

Our ref P-08-123
Council ref CC0281/08

Environmental Compliance
8am to 5 30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

19 May 2008

Annabelle Chapman Architect Pty Ltd
2 Taunton Street
PYMBLE NSW 2073

COPY

Dear Ms Chapman

**Re Construction Certificate CC0281/08
Property 889 Barrenjoey Road, Palm Beach**

Please find enclosed your approved Construction Certificate and stamped plans

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA)

If appointed as the PCA, Council would engage the services of Tom Miskovich & Associates Pty Ltd to carry out the various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your completed "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out on behalf of Council

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development

Yours faithfully

Development Compliance Group

Per Tom Miskovich & Associates Pty Ltd

Approved Construction Certificate CC0281/08

Site Details 889 Barrenjoey Road, Palm Beach
Legal Description Lot 4 DP13620
Type of Development Building Work
Description Modification to previous approval - Alterations to Master Bedroom
Window and lower adjoining roof to accommodate the change

COPY

Associated Development Consent No N0699/03 Dated 6 February 2004
(modified 28 September 2007)

Building Code of Australia Classification Class 1a

Details of plans, documents or Certificates to which this Construction Certificate relates

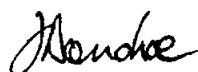
- **Architectural documentation prepared by Annabelle Chapman Architect Pty Ltd**

Drawing no DA01	Site Plan	Undated
Drawing no DA02	Floor Plan	Undated
Drawing no DA03	Elevations W + S	Undated
Drawing no DA04	Sections	Undated
Drawing no CC01	Sections	Undated
Drawing no CC02	Sections	Undated
- **Specification for Construction Certificate prepared by Annabelle Chapman Architect Pty Ltd, dated February 2008**
- **Letter from Annabelle Chapman Architect Pty Ltd confirming compliance with various BCA matters, dated 19 May 2008**
- **Geotechnical Risk Management Policy Form 2 dated 8 May 2008**
- **Structural Plan no S1 by Partridge Partners, dated December 2007**
- **Part 3A Permit from Department of Infrastructure, Planning and Natural Resources dated 18 November 2003**

I hereby certify that the above plans, documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No 0699/03 (as modified)

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979



Issued By Tom Donohoe
Accreditation Number BPB0096
Pittwater Council Consultant
Building Surveyor

Date of Endorsement 19 May 2008

Note You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand

This form is valid from
1st July 2007 to 30 June 2008



PITTWATER COUNCIL

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent
Note *The builder or other contractor cannot complete this form unless they are also the owner of the property*

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form), must be paid prior to release of the certificate to the applicant

Pittwater Council

Tel (612) 9970 1111

Fax (612) 9970 7150

Mona Vale Customer Service
Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service
59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address
PO Box 882
MONA VALE NSW 1660

This form is valid from
1st July 2007 to 30 June 2008

1 DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No N0699/03	Determination Date 6 February 2004 (as modified 28 September 2007)
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No CC0281/08	Date of Issue 19 May 2008
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1c) DEVELOPMENT DETAILS

Type of Work <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development Modification to previous approval - Alterations to Master Bedroom Window and lower adjoining roof to accommodate the change
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1d) SITE DETAILS

Unit/Suite	Street No 889	Street Barrenjoey Road
Suburb PALM BEACH NSW 2108		Lot No 4 Deposit /Strata Plan DP13620

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works \$35 000 00

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works
Date of commencement

2 APPLICANT DETAILS

Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Name (owner) Mr and Mrs Ian Kennedy	
Postal Address 11 Alton Street WOOLLAHRA NSW 2025	Phone (H/B) 9328 0141 Mobile 0414 303 030 Email N/A Fax 9328 7515

This form is valid from
1st July 2007 to 30 June 2008

3 PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph 9970 1111
Fax 9970 7150

4 COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note If **NO** work must not commence

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended) Penalties may include an on-the-spot fine and/or legal action

If you are uncertain as to these requirements please contact Council's Development Compliance Group

5 WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder
Owner Builders Permit No

Copy of Owner Builders permit
attached ☐ YES

***If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia
Tel 61 2 98950111 Fax 61 2 9895 0222***

OR

X Licensed Builder Builder's License Number 182773C	
Name of Builder River Run Design Pty Ltd	Phone 9918 8427
Contact person Mr Ian Thomas	Mobile 0413 672 924
Address 2 Urara Road AVALON NSW 2107	Fax 9918 8427
Insurance Company CGU Insurance Limited	Insurance Certificate attached X Yes <input type="checkbox"/> No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application</i>	

6 RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct

6b) Site Signage

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA

6c) Inspections

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections

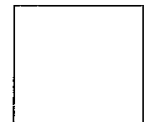
6d) Critical Stage and other inspections

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box)

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☐ Footing Inspection (prior to placement of concrete)
- ☐ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☐ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Office Use Only

Note Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable

Eg If two slabs are prepared at separate times, two separate inspection bookings and fees are required

6e) Critical Stage and other inspection fees

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required

This form is valid from
1st July 2007 to 30 June 2008

Each inspection fee must be paid at the time of requesting the inspection

Fee Scale current to 30 June 2008

Critical Stage or other Inspection and re-inspections, including Final	\$238	(Code HINR)
Issue of Interim Occupation Certificate	\$320	(Code FOCC)
Issue of Final Occupation Certificate	\$320	(Code FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate

6f) Inspection Results

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection

7 RESPONSIBILITIES OF THE APPLICANT

7a) Inspections

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement

7b) Booking of Inspections

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement

7c) Site Signage

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display (a) the name, address and telephone number of the person, (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited"

7d) Compliance with the Development Consent and Construction Certificate

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings

7e) Structural Engineering and Other Specialist Details

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards

Note Council's Development Compliance Officer will complete this section of the form

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions



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7f) Certification of Works

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out

Each certification must

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council

Note Council's Development Compliance Officer will complete this section of the form

- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer
- ☐ Underpinning works by a structural engineer
- ☒ Structural engineering works by a structural engineer
- ☐ Retaining walls by a structural engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☐ Mechanical ventilation by a mechanical engineer
- ☐ Termite control and protection by a licensed pest controller
- ☒ Installation of roof sheering by licensed builder
- ☒ Installation of glazing by a licensed builder
- ☐ Installation of smoke alarm systems by a licensed electrician
- ☒ Installation of balustrades by licensed builder
- ☐ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer



Office Use Only

Office Use Only

7g) Occupation Certificate

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8 **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature

Date

9 **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed. Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name

on behalf of Pittwater Council

Officer's signature

Date

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to act as the Principal Certifying Authority for the development
Intended recipients	Pittwater Council staff
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	Pittwater Council will store details of this form in a register that can be viewed by the public
Retention period	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

SEE FILE NOTE

Our Ref ERM2003/004023

Your Ref DA699/03 File No 9010832

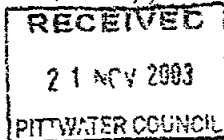
EMAIL FROM

ANNABELLE

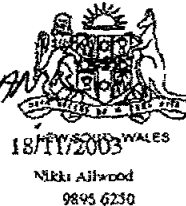
Attention Robyn Rehua

The General Manager
Pittwater Council
PO Box 882

MONA VALE NSW 1660



Contact Officer



Dear Sir/Madam

Re: Integrated Development - 889 Barrenjoey Road, Palm Beach

The Department of Infrastructure, Planning and Natural Resources has reviewed the subject development application for works within 40 metres of a watercourse/foreshore for the purposes of the Rivers Foreshores Improvement Act (1948). The department proposes to issue General Terms of Approval for the development as presented.


Enclosed are the department's General Terms of Approval (GTA's) and the Part 3A Permit. The GTA's are to be included as part of any consent granted.


- 1 The department requires notification if the documents are amended, only if these amendments change or result in additional 'works' in or within 40 metres of a watercourse/foreshore. Once notified, the department will ascertain if the amended plans require review and variation/s to the GTAs. This requirement applies even if the proposed 'works' are part of the consent authority's proposed consent conditions and the 'works' do not appear in the original documents. Failure to notify amendments within the 40 metre zone may make the consent invalid.
- 2 The department requests notification if there is any legal challenge to the consent as the department may wish to participate in the matter if appropriate.
- 3 Please note under Section 91A (6) of the Environmental Planning and Assessment Regulations (1994), the consent authority must provide the department with a copy of any determination/s including refusals.

Attached please find a Permit issued under Part 3A of the Rivers and Foreshores Improvement Act (1948). PLEASE ISSUE THIS PERMIT to the applicant together with consent but ONLY IF CONSENT IS GRANTED.

Please direct any questions or correspondence to the Environmental Review Coordinator (02) 9895 7978

Yours sincerely


for Marwan El-Chamy
Manager, Resource Access, Sydney South Coast
Department of Infrastructure, Planning and Natural Resources

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0281/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	 TMA
Date	19 MAY 2008

Department of Infrastructure, Planning and Natural Resources
Sydney Metropolitan Office Level 12 10 Valentine Avenue, Parramatta NSW 2150, PO Box 3720 Parramatta 2124
Telephone: (02) 8896 6275 Facsimile: (02) 8895 6227

DataWorks Document Number 1754564

DataWorks Document Number 2874619

DEPARTMENT OF INFRASTRUCTURE,
PLANNING AND NATURAL RESOURCES
Rivers and Foreshores Improvement Act (1948)



General Terms of Approval

FOR INTEGRATED DEVELOPMENT

889 Barrenjoey Road, Palm Beach

Lot, DP 4/13620

DA Number DA699/03

LGA Pittwater

ERM2003/004023

File No 9010832

- 1 All works proposed must be designed, constructed and operated to minimise sedimentation erosion and scour of the banks or bed of the watercourse/foreshore and to minimise adverse impacts on aquatic and riparian environments
- 2 Erosion and sediment control measures are to be implemented prior to any works commencing at the site and must be maintained for as long as necessary after the completion of works, to prevent sediment and dirty water entering the watercourse/foreshore environment. These control measures are to be in accordance with the requirements of Council or the consent authority and best management practices as outlined in the NSW Department of Housing's "Managing Urban Stormwater: Soils and Construction" Manual (1998) - the Blue Book
- 3 The Part 3A Permit from the Department is issued for works on FREEHOLD land only. This Permit is null and void for any works on Crown Land.
- 4 Rehabilitation of the area in accordance with the 3A Permit Conditions or any direction from the Department is the responsibility of the Permit holder and owner or occupier of the land.
- 5 Work as executed survey plans of a professional standard and including information required by the Department shall be provided to the Department, on request.
- 6 If, in the opinion of a Departmental Officer, works are carried out in such a manner that they may damage or adversely affect the watercourse or foreshore environment, the Departmental Officer may issue an oral or written direction to immediately stop all work/s.
- 7 If any of the Department's Part 3A Permit Conditions are breached, the Permit holder shall restore the site in accordance with these Conditions and any other necessary remedial actions as directed by the Department. If any breach of the Part 3A Permit Conditions requires a site inspection by the Department, then the permit holder shall pay a fee prescribed by the Department for this inspection and all subsequent breach inspections.

