

PROPOSED ALTERATIONS & ADDITIONS
10 GOONDARI ROAD
ALLAMBIE HEIGHTS NSW 2100
AMENDED PLAN - DA 2013/1251

Amendment 1 - Revised carport roof & Store room

Amendment 2 - Includes extended Alfresco roofing to rear

Page 1 - Cover Page

Page 2 - Existing Floor Plan

Page 3 - Proposed Floor Plan

Page 4 - Elevations

Page 5 - Section & Specifications

Page 6 - Site Plan



FRONT VIEW



SIDE VIEW



REAR VIEW

PROJECT:	ALTERATIONS & ADDITIONS	SCALE:	Not to Scale
CLIENT:	KAREN & STUART BACKHOUSE	DATE:	1st FEBRUARY 2021
SITE ADDRESS:	10 GOODARI ROAD ALLAMBIE HEIGHTS	SHEET:	PAGE 1 of 6



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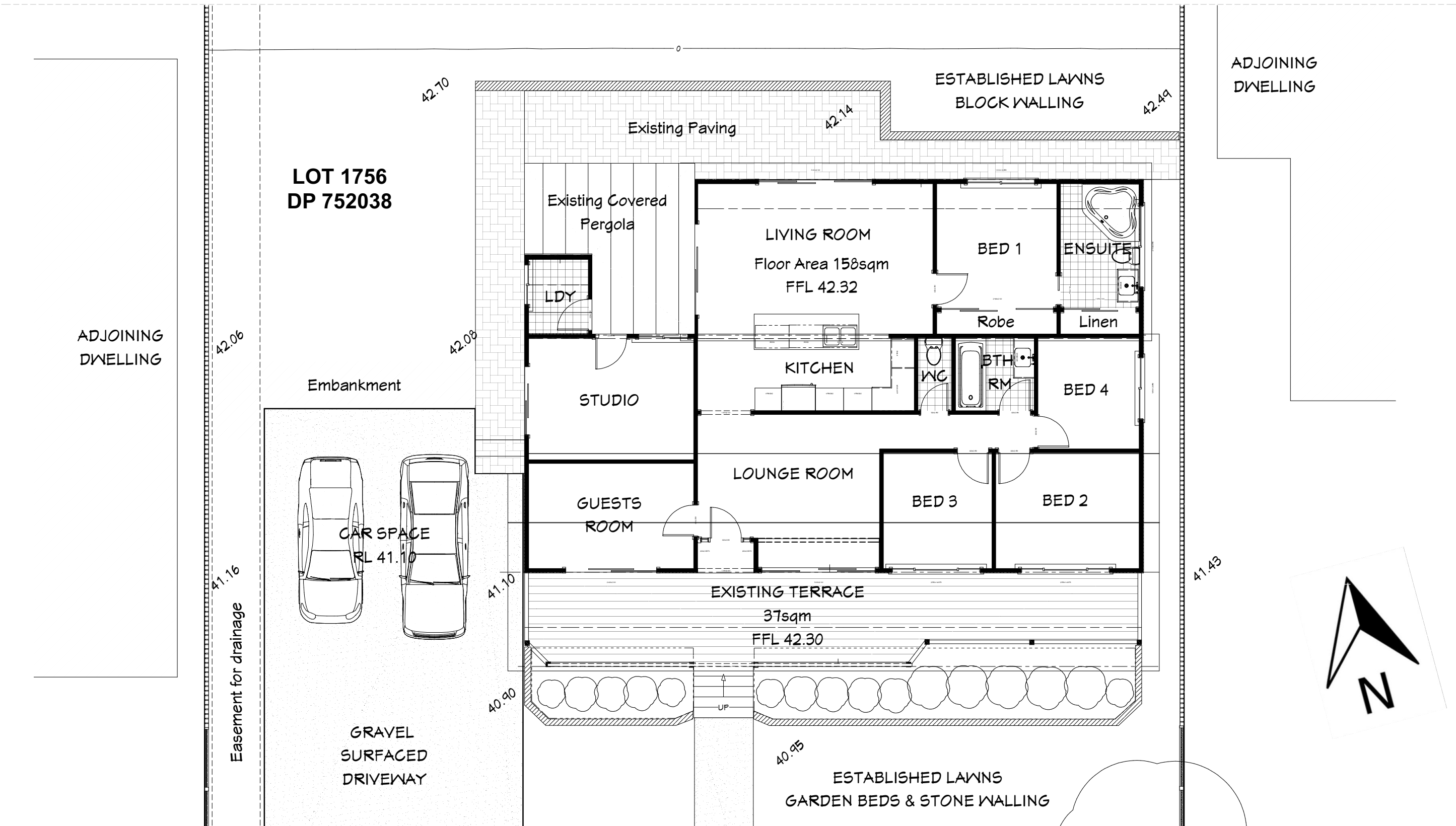
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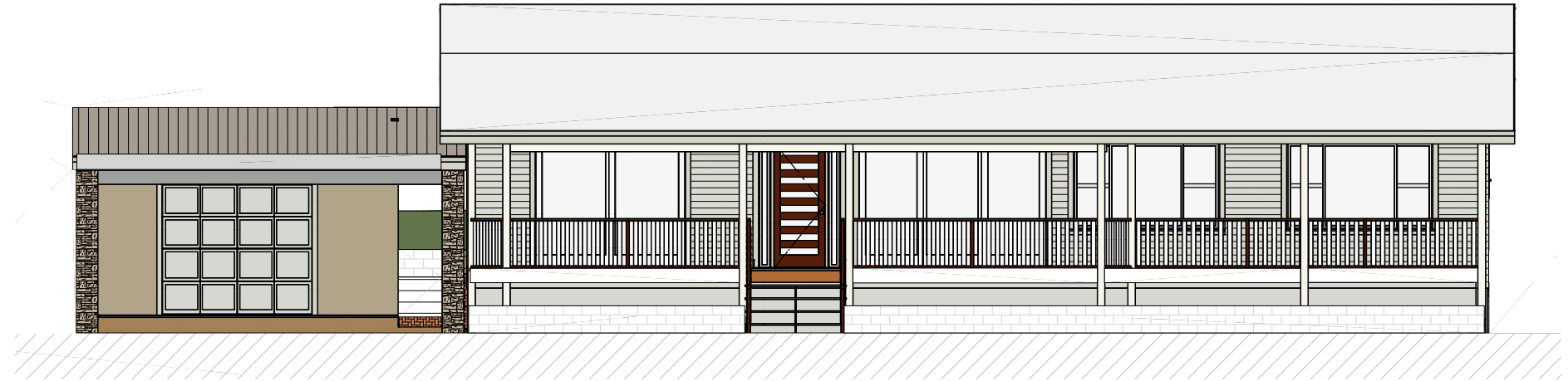


