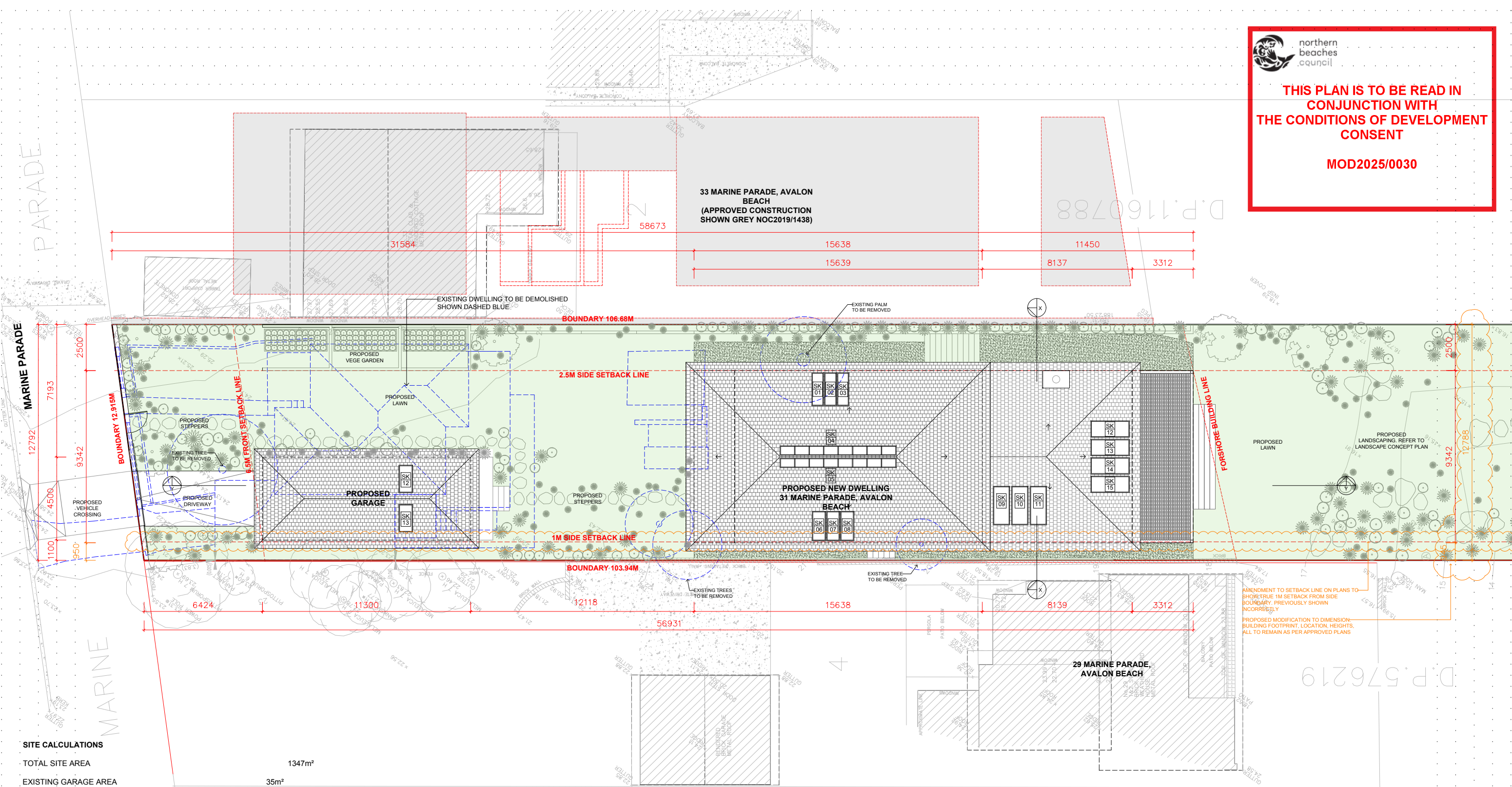




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THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

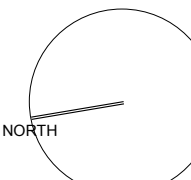
MOD2025/0030



SITE CALCULATIONS	
TOTAL SITE AREA	1347m²
EXISTING GARAGE AREA	35m²
EXISTING GROUND FLOOR GROSS FLOOR AREA	78.9m²
EXISTING ROOF AREA	142m²
EXISTING TOTAL GROSS FLOOR AREA (EX GARAGE)	78.9m²
PROPOSED GARAGE AREA	46.2m²
PROPOSED LOWER GROUND FLOOR GROSS FLOOR AREA	98.7m²
PROPOSED GROUND FLOOR GROSS FLOOR AREA	115.3m²
PROPOSED ROOF AREA	340.40m²
PROPOSED TOTAL GROSS FLOOR AREA (EX GARAGE)	214.0m²
PROPOSED LANDSCAPED AREA	1005.85m² (74.6%)