Special Conditions:

END OF CONDITIONS

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0281/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	LM TMA
Date	19 MAY 2008

DEPARTMENT OF INFRASTRUCTURE, PLANNING AND NATURAL RESOURCES

PERMIT UNDER PART 3A OF
THE RIVERS AND FORESHORES
IMPROVEMENT ACT 1948



NEW SOUTH WALES

Name and Address of Permit Holder

W Kennedy
889 Barrenjoey Road
Palm Beach NSW 2108

Permit Number

EFM2003/004023

Date Permit Issued

as per date of issue of
Council Consent

Date Permit Expires

as per expiration date of
Council Consent

By granting this Permit, the Department does not in any way release the owner/s
from their obligations to fully comply with any covenants, regulations and
restrictions imposed by other Authorities
This permit is ONLY VALID for period of Council consent.

DIPNR File Number 9010832

Name of Stream Careel Bay Catchment: Pittwater

Purpose/Proposal Being for works on, in or under protected lands and/or waters as defined
by the Rivers and Foreshores Improvement Act (1948)

Location of Works. 889 Barrenjoey Road Palm Beach
Lot/DP 4/13620

Portion Parish Narrabeen County Cumberland

LGA: Pittwater DA Number DA699/03

Map Name UBD 99 A7 Eastings 344670 Northings: 6279310

Description of Works. first floor additions pool and deck

SEE REVERSE FOR STANDARD PERMIT CONDITIONS

Special Conditions

APPROVED BY REGIONAL DIRECTOR PER:

[Signature]
Signature of Authorised Officer
Date 18/11/2003

FOR FURTHER INFORMATION PLEASE CONTACT:

Sent To: Nikki Allwood
Phone: 8895 6250
Fax: 8895 7222

Department of Infrastructure, Planning and Natural Resources, Sydney South Coast
Macquarie Tower, 10 Valentine Avenue, Parramatta, NSW, 2150.
PO Box 3935, Parramatta, NSW, 2124.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number CC 028/08

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate

Endorsed by *[Signature]* Date 19 MAY 2008

STANDARD CONDITIONS FOR WORKS IN OR NEAR WATERCOURSES/FORESHORES

- 1 These Conditions apply only to the works granted on this site, under the subject Development Application.
- 2 Works are to be carried out in accordance with the plans presented to the Department of Land and Water Conservation (DLWC) for the subject Development Application.
- 3 All works proposed must be designed, constructed and operated so they minimise sedimentation, erosion and scour of the banks or bed of the watercourse/foreshore and adverse impacts on aquatic and riparian environments.
- 4 Erosion and sediment control measures are required to be implemented prior to any works commencing at this site and maintained, for as long as necessary after the completion of works, to prevent sediment and dirty water entering the watercourse/foreshore environment. These control measures are to be in accordance with the requirements of the Consent Authority and best management practices as outlined in the NSW Department of Housing's 'Managing Urban Stormwater: Soils and Construction' (1998) Manual (the 'Blue Book').
- 5 This Permit is issued for works on FREEHOLD land only. This Permit is null and void for any works on Crown Land.
- 6 Rehabilitation of the area in accordance with the Permit Conditions or any direction from DLWC is the responsibility of the Permit holder and the owner or occupier of the land.
- 7 Work as executed survey plans of a professional standard and including information required by DLWC shall be provided to DLWC on request.
- 8 If, in the opinion of a DLWC officer, any activity is being carried out in such a manner that it may damage or adversely affect the stream or foreshore environment, then all work shall cease immediately upon oral or written direction of such an officer.
- 9 If these Permit Conditions are breached the Permit holder shall immediately restore the site in accordance with these Conditions and any other necessary remedial actions as directed by DLWC. If any breach of the Permit Conditions requires a site inspection by DLWC, then the permit holder shall pay a fee prescribed by DLWC for this inspection and all subsequent breach inspections.

END OF CONDITIONS

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	CC 0281/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	W TMA
Date	19 MAY 2008

DataWorks Document Number 1754564

DataWorks Document Number 2874619

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 - To be submitted with detailed design for construction certificate**

Development Application for _____
Name of Applicant
Address of site 889 BARRENJOEY ROAD, PALM BEACH

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design
Nicholas Joannides on behalf of PARTRIDGE PARTNERS
(insert name) (trading or company name)

on this the 8TH MAY, 2008

(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details:

Report Title RISK MANAGEMENT REPORT FOR 889 BARRENJOEY ROAD PALM BEACH
Report Date: 1ST OCTOBER, 2003
Author JACK HODGSON

Structural Documents List
DRAWING NO 2007 0016 S1

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Nicholas Joannides NICHOLAS JOANNIDES
(insert name) (signature name)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 1/10/03 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified. In the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature J Hodgson
Name J HODGSON
Chartered Professional Status MEMBER FIEAust
Membership No. 149 788
Company Jack Hodgson Consultants Pty Ltd



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	<u>CC 0281/08</u>
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	<u>LI TMA</u>
Date	<u>19 MAY 2008</u>

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer I hold the following qualifications M Eng Sc FIE Aust N Per 3 Civil & Structural No. 149788 Further I am appropriately qualified to certify the geotechnical component of the project

I hereby state that the geotechnical content of these plans or details comply with the conditions of development consent and the provisions of the Building Code of Australia 2003, or appropriate Australian industry standards

JACK HODGSON 8/5/08 *J. Hodgson*

Name Date

STAIRS

Eaves →

A

Ex. Beam Under. →

← Ex wall over.

R1 - 150 x 45 LVL @ 450 CTS.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number CC 0281/08

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Endorsed by *W TMA*

Date 19 MAY 2008

PART PLAN - 1ST FLOOR

All holding down a Pexing to AS 1684

TRIPLE CRIP CONNECTORS EACH PAPER

TRIPLE CRIP CONNECTORS EACH PAPER

R1

EX. BEAM

EX. FUL

CEILING JOISTS

SECTION A-A

Liability limited by a scheme approved under Professional Standards Legislation

<p>Partridge Partners</p> <p>Engineering Consultants Structural Civil Mechanical Electrical</p> <p>Level 4 1 Channon Street St Leonards NSW 2055 Tel 9460 9000</p>	Project Title PROPOSED ALTERATIONS 889 BARRENJURY ROAD PALM BEACH.		Approved <i>[Signature]</i> DATE, AUSTR	
	Drawing Title ALTERED EXISTING ROOF DETAILS.		Scale at A4 —	Date DEC '07
			Job No 2007.0616	Drawing No S1

SPECIFICATION FOR

889 BARRENJOEY RD

PALM BEACH

FOR CONSTRUCTION CERTIFICATE

February 2008

SECTION A	PREAMBLE
SECTION B	SITE CLEARANCE
SECTION C	METALWORKER
SECTION D	CARPENTER
SECTION E	JOINER
SECTION F	ROOFER
SECTION G	INTERNAL LININGS
SECTION H	DRAINER
SECTION J	ELECTRICIAN
SECTION K	PAINTER
SECTION L	GLAZIER

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ANNABELLE CHAPMAN ARCHITECT PTY LTD
2 Taunton Street Pymble NSW 2073
ph 02 9449 6523 f 02 9449 309 m 0412 665412 achapman@optusnet.com.au N S W A R B Reg No 4921

SECTION A - PREAMBLE

A.01 THE CONTRACT

Mr & Mrs Ian Kennedy, - here in after referred to as the **Proprietor/Owner** - will be contracting the construction of the alterations and additions to their house at 889 BARRENJOEY ROAD, PALM BEACH, NSW with a licenced **Builder**

A.02 DEFINITIONS

Proprietor/Owner	Mr & Mrs Ian Kennedy 11 Alton Street Woollahra NSW 2025
Builder	TBA
Architect	Ms Annabelle Chapman Annabelle Chapman Architect Pty Ltd 2 Taunton Street, PYMBLE, NSW ph (02) 9449 6523 f (02) 9449 3097 m 0412 665412 a.chapman@optusnet.com.au

A.03 REGULATIONS AND NOTICES

The Builder is to comply with the *Building Code of Australia*, the requirements of *Pittwater Council* the provisions of the *Builders Licensing Act, 1971*, and regulations of any other duly gazetted Consent Authority, including the details from the Structural Engineers, *Partridge Partners* and the Risk Management Statement from Jack Hodgson Consultants prepared 23 10 06

The Builder will receive all Notices, obtain all permits and pay all Fees required by such authorities

A.04 THE AGREEMENT

The Agreement and Conditions of Building Contract between the Builder and Owner shall be the **ABIC BW-1 2002 Basic Works Contract** (Australian Building Industry Contract) for building works issued by the NSW Chapter of the Royal Australian Institute of Architects and Master Builders Australia Incorporated

A.05 DRAWINGS AND SPECIFICATIONS

The Drawings and Specifications shall form part of the Contract and shall be read in conjunction Any item not shown on the Drawings but specified, and vice versa, shall be included in the works

The Builder shall provide everything necessary for the proper execution of the works, whether or not shown on the Drawings or described in the Specifications, provided the same may be reasonably inferred there from or is usual and proper in the case of the work generalised

Figured dimensions are to be followed in preference to scaling
Where an item is SUPPLY ONLY this will be expressly stated

No variation will be allowed for any error or omission arising from neglect of any provisions in these Specifications

A.06 VARIATIONS

Variations from these Specifications and Drawings involving additional costs or extensions of time shall not be carried out unless authorised by the Architect