EXISTING FLOOR PLAN

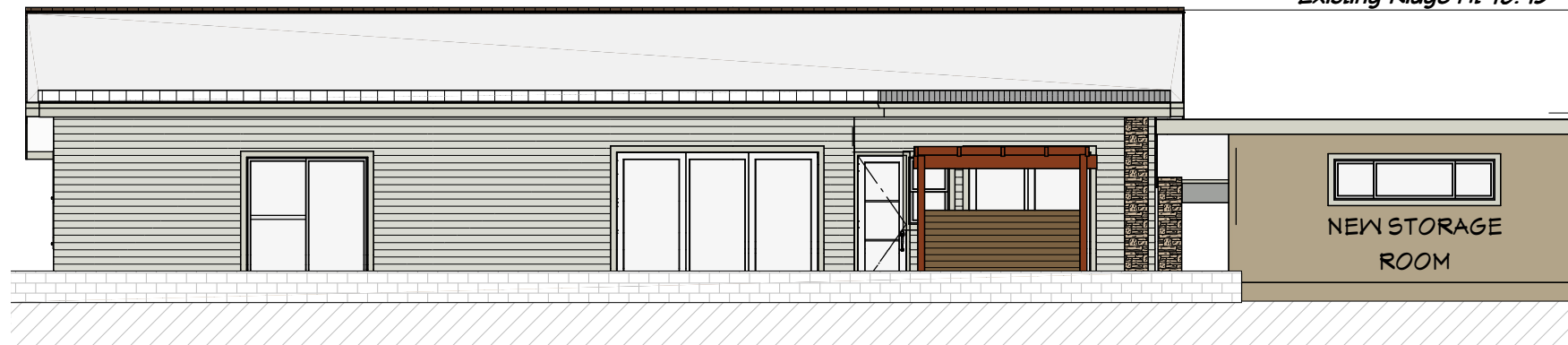
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Colorbond Speedeck roofing @ 4 degrees pitch on timber purlins
Use LVL rafters @ 600mm cts all to AS 1684
Roof framing supported on U-beam on 350mm brick piers.
Bagged 110mm thick brickwork to storage room on RC slab All to engineers details
Stone veneered cladding to brick piers on Pad footings

Replace existing timber windows with new Aluminium framed windows with external architraves - Selected configuration - Glazing as per schedule
Remove existing asbestos wall cladding and insulate and sark framing. New selected FC wall cladding and trim as required.



