana Road Mona Vale			Basic Requirements Summary Single Dwelling Prepared by Chapman Environmental Services www.basiscertificates.com.au 1300 004 914						
NSW		2103							
Water Target	40	Water Score	41						
Energy Target	50	Energy Score	88						
Max. Heating Load is (MJ/m²)	42	Actual Heating Load	31.7			  			
Max. Cooling Load is (MJ/m²)	26.1	Actual Cooling Load	26.1						
Basic Commitments									
Landscaping	Total area of garden & lawn (m²)		400	Area of indigenous/low water use plants (m²)		0			
Fixtures	Shower heads		4 star (> 6 but <= 7.5 L/min)		Toilets	4 star		All taps 4 star	
Alternative Water (House only)	Minimum Rainwater tank size (L)		5000		Collect run off from roof area of at least (m²)				148
	Toilet connection Yes	Laundry connection Yes	Landscape connection Yes		Pool top up Yes		Spa top up n/a		
Pool and Spa	Max pool volume (kL) Pool heating		34 Solar (gas boosted)		Pool does not require a cover		Pool pump must have a timer		
Energy	Hot water system	Gas instantaneous			Rating	6 star			
	Bathroom ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Kitchen ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Laundry ventilation	Natural ventilation only, or no laundry							
	Cooling - living areas	Ceiling fans + 3-phase airconditioning			Rating	EER 3.0 - 3.5			
	Cooling - bedrooms	Ceiling fans + 3-phase airconditioning			Rating	EER 3.0 - 3.5			
	Heating - living areas	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Heating - bedrooms	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Alternate Energy	Photovoltaic system able to generate at least 12kw			peak kilowatts of electricity				
	Gas cooktop & electric oven	Outdoor clothesline required			No indoor clothesline required				
Thermal Performance Assessment Based on the Following Requirements									
Floor Types	Concrete slab on ground		with		R1.1 under slab insulation				
	Suspended concrete slab		with		R1.1 underslab insulation				
Floor Coverings	Tiles	Wet areas		Timber	Living				
	Carpet	Bedrooms / Rumpus		Concrete	House living				
External Walls	Brick veneer	with		Sarking and R2.5 bulk insulation		Colour	Light		
	Timber framed Polystyrene clad	with		Sarking and R2.5 bulk insulation		Colour	Light		
Internal Walls	Plasterboard	with		R2.5 bulk insulation to bath and laundry walls only					
Ceiling (floor over)	Rendered concrete	with		R1.1 underslab insulation to garage ceiling only					
Ceilings (roof over)	Timber above plasterboard.		with		R6.0 bulk insulation				
Roof	Metal (ventilated)		with		R1.3 roof blanket		Colour	Dark	
Windows and Doors	AF double glazed LowE Grey		Fixed Glass		AWS-067-16 U-Value 2.33 or less SHGC 0.35 +/- 5%				
	to all windows and glazed doors unless noted otherwise		Sliding Doors		AWS-089-73 U-Value 2.63 or less SHGC 0.41 +/- 5%				
			Hinged Door		AWS-018-20 U-Value 4.42 or less SHGC 0.34 +/- 5%				
	Louvers, Sliding windows & D-Hung windows single glazed		OHung Windows		VAN-002-18 U-Value 5.01 or less SHGC 0.35 +/- 5%				
			Louvers		VAN-004-07 U-Value 6.14 or less SHGC 0.45 +/- 5%				
			Bifold Doors		AWS-016-20 U-Value 4.63 or less SHGC 0.35 +/- 5%				
			Sliding Windows		AWS-001-21 U-Value 4.53 or less SHGC 0.43 +/- 5%				
AF = Aluminium Framed TB = Thermally Broken Aluminium Framed TF = Timber Framed									
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent									
Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed									
All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA									
If there is a discrepancy between this document and the Natethers Certificate, then the Natethers Certificate shall take precedence									
Notes									