Claims for variations shall be complete including itemised cost of materials and labour and other expenses

A complete list of variations shall be submitted at the same time as Builder's claim for Progress Payment

A.07 TIME FOR COMMENCEMENT AND COMPLETION

The project is to Commencement and Completion - TBA

A.08 PROGRESS PAYMENTS

Claims for Progress payments shall be broken down to show the value of the work completed, and the materials on site for each major operation or trade, and the percentage of each trade completed

A.09 INSURANCE

Effect insurance in accordance with the Contract Conditions

Before commencement of work on site and after signing the contract, submit the following cover notes

- 1 Public Risk Insurance to cover injury and/or death to any persons, and damage to any property due to the carrying out of these works Policy to be in the joint names of the Builder and Owner Include the use of scaffolding and hoists
- 2 Workers Compensation Policy to provide indemnity in respect of the Workers compensation Act of NSW
- 3 A Contractors All Risks Policy duly endorsed and extended to cover 1

A.10 ENVIRONMENTAL PROTECTION

Delivery of materials to site and space for storage of such materials will be allowed only in accordance with the arrangements entered into between the Builder and the Owner The Owner will not be responsible for any goods and materials stored by the Builder on the site

The Builder shall be responsible for the proper disposal of all wastes and debris from the site Refuse and demolished materials shall be conveyed to skips in refuse buckets or containers Note that there is a condition of council consent that a WASTE MANAGEMENT PLAN be prepared and submitted prior to Pittwater Council prior to commencement of work on site It is the Builder's responsibility to prepare and submit this document to the satisfaction of Council

A.11 SITE

The site is 889 Barrenjoey Road, Palm Beach The house will be occupied by the Client for the duration of the Works The proposed improvements include construction of a new lowered timber framed roof, roofing and guttering to the new roof, a new window to the upstairs bedroom and a new metal balustrade

The Builder shall satisfy himself as to the true nature and extent of the work to be carried out under this Contract - access levels, public services and all other information affecting the tender Generally, approximate ground levels have been shown on the architectural drawings Reduced levels shown on the drawings are to Australian Height Datum

A.12 EXTENT OF WORK

The work to be carried out is as shown on the Architectural Drawings, the Structural Drawings, and this Specification, to comprise

- Construction of a new lowered timber framed roof, with new roofing to match existing and the reuse of the existing guttering
- New sliding windows to Bedroom 1
- New metal balustrade to the new windows
- Framing of wall around new window
- Plastering wall to match existing in Bed 1
- Making good skirtings and architraves to match existing

A.13 SECURITY AND WATERTIGHTNESS

The Builder shall be responsible for the security of the works at all times Ensure the general water tightness of the building works and make good any portion of the work which may permit entry of damp Make good all water damage

A.14**TEMPORARY SERVICES AND AMENITIES**

Electricity Use on site electricity

Water Use on site water

Telephone Builders responsibility

Sanitary Accommodation Use of existing WC approved by proprietor

Site Office Set up and maintain a site office with table adequate for viewing drawings, and maintain for the duration of the building works – in the existing garage

Drawings Keep in good condition, a full set of current drawings and specifications on site. Destroy superseded drawings immediately

A.15**SURVEY AND SETTING OUT**

Set out building additions to the levels and dimensions shown on the architectural drawings

A.16**NOTICES, FEES, COMPLIANCE**

The Builder is to give all notices and pay all fees and deposits, including those required by Pittwater Council, and collect all plans and apply for all certificates issued by the various authorities

The Builder to comply with all statutes, regulations and requirements of any and all statutory authorities having jurisdiction over the works

A.17**SAFETY**

The Builder shall ensure that all tools, tackle, gear, scaffolds, ladders, hoisting arrangements, machines, explosives, electrical and mechanical appliances and all other plant, machinery and equipment are maintained in a sound condition and are safe for use, and are used in a safe manner, and do not obstruct roadways or pedestrian traffic

The Builder shall provide, erect and maintain all necessary temporary screens, fencing, footways, night lighting, etc for the protection of the works and workers, public, officials, land and property. On completion remove all traces of barriers, etc

The Builder shall not at any time leave any work in an unsafe condition, but shall continue that work until it is at a safe stage

A.18**BUILDERS RESPONSIBILITY**

The Builder shall be responsible for ensuring that all operations and methods of construction, materials and workmanship are safe, sufficient, and in accordance with the Contract documents

A.19**STANDARDS AND QUALITY CONTROL**

Materials unless otherwise specified shall be new and of the best quality of the respective kinds specified, and all subject to the Owner's approval. Remove all condemned and damaged materials promptly from site

Workmanship shall be of first class standard and in accordance with recognised trade practices. Organise efficient cooperation between various trades

Standards Australia - AS Specifications and Codes shall apply to materials and workmanship wherever relevant. Unless otherwise specified, all materials shall comply with the relevant specification

A.20**RESPONSIBILITY FOR SUBCONTRACTORS**

The Builder shall be held responsible for all work, materials, products and operations in connection with any subcontract. He shall be required to take full responsibility for the proper carrying out of all such work for the full term of his contractual responsibility. His responsibility also extends to suppliers

A.21**COOPERATION AND PLANT FOR SUBCONTRACTORS**

In addition to items of work specified in the relevant sections, the Builder shall ensure that each trade shall assist, leave holes for, cut away for, do chasing and drilling for, make good after, and arrange work sequences with every other, in such a manner as to promote the best interest of the work as a whole

Provide all subcontractors with amenities, use of plant, scaffolding, power, etc, for the proper execution of their work. Allow for attendance, cutting away, chasing as required. Remove all rubbish and clean up

A.22 **SCAFFOLDING AND HOISTS**
Provide and erect as required for the use of all trades and in compliance with all Acts and Regulations Dismantle and remove on completion

A.23 **DELAYS AND EXTENSIONS OF TIME**
Claims for extension of time will be dealt with according to the Contract Any claims for extension of time shall be made by the Builder in writing In the case of inclement weather, state
Date - Type of weather - Number of hours lost - Period claimed

A.24 **GUARANTEES**
Prior to the application for the Certificate of Practical Completion, the Builder shall furnish all guarantees from suppliers

A.25 **PROTECTION OF CLIENT'S PROPERTY**
The Builder will take all necessary precautions to protect and maintain the Owner's property during the course of the Contract works The Builder will at his own cost make good any loss or damage to the works, site and client's property occurring as a result of the works Where required, protect floors and internal finishes with protective barriers or clean drop sheets

A.26 **OCCUPATION**
The house at 889 Barrenjoey Road Palm Beach will be occupied throughout the works

A.27 **WORKING HOURS**
The following working hours are to be observed during the course of the works
Monday to Friday 7am to 5 00pm
Saturdays 7am to 1pm
Sundays & Public Holidays no work

A.28 **MATERIALS AND WORKMANSHIP**
Unless otherwise specified, supply all materials and labour required to execute and complete the whole of the work in the contract as drawn and specified in the best and most workmanlike manner If when opening up work, any condition is found contrary to that expected or for any reason is unsound or unsafe, stop immediately that section of the work, notify the Architect and seek further instructions

A.29 **CONDITIONS OF PRACTICAL COMPLETION**
The practical completion of the Works, as defined in the Contract, will be reached when all the works shown on the Drawings and described in the Specification and any variations from them, are brought to a stage of practical completion
The Builder shall be responsible for maintaining the works until final handing over on practical completion and remedying any defects which may arise On completion obtain *Certificates of Compliance* from the various authorities, manufacturers and contractors concerned

- Before handing over, carry out the following work
- Clean all floor finishes
 - Clean all glazing, replace any scratched or broken glass
 - Ease all doors and windows and adjust all furniture
 - Test and adjust where required all electrical equipment
 - Clean all drainage and plumbing gullies and traps
 - All door and window keys (minimum 2 of each) to be handed over
- All certificates to be handed over

SITE CLEARANCE

GENERALLY

B.02

SAFE WORK PRACTICES

B.03

DEMOLITION

B.04

EXCAVATION

B 05

RECYCLED MATERIALS

SECTION C

METALWORKER

C.01

SCOPE

C.02

PROTECTION

C.03

FABRICATION GENERALLY

C.04

PROTECTIVE TREATMENTS

Cold galvanising shall be used to treat site welded joints. Clean back areas to bare metal by grinding and filing to produce a surface matching adjoining and apply approved zinc paint. Apply only in dry weather and in strict compliance with paint manufacturer's instructions.

C.05

STAINLESS STEEL BALLUSTRADE

Supply and fix stainless steel balustrade with horizontal wires as shown on drawings. Stainless steel wiring to be installed in compliance with the latest BCA requirements.

SECTION D

CARPENTER

D.01

GENERALLY

All timber used on this job shall conform to the Timber Marketing Act - 1945, and be built in accordance with **Level 3, AS 3959-1999 Construction of Buildings in Bush Fire Prone Areas** and all relevant Australian Standards.

Scantlings to be in long lengths, sawn square, free of shakes and shall be of sizes indicated in the Architects documents. Where section dimensions are not given in these documents then AS1684 - as amended, will take precedence.

Exposed timber used externally shall be selected hardwood as per *Level 3, AS 3959-1999 Construction of Buildings in Bush Fire Prone Areas*, as indicated in the Architect's documents.

D.02

TIMBER SPECIES

Generally timber species will be as follows, unless otherwise annotated specified or approved by the Architect in writing.

Wall framing	Pinus, F5, Sized, Seasoned
Roof framing internal	Oregon, Merchantable, Off-saw, Seasoned
Roof framing exposed	Oregon, Select, Dressed, Seasoned
Window frames	Fire retardant treated timbers, Clear, Moulded, Seasoned

All Oregon and Western Red Cedar (WRC) must be verified as being of North American source. No Australian or exotic rain forest timbers will be used.

D.03

FRAMING

All framing will conform with the Architect's documentation and all Australian Standards and Codes, including AS1684 as amended.

Wall plates	90 x 45	minimum 40 after trenching
Studs	90 x 45	bearing walls @ 600 max cts
	90 x 35	non-bearing walls @ 600 max cts
Opening studs	90 x 45	to 1200 wide openings
	90 x 70	1201 to 2400 wide openings
	90 x 90	over 2401 wide openings
Noggins	90 x 35	two rows
Skirting blocks	90 x 35	on edge on bottom plate cut tight between studs in bathrooms
Rafters	100 x 50	3000 max span @ 450 max cts

D.04

WALL FRAMING

External walls to match existing construction. All internal walls to be timber framed.