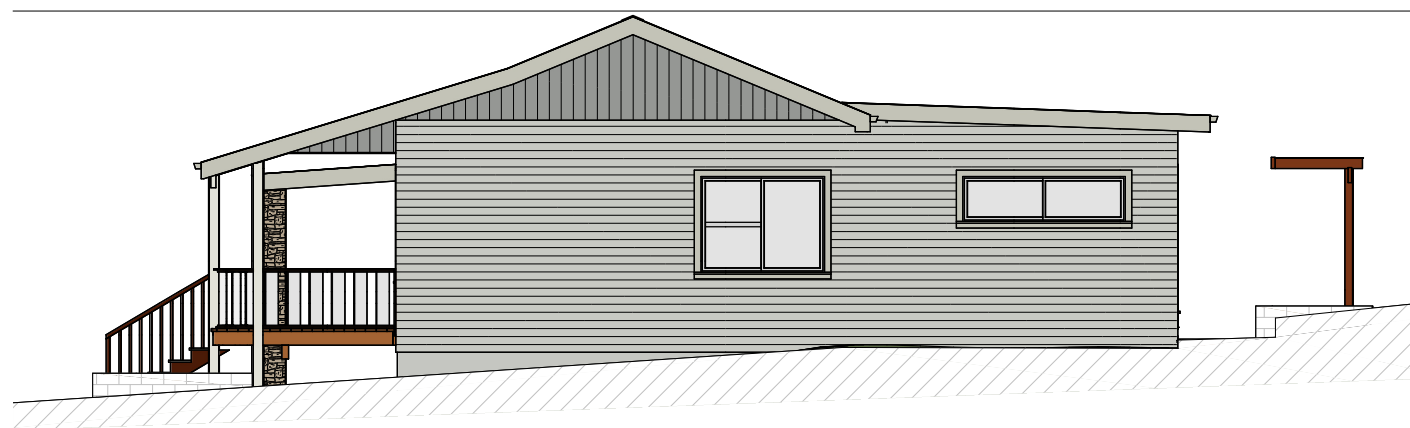
Existing Ridge Ht 46.95



Proposed Ridge Ht 45.39

Colorbond Speedeck roofing @ 5 degrees
pitch on timber purlins
Use LVL rafters @ 600mm cts all to AS 1684
Bagged 110mm thick brickwork to storage
room on RC slab All to engineers details
Aluminium framed doors and Colorbond
garage door in positions shown.

Extend existing Colorbond Speeddeck roofing to covered Alfresco area
Use LVL rafters @ 600mm cts all to AS 1684
Roof framing supported on LVL roof beam on 350mm brick piers.
Stone veneered cladding to brick piers on Pad footings
Selected Timber framed pergola roofing over BBQ area



Architectural elevation drawing of a building. The drawing includes the following dimensions and labels:

- Overall height: 2 500
- Overall width: 2 820
- Label: Ceiling Ht
- Label: FFL to storage room - 41.51

WEST ELEVATION

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SPECIFICATION

NO	ITEM	DESCRIPTION
1	Preliminaries	Provide safe access to site including all work zones. Site to be kept clean of debris and waste materials are to be sorted for recycling and adhere to the waste management plan attached to this development approval. All waste is to be removed from site to an authorised waste outlet. All materials are to be stored appropriately on site as required.
2	Site Setting out	All relative boundary's and levels are to be located and checked as per the current survey. Any discrepancies are to be corrected prior to construction.
3	Excavation	Excavate for RC strip footings to Carport & Pad footings to new decks. Excavate service trenches for stormwater, sewerage drainage and new underground power supply. Remove all spoil from site using an authorised waste disposal outlet.
4	Concreting	All structural concreting to RC strip footings and pad footings to engineers' details: > Residential slabs and footings AS 2870 - 2011; > Concrete structures AS 3600 - 2009
5	Scaffolding	All scaffold is to be erected and installed in accordance with: > AS/NZS 1576.1:2010 Australian/New Zealand Standard™ Scaffolding Part 1: General requirements > AS/NZS 4576: Guidelines for scaffolding
6	Masonry	All brickwork / blockwork to be laid in accordance with > Masonry structures - AS 3700 – 2011 > Masonry in small buildings - AS 4773.2:2015
7	Termite protection	Provide an approved termite protection system to the masonry walling to fully protect all framing members below floor level; The Termite protection system should comply with the following: > BCA Table 3.1.3.1 Acceptable termite management systems and Components
8	Floors	Use yellow tongue particle board structural flooring on H2 LVL bearers & Joists with selected floor coverings. Use Hardies Scyon wet area flooring with an approved water proof membrane and floor tiles to bathroom & laundry areas
9	Waterproof membrane	Apply an approved waterproof membrane to all wet areas in accordance with: > AS 3740 - Waterproofing of domestic wet areas.