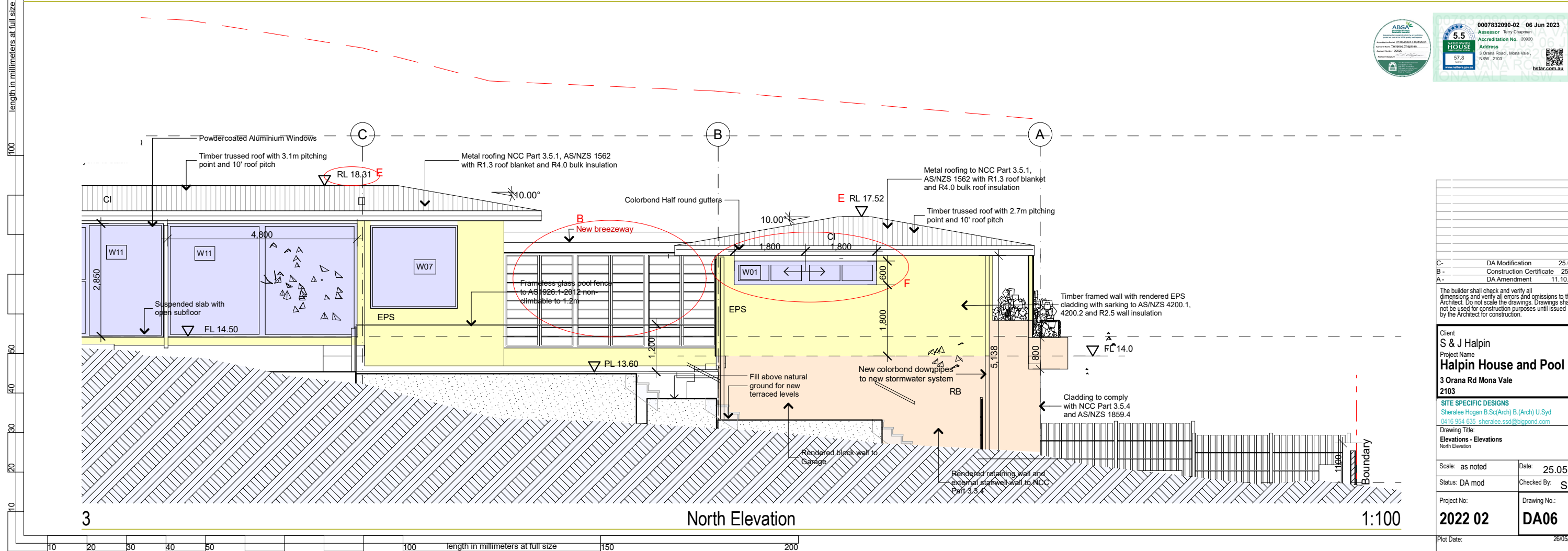
This document to be read in conjunction with the Basic Certificate and Natethers Universal Certificate

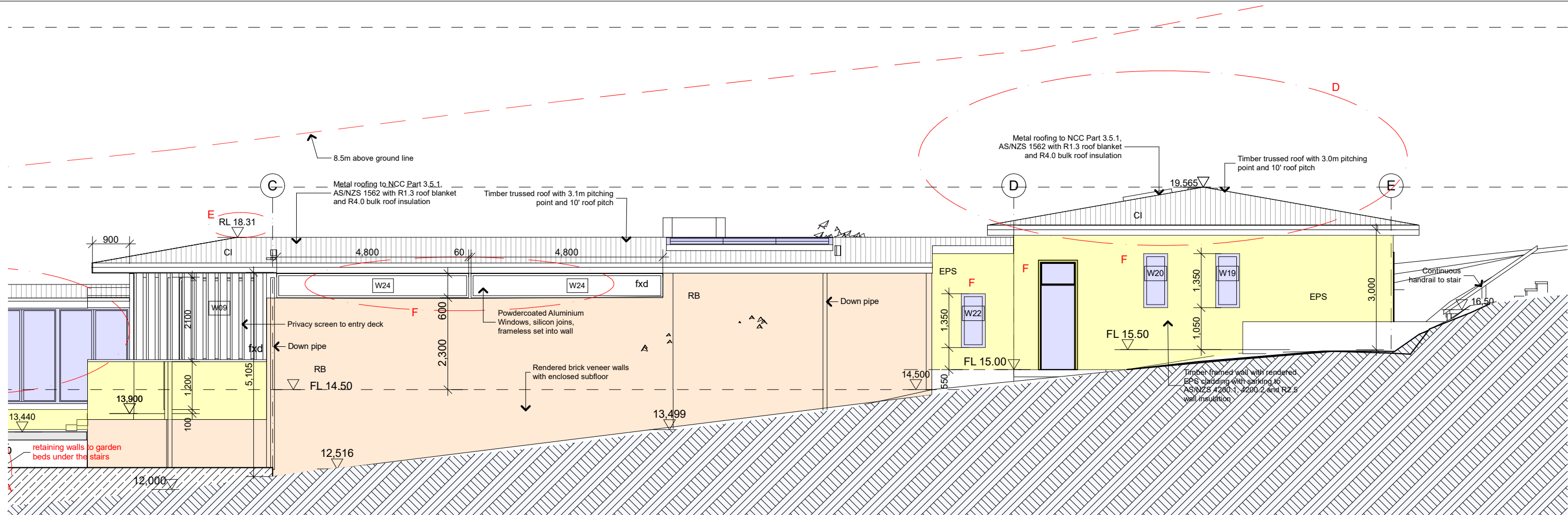
C-	DA Modification	25.05.23
B-	Construction Certificate	25.01.23
A-	DA Amendment	11.10.22