The Timber Framing Code AS1684 is the standard for all wall framing.

All studs are to be continuous between plates with full bearing at both ends, trenching if required should leave 40mm effective plate thickness. All heads up to 1200mm will be housed 10mm into opening studs, all heads over 1201mm will be housed into the opening studs and carried through to the next stud away from opening and adequately nailed. All metal heads will be used strictly to manufacturers instructions.

All studs in load bearing walls will be fastened to plates with locking skew nails or alternately with air driven fasteners with Trip-I-grips to alternate studs. All corners and intersections are to be adequately blocked.

ROOF FRAMING

Frame the new roof with ceiling rafters as specified and as per Engineer's details

INSULATION

The whole of the ceiling under the new roof area will be insulated with existing insulation or if existing not suitable with minimum R 3.00 insulation

SISALATION

Install double sided Sisalation sarking over all rafters with lapped and taped joints, any moisture on the top of the sarking is to have a clear run from the ridge to the gutter Sarking to have an air gap of 25mm minimum under the roof

All Sisalation shall be of an approved noncombustible type

WALLS AND CEILING

Walls to be taped and set plasterboard to selected paint finish to bedroom 1, to match existing Cornice to match existing

SKIRTINGS

All skirtings, door and window mouldings to match existing

JOINER

GENERALLY

Use best of specified grades for all joinery including doors, mouldings, linings, etc to provide for a clean clear finish. All runs 4800 and less must be in single lengths.

Skirtings, door frame and window frame mouldings to match existing

Carry out all work in a tradespersonlike manner Use mortice and tenon joints in doors, frames and other like parts unless otherwise specified Mitre joints in mouldings, skirtings, etc but scribe internal angles Dress joinery stock and mouldings, hand finish visible surfaces and remove arises to provide an approved smooth surface for the Painter Prime paint and /or stain all surfaces of joinery and external mouldings or dip in water repellent preparation before leaving workshop

Seasoned timbers to have a 10% to 15% moisture content on arrival at site, over dried or under seasoned timbers can be rejected by the Architect or require further processing before they can be used on the Works

All joinery materials are annotated at finish dimensions and sizes unless otherwise stated

Joinery is to be supplied and fitted by an approved Joiner

WINDOWS AND GLAZED DOORS

All glazed doors, screens and windows - frames, sashes, door leaf, and associated beads, stops and mouldings - to be in Western Red Cedar with selected seasoned hardwood sills. All timber shall be for PAINT finish.

Builder to allow to install window hardware as specified in WINDOW SCHEDULE

WINDOW AND DOOR SCHEDULE

WINDOW/DOOR NOMENCLATURE		Hardware
Window/Door Nom.	Door/window size	
W1	4570 x 1965 4 x Timber Framed Sliding Windows Each panel equal width 2 x timber framed sliding screen window	Laminated E Glass

E.03

DOOR & WINDOW FRAMES

Jambs and mullions are to be fixed into heads and sills with stop housing joints, waterproof flexible adhesive and non-corroding threaded fasteners. Transoms are to be fixed between and into jambs and mullions with stop housing joints, waterproof flexible adhesive and non-corroding threaded fasteners.

All joints must be coated with a suitable preservative before frames are assembled.

All heads, transoms and sills must be horizontal, all jambs and mullions must be vertical, all corners at right-angles and all faces parallel.

Transoms and sills must have top external rebates sloping outwards at 10 degrees and a drip groove in the underside external rebate. Jambs must have two continuous grooves in their cavity side faces to accept flashings.

SECTION F

ROOFER

F.01

GENERALLY

CROSS REFERENCE Refer to Insulation and sarking for roof sarking requirements.

F.02

MATERIALS AND COMPONENTS

CROSS REFERENCE Refer to Insulation and sarking for roof sarking requirements.

F.03

GENERALLY

All roofing shall be birdproof, complete with all accessories and roof plumbing as specified and as required. Roof pitch shall be as specified on drawings.

F.04

LOWER EXISTING ROOF

Lower and re frame existing roof as shown in drawings. Re-roof to match existing. All new roofing to match existing in colour and profile. Re-use existing gutters. Downpipes to be positioned and connected as existing.

Roof and gutters shall be swept clean of all debris (nuts, screws, cuttings, filings, etc) using a soft broom at least at the end of each day's work and particularly on completion of fixing. The job shall be left clean and in a weathertight condition at all times.

All roofing shall be done by a professional installer whose practice has included similar types of roofing material in a workmanlike manner and in accordance with the manufacturers recommendations.

F.05

GUTTERS AND DOWNPIPES

STANDARD To AS 2180

If new gutters are required they shall match existing profiles, complete with stop ends, joiners, brackets, nozzle, etc. Fix with minimal falls to downpipe, with brackets at nom 1000 centres.

Joints throughout to be pop rivetted and sealed with neutral silicone.

Existing gutters and downpipes to be re-used where possible and if new to match existing. Connect downpipes to rainwater tanks.

FLASHINGS AND CAPPINGS

Generally flash projections above or through the roof with two part flashings consisting of an apron flashing and an over flashing, with at least 100mm vertical overlap. Provide for independent movement between the roof and the projection.

GUTTERS

Minimum slope of eaves gutters 1:200.

INTERNAL LININGS

G.01

GENERALLY

All new wall and ceiling linings will be fixed strictly to the manufacturers most current published instructions or as otherwise specified

G.02

MATERIALS

Supply and fix plasterboard to all new walls and ceilings. To new ensuite bathroom, wall and ceiling linings to be fibrous cement sheeting, suitable for wet areas and for wall tiling

G.03

WALL LININGS

Check and fix all noggings, furrings, trimmings and straighten and pack all studs and joists as required. Ensure all electrical wiring, plumbing and other built-in items are complete before wall lining is commenced, mark the location of all outlets and fixing locations where no access is possible.

Fixing shall be combined nail and adhesive technique utilizing conventional fine panel pins (eg 25mm X 14mm deep drive head) and an approved wall board adhesive

G.04

NAILS, CLOUTS AND FASTENERS

Use only fasteners approved by the manufacturers of the wall panelling and then strictly to their most current published instructions

G.05

CEILING LININGS

Fix all ceiling linings before fixing wall linings

Fix ceiling sheets by the adhesive-nail as per manufacturers specification

G.06

STABILIZING OF FRAMING

Allow a period of 14 days after roof covering has been fixed to allow for maximum settlement and shrinkage before fixing any wall or ceiling sheets. Walls should be inspected by the Architect before any sheets are fixed and any defects in the framing corrected. Failure to carry out this inspection will make the plasterboard sheet fixer responsible for any defects in the linings even if the defects were caused by defects in the timber frame.

G.07

EXTERNAL ANGLES

Tape and set all external angles ready for paint finish

G.08

CORNICES

Cornices to match existing

Any damage to existing cornices, make good to match existing

G.09

COMPLETION

Remove all splashes of gauge, adhesive, jointing material and any other gunk as soon as practical to avoid long term damage and wash the whole of the walls and ceiling using clean water and a grass brush. Clean floor of all droppings, waste and off-cuts.

SECTION H

DRAINER

H.01

GENERALLY

The existing services to the existing residence are to be maintained throughout the building period. Connect existing and new stormwater to existing stormwater system.

Carry out drainage in strict accordance with the rules and regulations of Sydney Water, Pittwater Council and any other authority having jurisdiction over the works

Submit plans and obtain permits, certificates of inspection and satisfactory completion from the controlling authority. On completion submit approved plans and certificates to the Proprietor prior to final claim for payment. Allow for and pay all fees and charges.

Arrange for on-site verification of the controlling authorities requirements before placing any orders for special work.

H.02 PIPES and FITTINGS

All pipes and fittings are to be to the requirements of Sydney Water for sewer drains and of Pittwater Council for stormwater drains. Notwithstanding all pipes and fittings shall conform to the requirements of AS1741.

H.03 STORMWATER DRAINS

Connect to existing stormwater service.

SECTION J ELECTRICIAN

J.01 RULES AND REGULATIONS

Carry out all work strictly in accordance with the current SAA wiring rules and with all special requirements of Integral Energy.

In carrying out electrical wiring work the Electrician will comply with and observe in all respects of the provision of any law for the time being in force relating to the licensing of electrical contractors and electricians.

J.02 NOTICES AND FEES

Make all arrangements with Integral Energy for the maintenance of the electricity supply to the existing residence and the extension and amplification of the supply to the new work. Attend to the service of all notices, obtain Certificates, pay all fees, charges, levies and deposits.

J.03 MATERIALS, WORKMANSHIP & SAMPLES

Supply all necessary fittings, materials and accessories to complete the works and install whether individually specified herein or not.

Submit for approval prior to commencing any installation all accessories, fitting and apparatus which it is proposed to use in the works and install only such items that have been approved. Failure to comply with this provision may result in the rejection of such items.

Use only fitting approved by a relevant Australian standard.

J.04 TESTS

Carry out installation and continuity tests during the progress of the work and supply all necessary testing apparatus for that purpose.

J.05 ELECTRICAL SWITCHBOARD

Group circuit safety switches to be applied to all powerpoints and switches similar to HPM H6XEL Series.

J.06 LIGHTING OUTLETS

Provide all lighting outlets as indicated on the electrical drawing together all necessary switches.