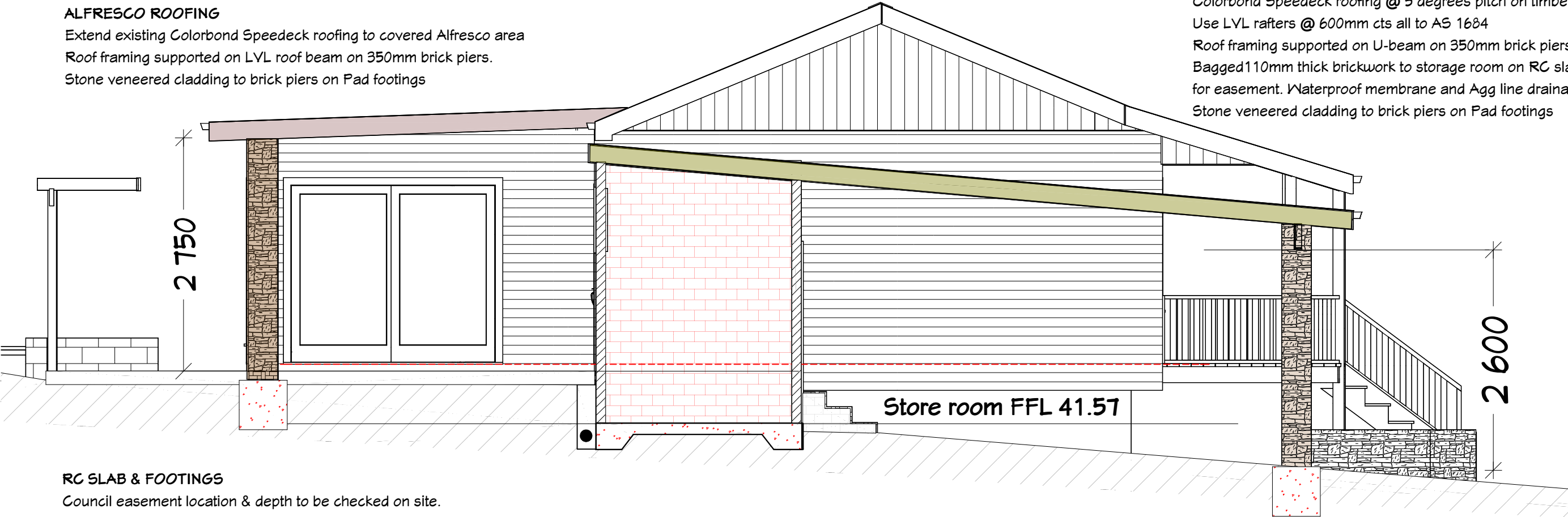
10	Framework	All structural timber to floors, walls and roofing to be 90mm wide H2 treated and constructed in accordance with: > Residential timber-framed construction- AS 1684.2-2010
11	Insulation	Insulation must be installed in accordance with: > Part 3.12.1.1 of the Building Code of Australia. In some climate zones insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
12	External finishes	All new brickwork to be laid as face brickwork, Use selected weatherboard cladding on breathable foil insulation. > Selected cladding must be installed to manufacturers installation instructions.
13	Internal linings	Use plasterboard linings and selected cornices in accordance with: > AS/NZS 2589:2007 Gypsum linings Application and finishing- Use Villaboard and tiled walls to bathroom & Laundry areas. Ensure all wet area linings are installed in accordance with: > Selected Manufacturers installation instructions.
14	Colour scheme	Natural timbers to be oiled finishes. Walls and roofing as per Schedule of finishes attached with the DA Roof & guttering to be selected colour - to be equivalent or darker than Windspray.
15	Roof & Guttering	New Colorbond roofing 70 x 45 timber purlins in accordance with: > AS 1562.1:2018 Design and Installation of Sheet Roof and Wall Cladding – Metal. New Colorbond guttering and downpipes piped to new / existing Stormwater service in accordance with: > AS 3500.3.2:1998. National plumbing and drainage > Part 3.2: Stormwater drainage— Acceptable solutions
16	External Doors & Windows	Aluminium framed Sliding doors and sliding windows to be installed to: > Manufacturer's installation instructions with all glazing in accordance with the BASIX commitments.
18	Architraves	Selected 68 x 19 FJ Pine mouldings or to match existing.
19	Skirtings	Selected 90 x 19 FJ Pine mouldings or to match existing.