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Client		S & J Halpin	
Project Name		Halpin House and Pool	
3 Orana Rd Mona Vale		2103	
2103			
SITE SPECIFIC DESIGNS			
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd			
0416 954 635 sheralee.ssd@bigpond.com			
Drawing Title:			
Elevations - Elevations			
West (Street) Elevation, East Elevation			
Scale:	as noted	Date:	25.05.23
Status:	DA mod	Checked By:	SH
Project No:	2022 02	Drawing No.:	DA05
Plot Date:	25/05/2023		

- A- Remove gym and add retaining walls to garage level
- B- Change Studio to Masterbedroom and connect with Breezeway
- C-Increase to ground-floor area
- D-Remove approved first floor
- E- Modified roof height and shape
- F- Modified windows and doors
- G- Remove Spa





South Elevation

- List of Modifications**
- A- Remove gym and add retaining walls to garage level
 - B- Change Studio to Masterbedroom and connect with Breezeway
 - C- Increase to ground floor area
 - D- Remove approved first floor
 - E- Modified roof height and shape
 - F- Modified windows and doors
 - G - Remove Spa

C-	DA Modification	25.05.23
B -	Construction Certificate	25.01.23
A -	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

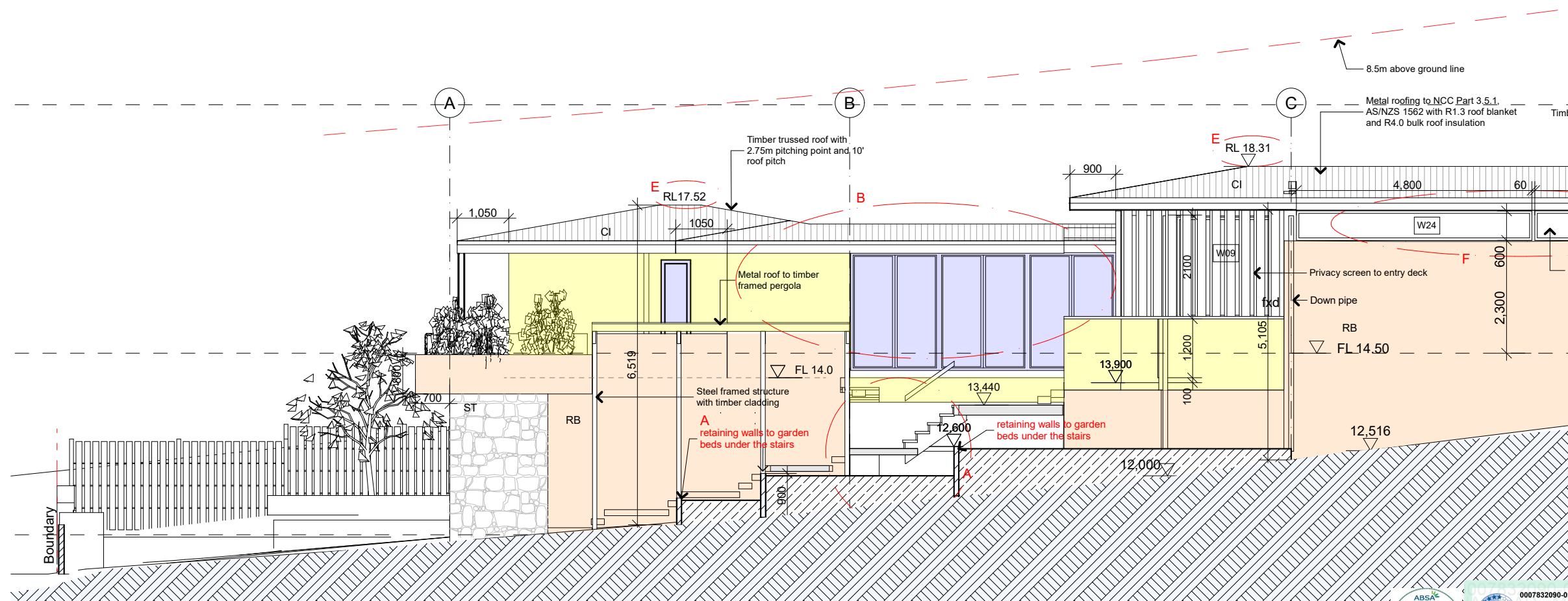
Drawing Title:
Elevations - Elevations
South Elevation

Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

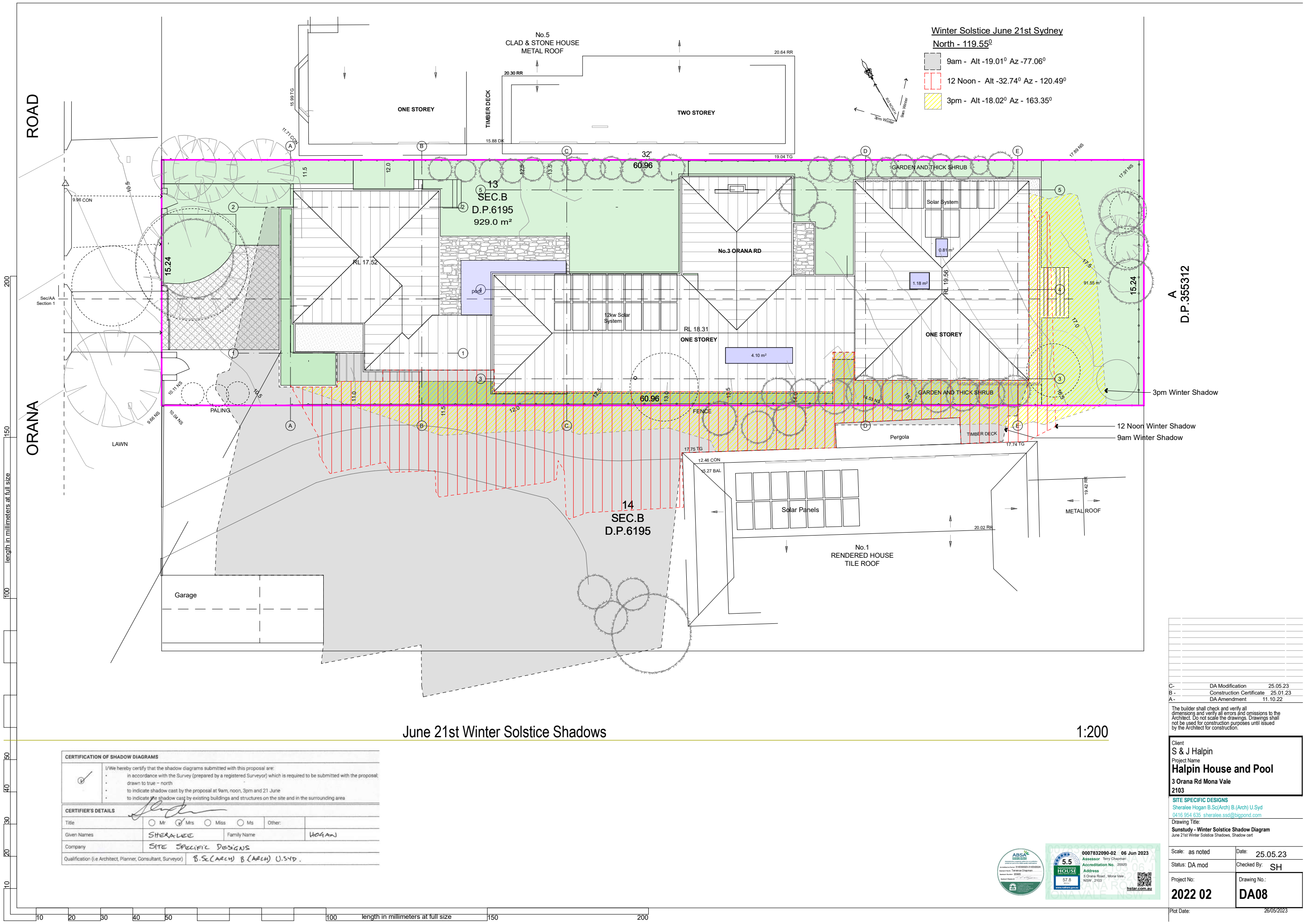
Project No: **2022 02** Drawing No.: **DA07**