New light switches and GPO's to match existing. Place switches on walls at least 50mm away from any change of finish or corner, the height of the switches will be determined by the height of the door handles which will be set on the same centre line. Where there are more than one switch or dimmer required on a switch these should be grouped vertically under one cover plate. Where switches or dimmers are on a wall they will be

grouped as follows, two or three - horizontally, four - 2 over 2, five - 3 over 2, six - 3 over 3, all under one cover plate Height to match existing

J.07 LIGHT FITTINGS

Fit all light points with light fittings as supplied by the Proprietor Heights of wall mounted lights to future detail
All low voltage down light fittings to be fitted with digital transformers and dimmer switches

It is the Electricians responsibility to ensure that all lighting outlets and light fittings are adequately supported and to liaise with other trades to ensure this is achieved

J.08 POWER OUTLETS

Generally power outlets will be fitted with 10 amp outlets

Power points match existing Fix power points immediately above the skirting, unless noted otherwise

J.09 WIRING

Unless otherwise specified all cables shall be copper conductors insulated with 600 volt V75 grade, PVC and multi-strand for sizes 2.5 sq mm and above

Cables will be of Australian manufacture, approved by Integral Energy and delivered to the site in full unopened drums bearing the manufacturers label

Wiring will be colour coded as follows,
Active Red, Yellow or Blue
Neutral Black
Earth Green or Green-Yellow

Carry out all wiring with 250 volt, TPS copper conductors of,
1.5 sq mm lighting and small fans
2.5 sq mm powerpoints, water heaters and other heaters
not exceeding 3.6 kW

All earthing will to the requirements of Integral Energy

Run wiring in space behind joinery and in ceiling All lighting wiring will drop to switches and fittings and power

Except otherwise specified hereinafter carry out all wiring in TPS conductors Neatly clipped to the sides of ceiling joists at maximum 600 centres or to the sides of 38 x 25 battens provided by the electrician across the top of the ceiling joists

Wiring shall be carried out on the *loop in* system The joining of conductors between terminal connections will not be permitted

Do not fix conductors to the sides of wall plates or other ceiling members where liable to damage from the fixing of cornices, wall boards, etc Use loose drops, in stud walls, to all power outlets and light switches and loose conductors capable of easy replacement without removal of wall linings or any structural work

Complete the installation of all wiring before fixing linings

Earthing is to comply with the system of Integral Energy, earthing must be concealed in cavity spaces and wall space

J.10 GUARANTEE

The Electrician will guarantee the work against any defects and any damage to appliances and fixtures caused by any defects, for a period of 100 days after the building has been occupied

SECTION K

PAINTER

K.01

EXTENT

EXTERNALLY All new surfaces and those affected by the work All windows and frames, all eaves and fascias and all timber frames

INTERNALLY All new surfaces and those affected by work: wall, ceiling and trim (other than those that are prefinished)

The Builder will finish all surfaces in the main Contract to a quality ready for painting

Materials and workmanship unless superseded by this specification will be to relevant AS Codes and Specifications

Allow for all coatings including those specifically provided for in other sections of this specification or on the Drawings

Workmanship will be at the highest level of competency and carry out in a first class manner by licensed persons

Area to be painted will be thoroughly cleaned and protected from dust entry

The painter will be responsible to protect all finished work and work susceptible to damage by paint droppings, splashes, etc with sheeting and masking

All paint spots, splashes, spills etc will be cleaned up immediately and the damaged areas restored to previous condition

Brush on all paint thoroughly and lay off so that no brush marks show on the finished face Allow every coat to dry for 24 hours and then putty up all nail holes, etc rub down with abrasive paper before the next coat is applied Do not apply exterior paint during rain, mist or when the walls are still damp, also no paint is to be applied in very windy weather

All primer coats are to be applied by brushes Woodwork and metal surfaces are to be brush painted only

All concealed faces of timber are to be treated with a long life primer prior to fixing, this includes the underside of all sills and the bottom of all doors, which should also be finish coated before final hanging

The final coat will be free of all blemishes, including dust marks, the Painter will be responsible to recoat until an acceptable quality surface finish is achieved

K.02

INSPECTION OF WORKS

All surfaces will be subject to inspection and approval to proceed at the following stages,
after surface preparation,
after primer coat,
prior to finish coat

Surfaces not gaining approval to proceed will be reworked by the Painter as instructed, then re-inspected until a satisfactory standard has been achieved

K.03

PIGMENTS AND SOLVENTS

All pigments and solvents will be of the highest standard and manufactured by or specifically approved in writing by the base paint manufacturer The use of unauthorized solvents and thinners, or even the finding of these on the site of the works, will require the painter to strip or refinish all surfaces nominated by the Architect as being possibly defective

K.04**MATERIALS**

All materials will be from the same manufacturer, except for special stains or finishes specifically nominated or approved by the Architect in writing. The manufacturers name and the product range proposed will be included in the Painters tender and will become a condition of the contract if the tender is accepted. Alternative manufacturers may be submitted and failure to submit any manufacturers name will be construed to mean that the highest quality of Berger Paints and Cabots Stains will be used.

All paints will be delivered to the site in sealed containers. Containers, containing material of an unapproved manufacture will not be brought on to the site of the works, if they are the Painter risks having to strip or otherwise rework and suspected coatings.

K.05**COLOUR SCHEME**

All paint colours will be scheduled and provided to the Painter. External weatherboard, color and finish to match existing.

K.06**SURFACE PREPARATION**

Woodwork will be prepared so that a clean smooth surface is provided, all knots are tight or removed and grain direction plugged, all arrises are square - *do not sand paper any molded or square edged exposed internal timber work*

Generally all surfaces are to be prepared to be hard, free of any loose material, scaling, splinters, lumps, bumps, hollows, holes, cracks, foreign material, moisture, etc. The surface preparation is the responsibility of the Painter, if the Painter considers that a surface has been provided to him in a sub-standard condition then this should be raised and dealt with at the pre-painting inspection. If the Painter fails to raise any concern over the quality of the surfaces provided to him, he will be solely responsible and will bear any cost of achieving an approved pre-paint surface.

SECTION L**GLAZIER****L.01****GENERALLY**

Carry out all glazing to AS1288 and any subsequent codes or safety regulations.

Use only glass which is free from flaws and the best of the respective kinds. Provide adequate clearance between glass and frame to prevent cracking.

Glazing to be selected low -e glass.

L.02**CLEANING**

All windows are to be thoroughly washed and polished on completion and apply a tape cross to the panes. Immediately prior to occupancy the crosses are to be removed, all paint spots and other marks will be cleaned off and any damaged, cracked or broken panes replaced. Hand over the project with clean and polished windows.

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February 2008

ANNABELLE CHAPMAN ARCHITECT

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19 May 2008

Tom Donohoe
Tom Miskovich & Associates Pty Ltd
PO Box 189
Pennant Hills NSW 1715

Dear Mr Donohoe

Construction Certificate for alterations at 889 Barrenjoey Road, Palm Beach

In addition to the specification for construction that was submitted, compliance with the following BCA requirements will occur during construction

3.4.3 Timber Framing

Confirmation that the alterations to timber framing over the new external door will comply with the provisions of AS 1684 (alternatively, confirm that no alterations to existing lintel is required)

3.5.1 Roof cladding

Confirm the roof covering will comply with AS1562.1 – Metal Roofing

3.5.2 Gutters and downpipes

Confirm that gutter and downpipes will comply with AS/NZS 3500.3.2 Stormwater Drainage

3.6 Glazing

Confirmation that new glazing will comply with AS2047 – Windows in buildings – Selection and Installation

3.9.2 Balustrades

Confirmation that balustrades to the new door will be provided and comply with clause 3.9.2 of the BCA, ie

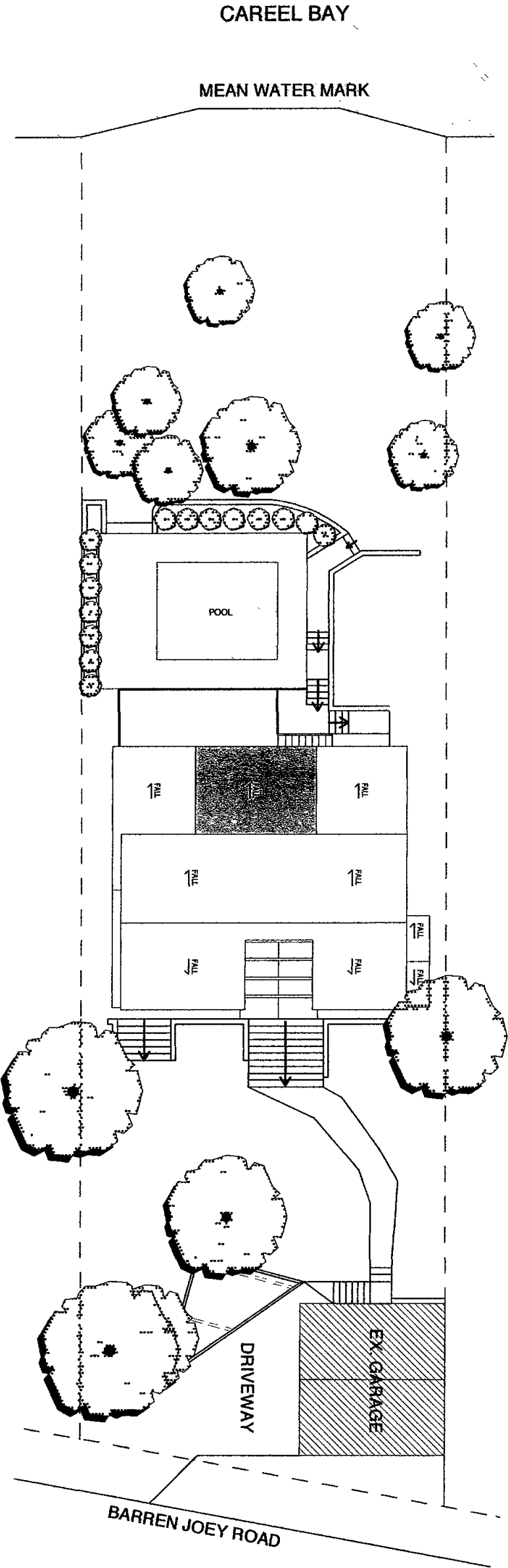
- to balconies or terraces more than 1 metre above finished ground level, 1m in height and not permitting a 125mm sphere to pass through any openings.
- Tensioning and maximum deflection values will comply with Clause 3.9.2

Regards

Annabelle Chapman

Annabelle Chapman
Annabelle Chapman Architect Pty Ltd

Palm Beach Council CONSTRUCTION CERTIFICATE	
Number	CC 0281/08
This is a copy of submitted plans documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by	<i>CJ TMA</i>
Date	19 MAY 2008