ALFRESCO ROOFING

Extend existing Colorbond Speedeck roofing to covered Alfresco area
Roof framing supported on LVL roof beam on 350mm brick piers.
Stone veneered cladding to brick piers on Pad footings

NEW CARPORT

Colorbond Speedeck roofing @ 5 degrees pitch on timber purlins
Use LVL rafters @ 600mm cts all to AS 1684
Roof framing supported on U-beam on 350mm brick piers.
Bagged 110mm thick brickwork to storage room on RC slab piered to depth for easement. Waterproof membrane and Agg line drainage as required.
Stone veneered cladding to brick piers on Pad footings



RC SLAB & FOOTINGS

Council easement location & depth to be checked on site.
RC slab & footings piered to adequate depth to ensure council easement is unaffected. All to Engineers details

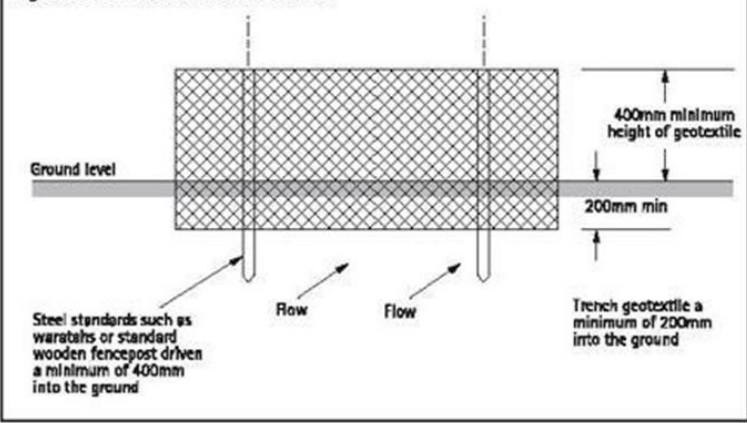
SECTION THRU CARPORT / ALFRESCO AREA

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SITE AREA	746.1 m2
Existing Floor Area	158 m2
Proposed Storage Floor area	12.7 m2
TOTAL FLOOR AREA	170.7 m2
FLOOR SPACE RATIO	22.9 %
Existing Roof coverage	195.5 m2
Existing paving	60 m2
Existing Driveway	48 m2
Carport / store roofing	57.5 m2
Alfresco roofing	18 m2
TOTAL SITE COVERAGE	379.0 m2
SITE COVERAGE RATIO	50 %
PRIVATE OPEN SPACE	250 m2
LANDSCAPED AREA = 342 m2	45.8 %