Plot Date: 26/05/2023



South Elevation





June 21st Winter Solstice Shadows

1:200

CERTIFICATION OF SHADOW DIAGRAMS	
I/We hereby certify that the shadow diagrams submitted with this proposal are: • in accordance with the Survey (prepared by a registered Surveyor) which is required to be submitted with the proposal; • drawn to true - north • to indicate shadow cast by the proposal at 9am, noon, 3pm and 21 June • to indicate the shadow cast by existing buildings and structures on the site and in the surrounding area	
CERTIFIER'S DETAILS	
Title	☐ Mr ☒ Mrs ☐ Miss ☐ Ms ☐ Other:
Given Names	SHERALEE
Family Name	HOGAN
Company	SITE SPECIFIC DESIGNS
Qualification (i.e Architect, Planner, Consultant, Surveyor)	B.Sc (ARCH) B (ARCH) U.S.Y.D.

C-	DA Modification	25.05.23
B -	Construction Certificate	25.01.23
A -	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Sunstudy - Winter Solstice Shadow Diagram
June 21st Winter Solstice Shadows, Shadow cert

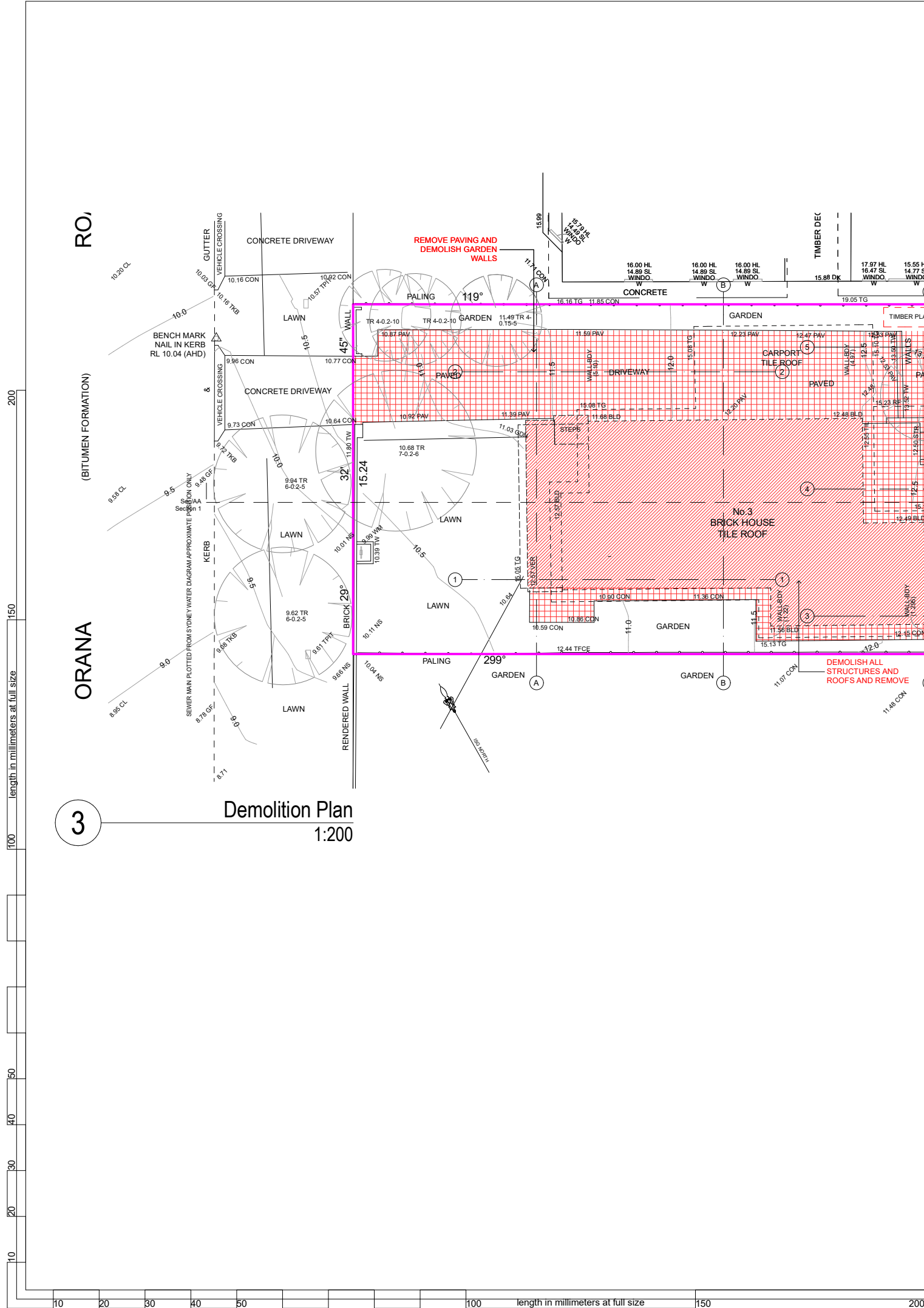
Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No: 2022 02 Drawing No.: DA08