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number **CC 0281108**

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate

Endorsed by **TMH**

Date **19 MAY 2008**

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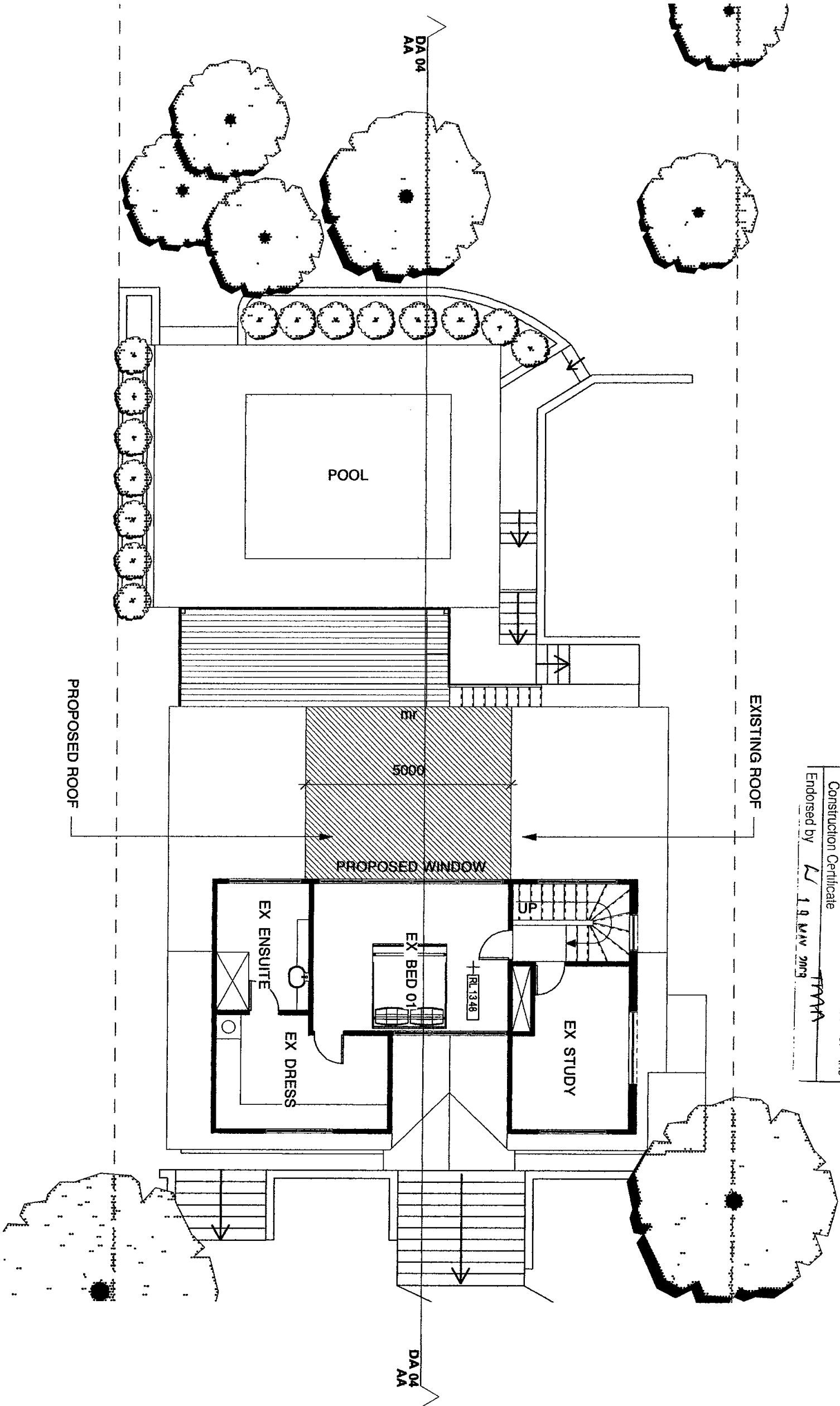
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	PROPOSED ALTERATIONS		Proj No
CLIENT	Mr & Mrs Kennedy		
DWG	SITE PLAN	DATE # SCALE @ A3 DRAWN CHKD	DATE 1:200 77 REVISION
			DA01

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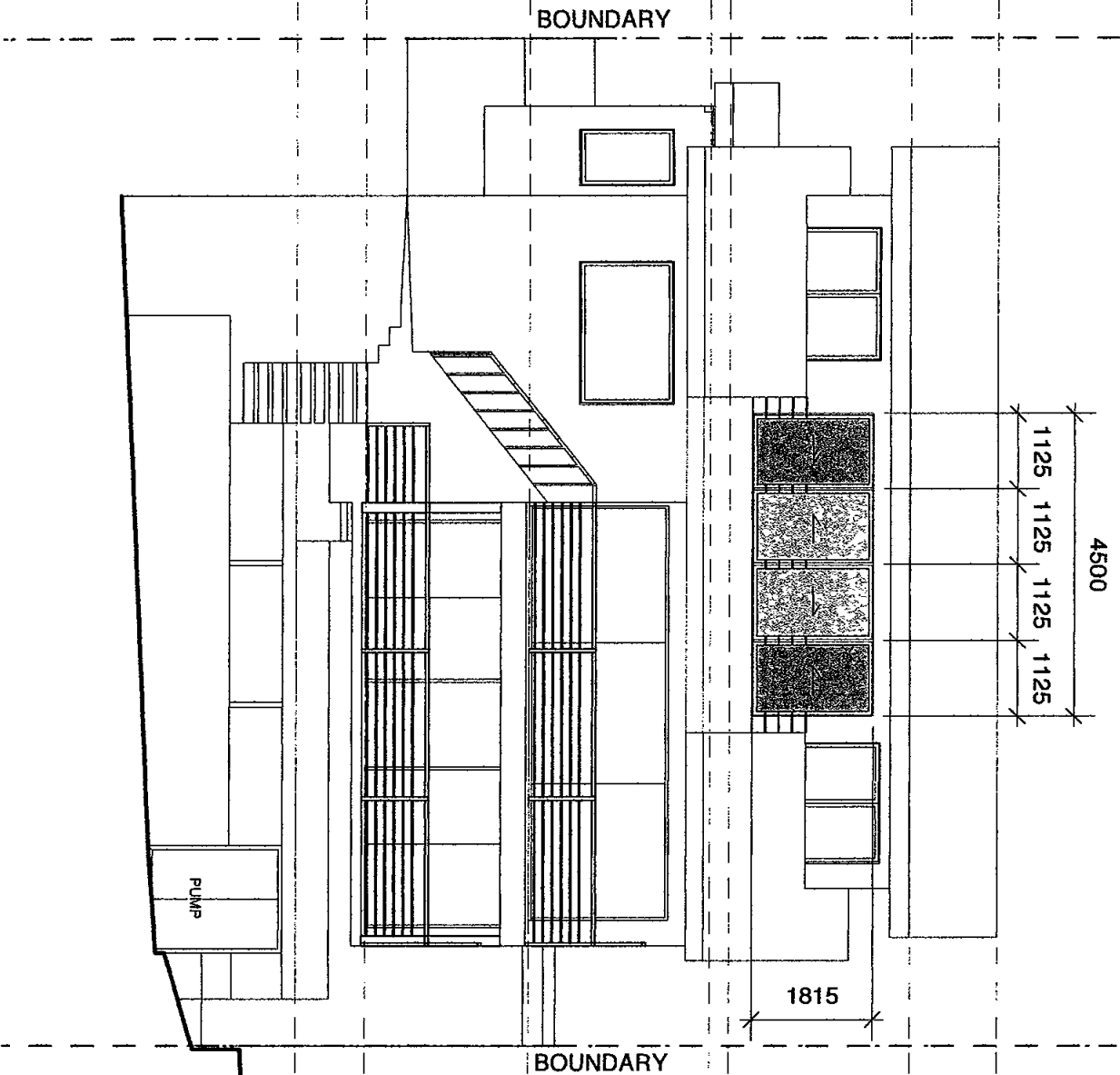


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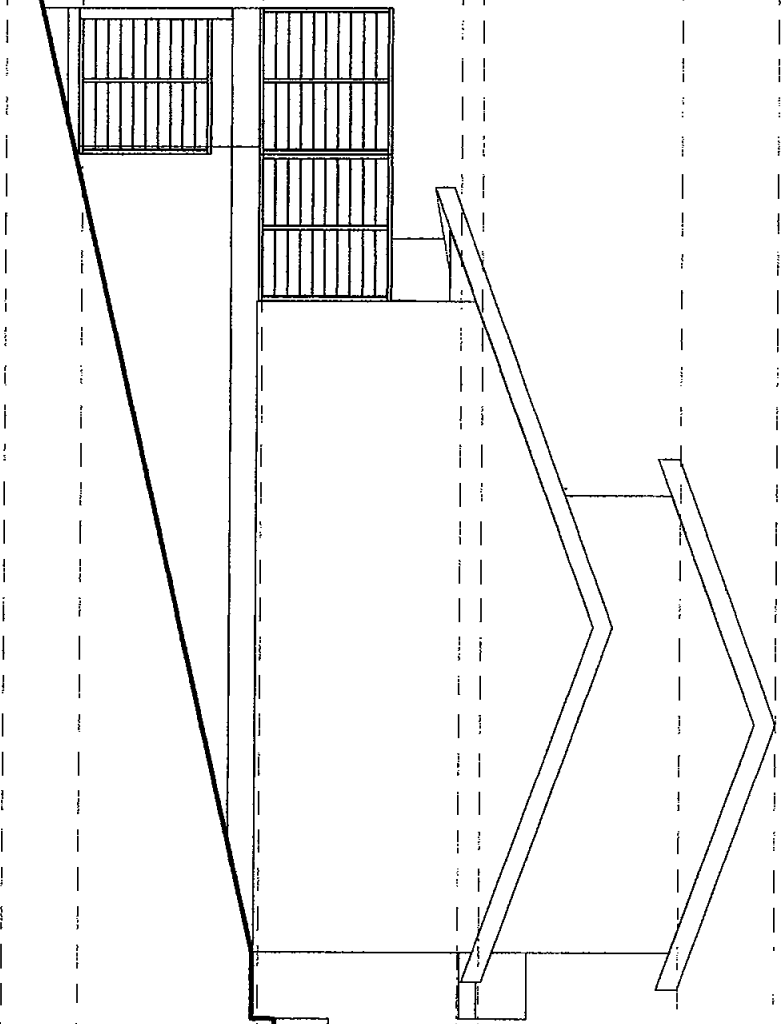
ISSUE	DATE	REVISION	PROJECT #
PROJECT			Proj No
PROPOSED ALTERATIONS			
CLIENT	Mr & Mrs Kennedy		
DWG	FLOOR PLAN	DATE #	DWG #
		SCALE @ A3	1:100
		DRAWN	77
		CHKD	77
		REVISION	