Figure A16.3 Elevation of silt fences



SEDIMENT CONTROL

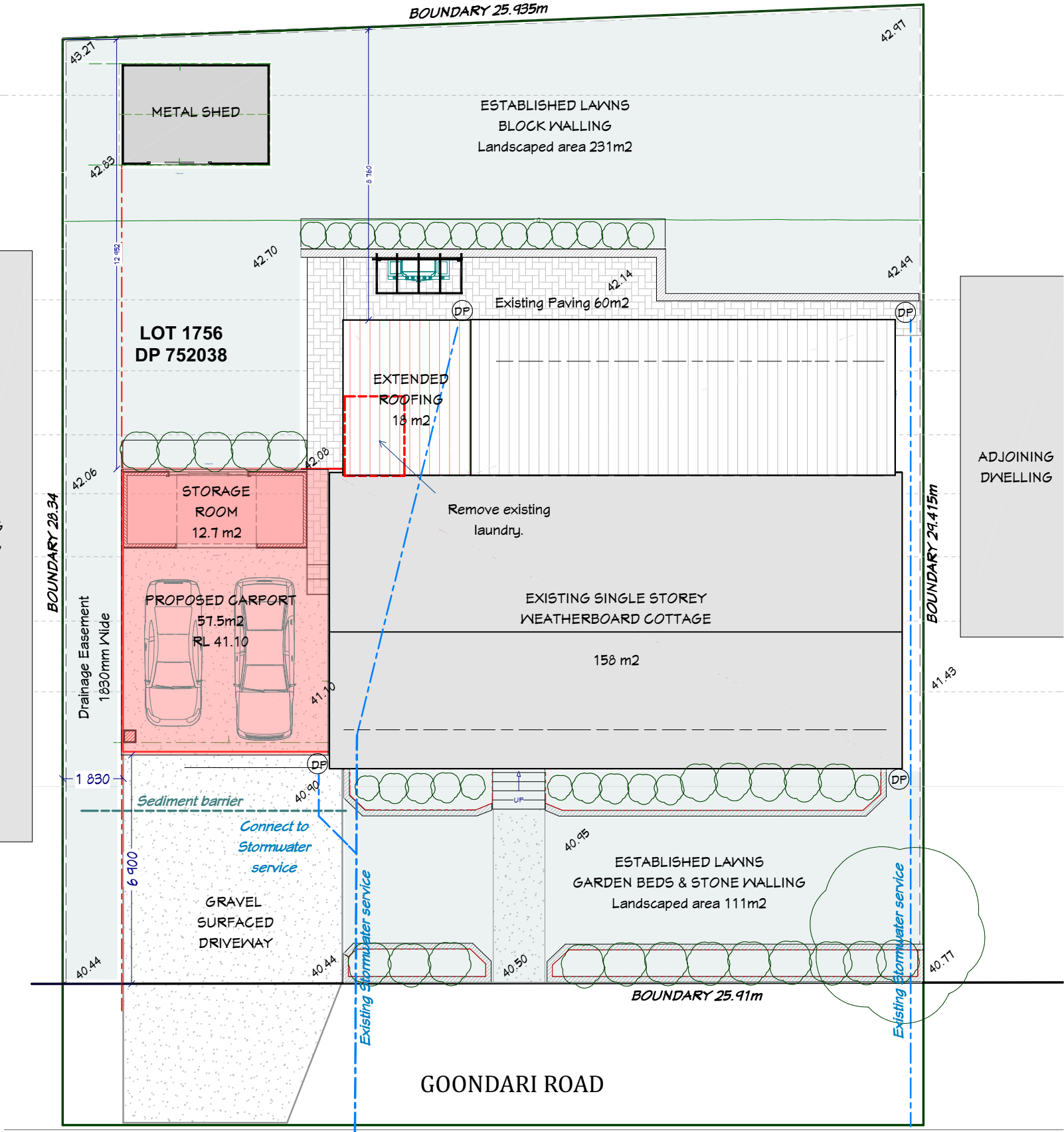
Install 600mm high silt fencing or similar sediment barrier pegged as required.
Clear fencing of sediment periodically.
Sediment control barrier to be left in place until final surfaces have been established

STORMWATER SERVICE

The property contains an existing stormwater service which drains to Goondari road.
The service is to be checked for adequacy by a licenced plumber/drainier.
New downpipes are to connect to the existing service via colorbond downpipes & 100mm Dia UPVC drainage pipe.

WASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.
All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.
Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.



SITE PLAN - Scale 1:200mm

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SCHEDULE OF COLOURS AND MATERIALS

**Proposed Alterations & Additions
10 Goondari Road Allambie Heights**

EXTERIOR – NEW CLAD WALLING

CLADDING – SELECTED HARDIES WEATHERBOARDS – COLOUR TO BE EQUIVALENT OR DARKER THAN WINDSPRAY



EXTERIOR – STORAGE ROOM WALLING

110MM BAGGED BRICKWORK - COLOUR TO BE EQUIVALENT OR DARKER THAN WINDSPRAY



WINDOWS

ALUMINIUM SLIDING WINDOWS & TRIM – COLOUR TO BE EQUIVALENT OR DARKER THAN WINDSPRAY



ROOFING

SKILLION ROOF – COLORBOND STRAMIT SPEEDECK - COLOUR TO BE EQUIVALENT OR DARKER THAN WINDSPRAY



GUTTERING, EAVES & FASCIAS

COLORBOND GUTTERING FASCIA AND BARGES – COLOUR TO BE EQUIVALENT OR DARKER THAN WINDSPRAY

EAVES LININGS FC SHEETING PAINTED WHITE