Plot Date: 26/05/2023





Demolition Plan
1:200

C-	DA Modification	25.05.23
B -	Construction Certificate	25.01.23
A -	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Details - Demolition Plan
Demolition Plan

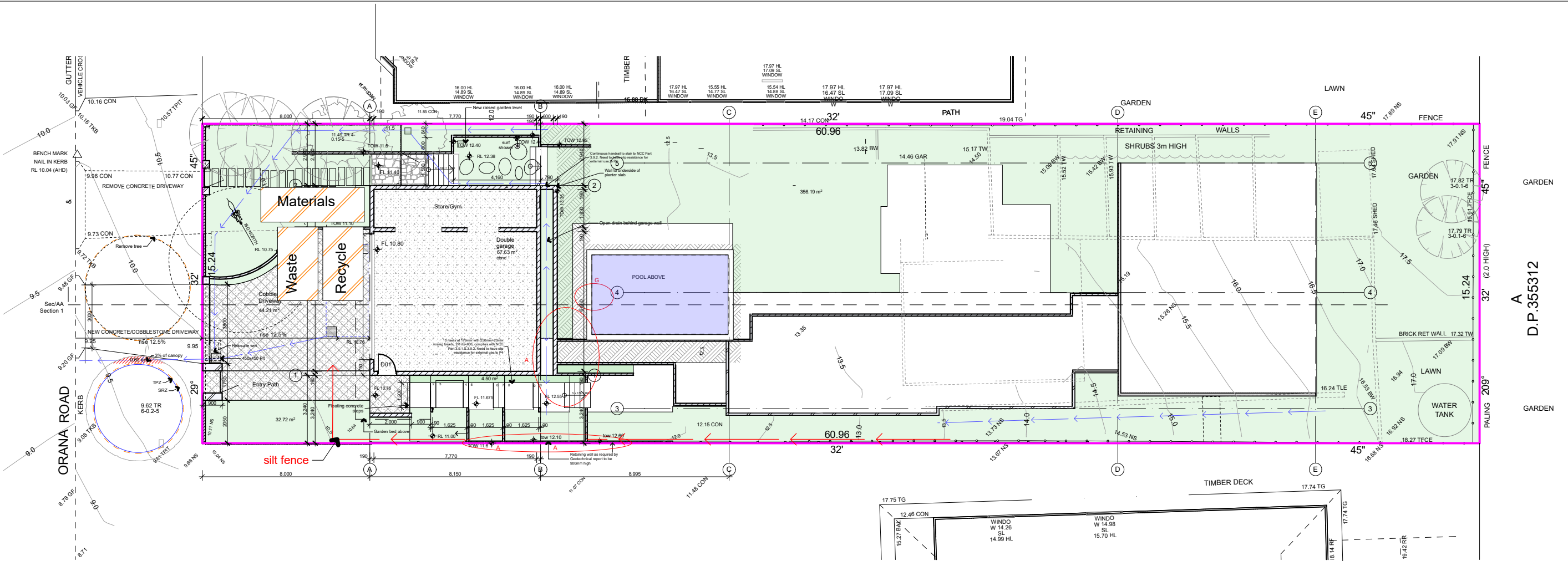
Scale: as noted Date: 25.05.23

Status: DA mod Checked By: SH

Project No: 2022 02 Drawing No.: DA 09

Plot Date: 26/05/2023



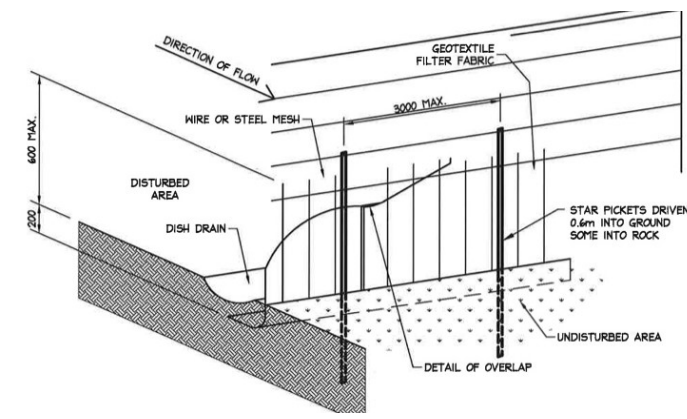


1 Stormwater and Site Management

1:200

Polution Prevention

- Use the following measures to prevent pollution on site;
1. restrict access to one stable entry and exit point
 2. install and maintain adequate sediment and erosion controls
 3. preserve grassed area and the maximum cover of natural vegetation by minimising the amount of land disturbed.
 4. ensure that stockpiles of sand, gravel, soil, and similar materials are located so that the material doesn't spill onto the road or pavement, wash into drainage lines, watercourses or depressions.
 5. minimise on site vehicle activity during wet weather
 6. Do not pump or allow any unclean water to enter the stormwater system from excess materials or cleaning tools.
 7. Sediment fences are to be laid along the contour as much as possible and are to be of suitable geotextile fabric and supported every three metres with star pickets and a lower trench depth of 150mm



4 Silt fence

C -	DA Modification	25.05.23
B -	Construction Certificate	25.01.23