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WEST ELEVATION

Roof line	RL 17.48
Ceiling	RL 16.18
Storey 1	RL 13.48
Ceiling	RL 13.18
Storey 0	RL 10.48
Storey -1	RL 8.03
Pool	RL 7.0



SOUTH ELEVATION

PITTMAN GROUP CONSTRUCTION CERTIFICATE	
Number	CC 0281/08
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Endorsed by	<i>U TMA</i>
Date	19 MAY 2008

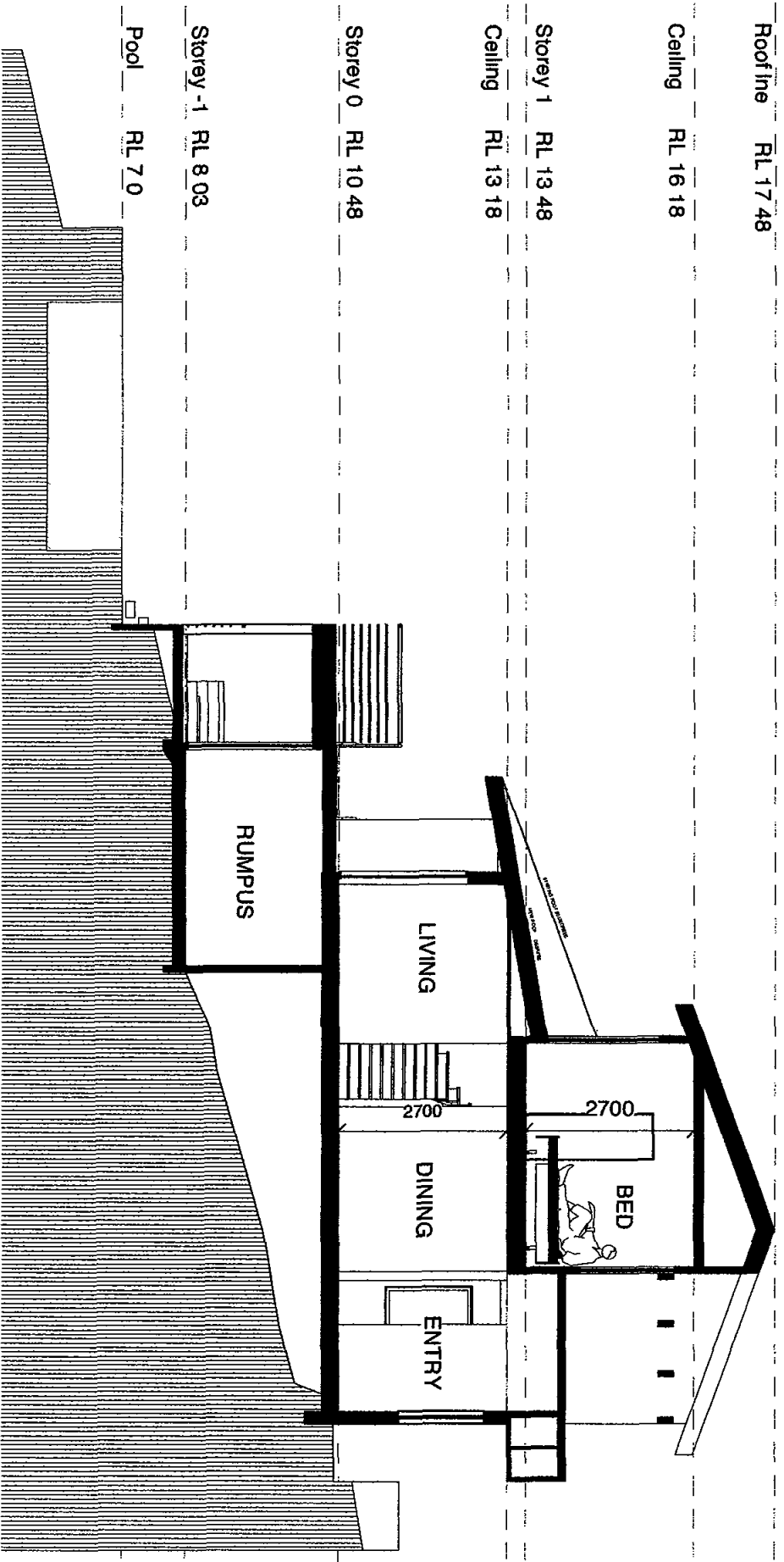
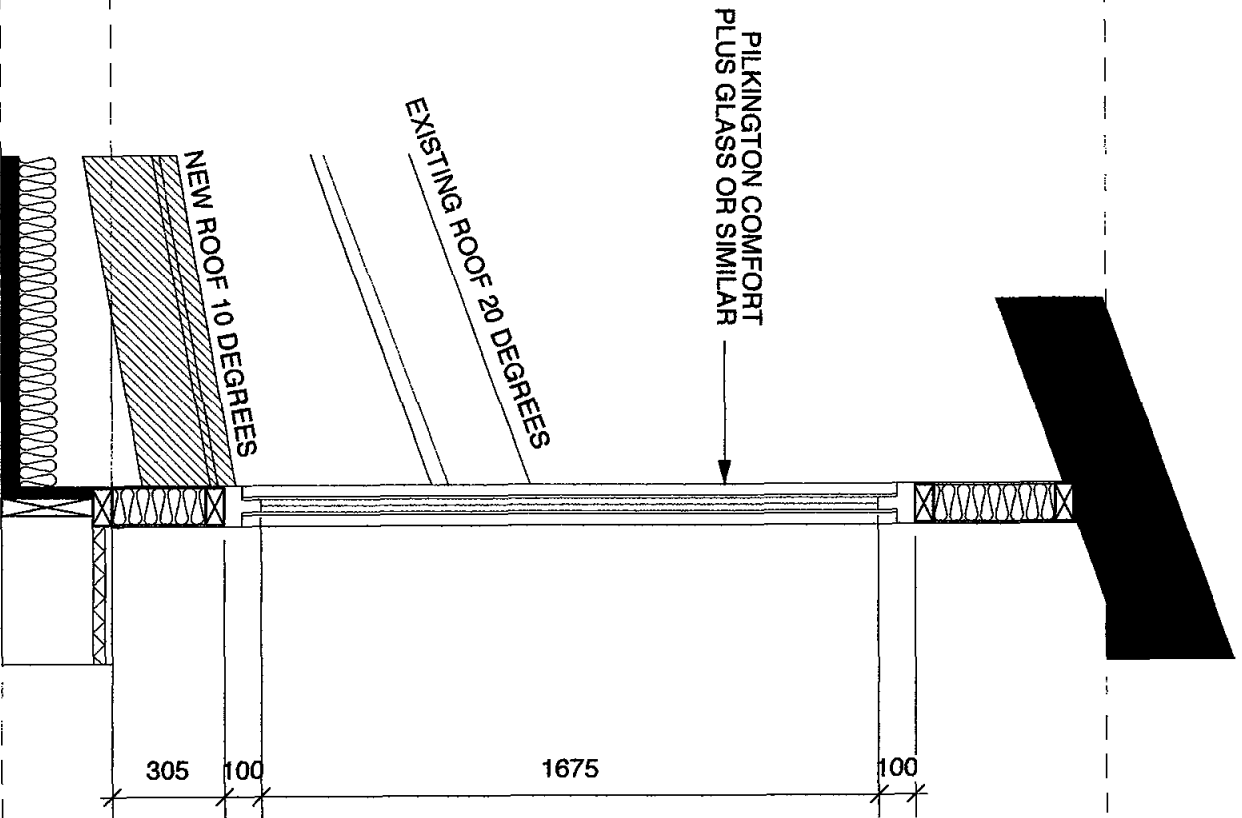
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ISSUE	DATE	REVISION	PROJECT #
PROPOSED ALTERATIONS			Proj No
CLIENT	Mr & Mrs Kennedy		
DWG	ELEVATIONS W + S		DWG #
DATE #		DATE	
SCALE @ A2		1:100	
DRAWN		??	
CHKD		??	REVISION
DA03			

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Endorsed by **LM TMH**
Date **19 MAY 2008**