A -	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Details - Sediment and Erosion Plan
Stormwater and Site Management, Silt fence, pollution

Scale: as noted Date: 25.05.23

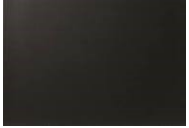
Status: DA mod Checked By: SH

Project No: 2022 02 Drawing No.: DA 10

Plot Date: 26/05/2023



External Finishes Schedule
3 Orana Rd, Mona Vale
June 2022

Item	Description	Finish	Colour	Image
Lightweight Cladding	50mm EPS Cladding	Fine Render and Acratex Paint	Dulux Snowy Mountain Qtr	
External Walls	Brick and Block Walls	Fine/Smooth Cement render, Acratex paint	Dulux Snowy Mountain	
Tiled Decking	Deck and Pool coping - Travertine	Non slip, matt	Natural	
Selected External Doors	Garage Door, Front Door. Timber framed	Stained cedar or Hardwood TBS	Varies, brown/grey	
Doors and Windows	Aluminium	Powdercoated Matt TBC	Colorbond Monument	
Roof	Colourbond Snaplok/Kliplok	Matt Powdercoated	Colorbond Monument or Black Zinc TBC	
Gutters and downpipes	Half round gutters and downpipes	Zinc	Black Zinc	

Item	Description	Finish	Colour	Image
Flooring	Polished Concrete	Exposed aggregate TBS	Varies	
Sandstone Cladding	Sandstone split rock face blocks and tiles	Natural	Varies	
Concrete Garden bed	Concrete	Steel formwork for smooth finish	Varies, silver/grey	
Timber Posts, Screens	Iron bark Hardwood	Natural oiled	Varies, brown/grey	
Driveway	Cobblestone	Natural with charcoal grout	Varies/ grey	