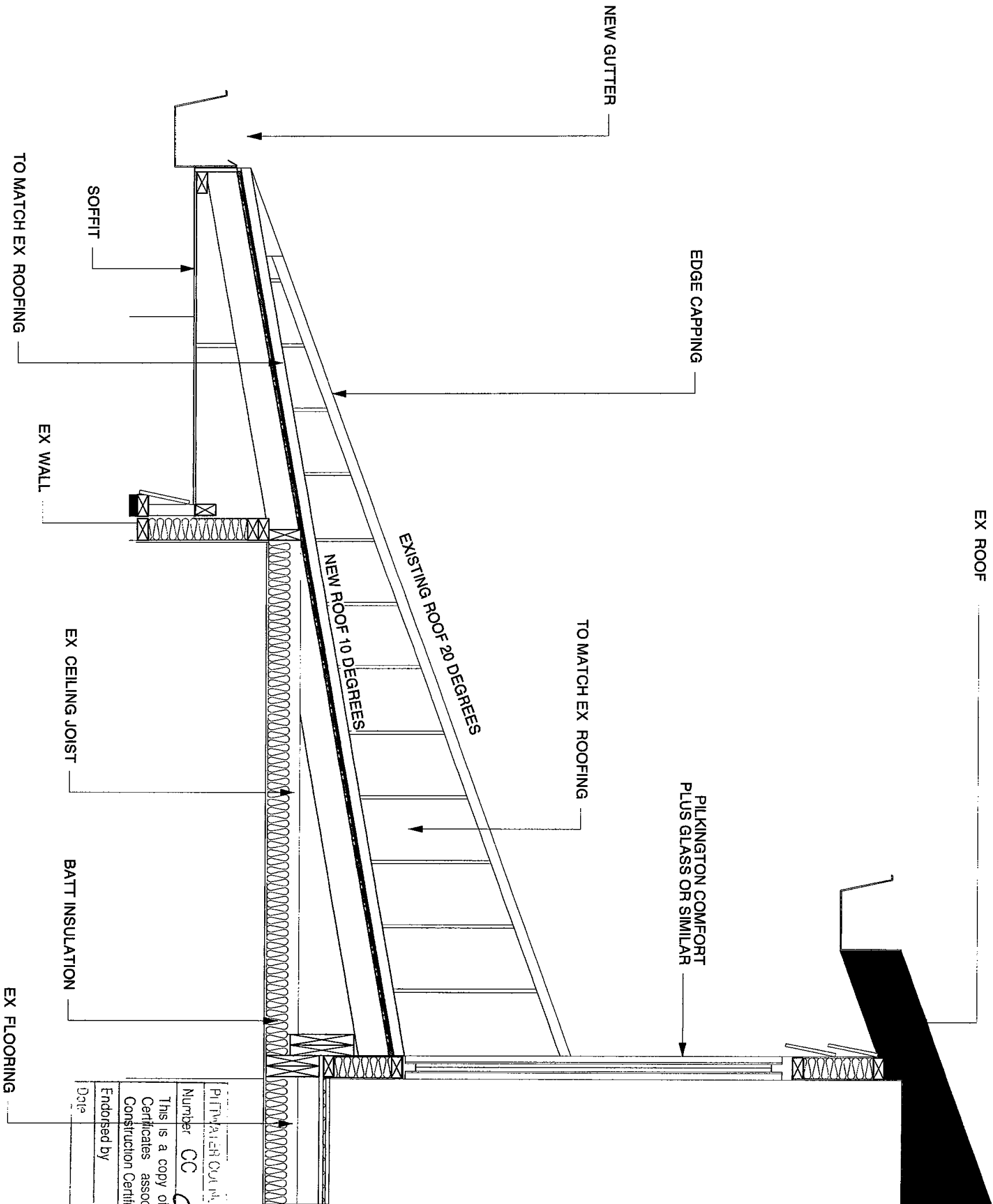
WINDOW DETAIL 1:20

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ISSUE	DATE	REVISION	PROJECT#
PROPOSED ALTERATIONS			Proj No
CLIENT	Mr & Mrs Kennedy	DATE#	DWG#
DWG	SECTIONS	SCALE @ A3	DA04
		DRAWN	77
		CHECKED	77
		REVISION	

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EX ROOF



EX FLOORING

SCALE 1:20

NEW ROOFING DETAIL

PITTSFORTH CONSTRUCTION CERTIFICATE	
Number CC	0281/08
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Endorsed by	CS TMM
Date	19 MAY 2008

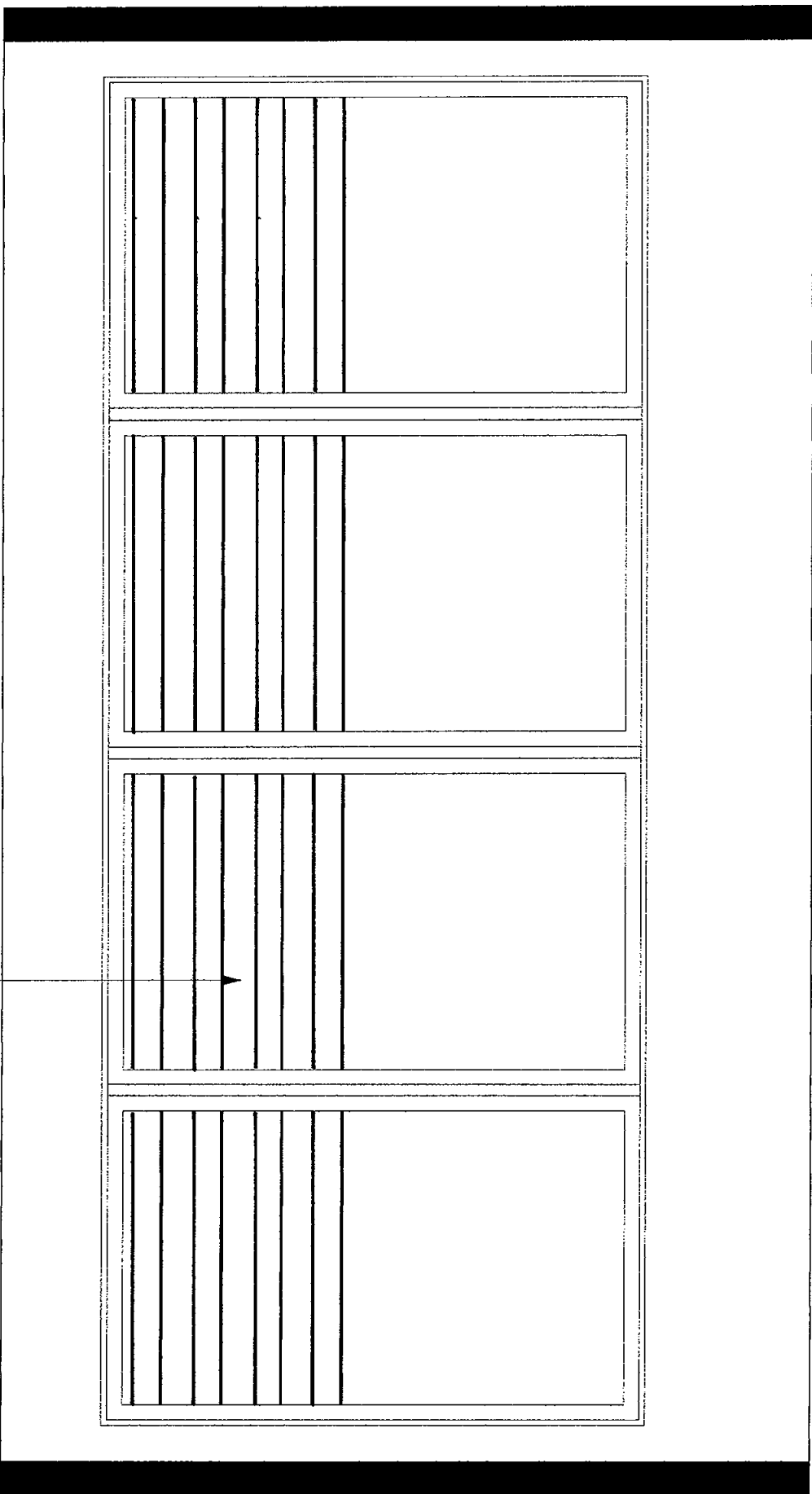
ISSUE	DATE	REVISION	PROJECT #
PROPOSED ALTERATIONS			Proj No
CLIENT	Mr & Mrs Kennedy		
DWG	DATE #	DATE	DWG #
SECTIONS	SCALE @ A3	N/A	CC01
	DRAWN	??	
	CHKD	??	REVISION

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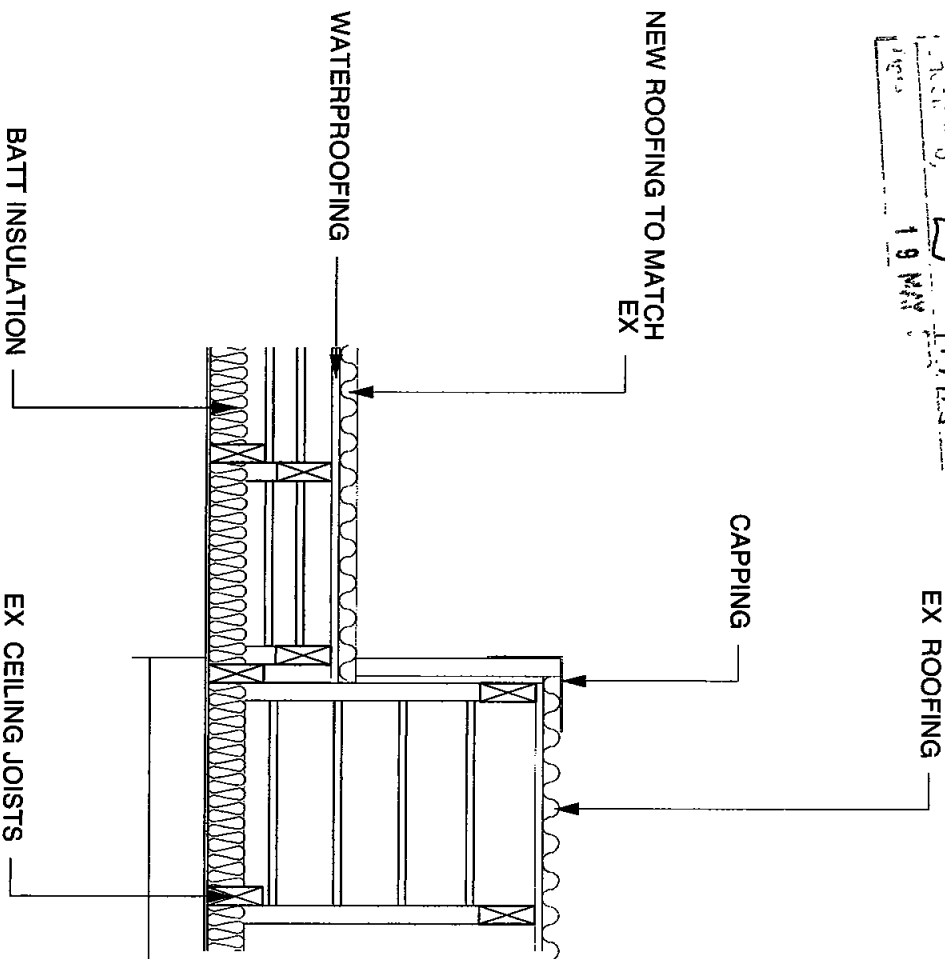
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19 MAY 2014



001 ELEVATION
WD1 NEW WINDOW

PROPOSED WIRE
BALLUSTRADE



ROOF DETAIL
BETWEEN NEW AND EXISTING
SCALE 1:20

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ISSUE	DATE	REVISION	PROJECT #
PROPOSED ALTERATIONS			Proj No
CLIENT	Mr & Mrs Kennedy		
DWG	SECTIONS	DATE # DRAWN	DATE N/A 77
		SCALE @ A3	DWG #
		77	CC02
		CHKD	REVISION

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