S4.55 NOTES - SITE PLAN

- NO CHANGE TO FOOTPRINT; BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS



NOTES

1. ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING

2. ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED

3. SPECIFICATION OF THIS PROJECT IS NBSPEC SIMPLE DOMESTIC SPECIFICATION 2023

4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022

5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS

6. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS

7. ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS

8. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS

9. SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT

IF IN DOUBT, ASK

KEY:

■

 DENOTES STRUCTURES CONSTRUCTED

▭

 DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED

 DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:

S4.55 MODIFICATION - 3

DRAWING TITLE:

SITE PLAN

SCALE:

1:200 @ A3

DATE OF ISSUE:

25.03.25

DRAWING NO.

DA-001

REVISION:

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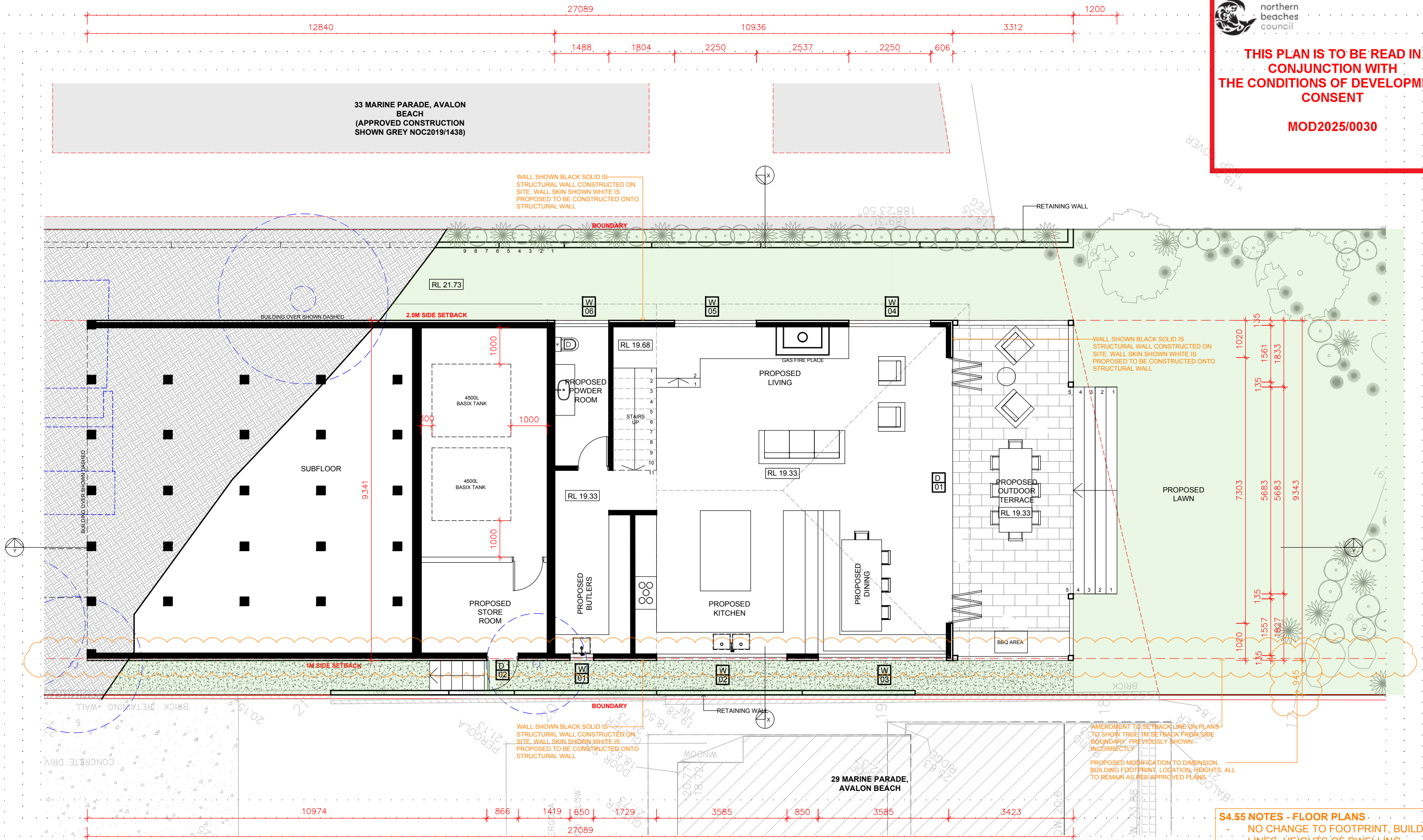
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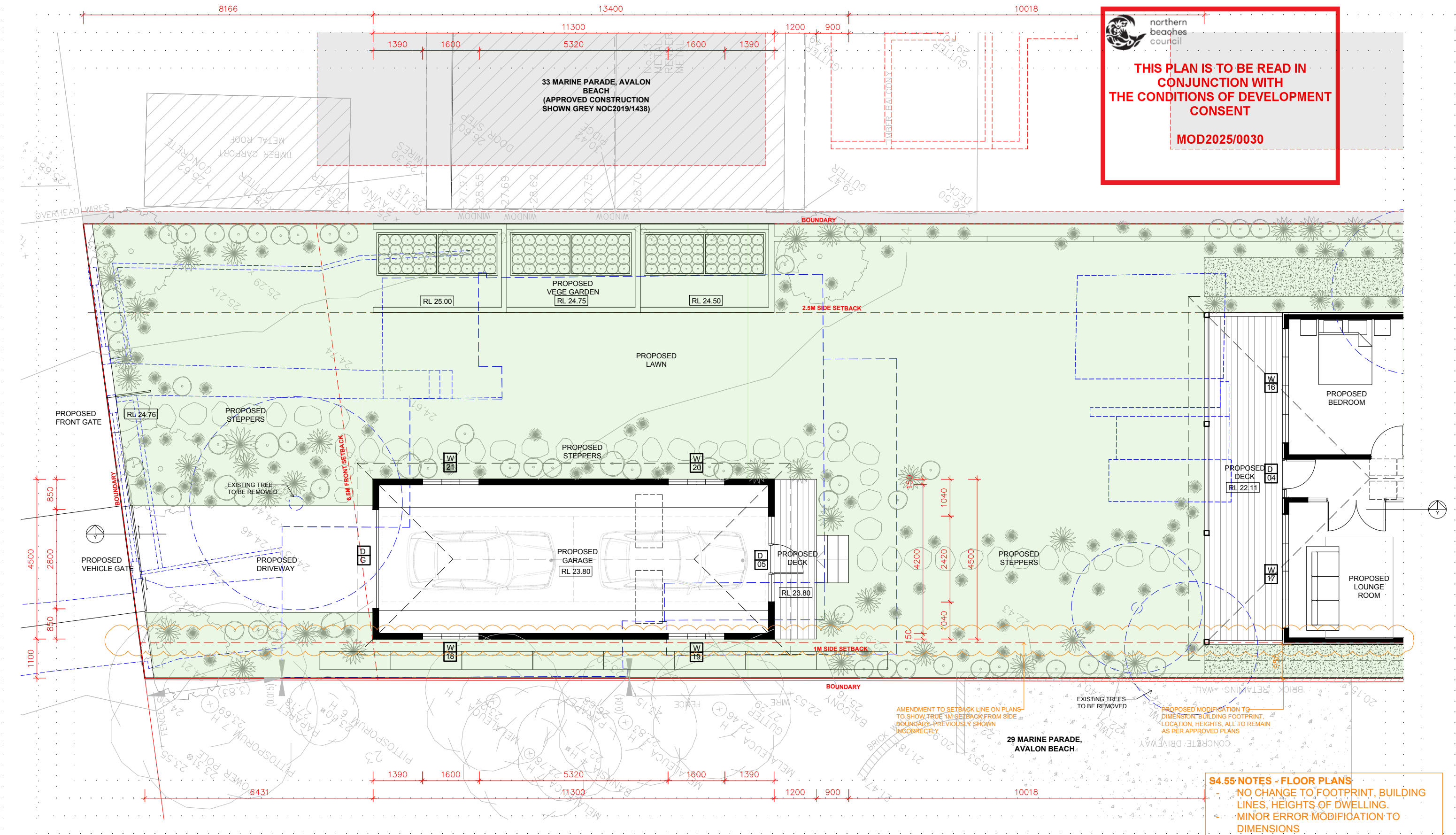
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LOWER GROUND FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A3.

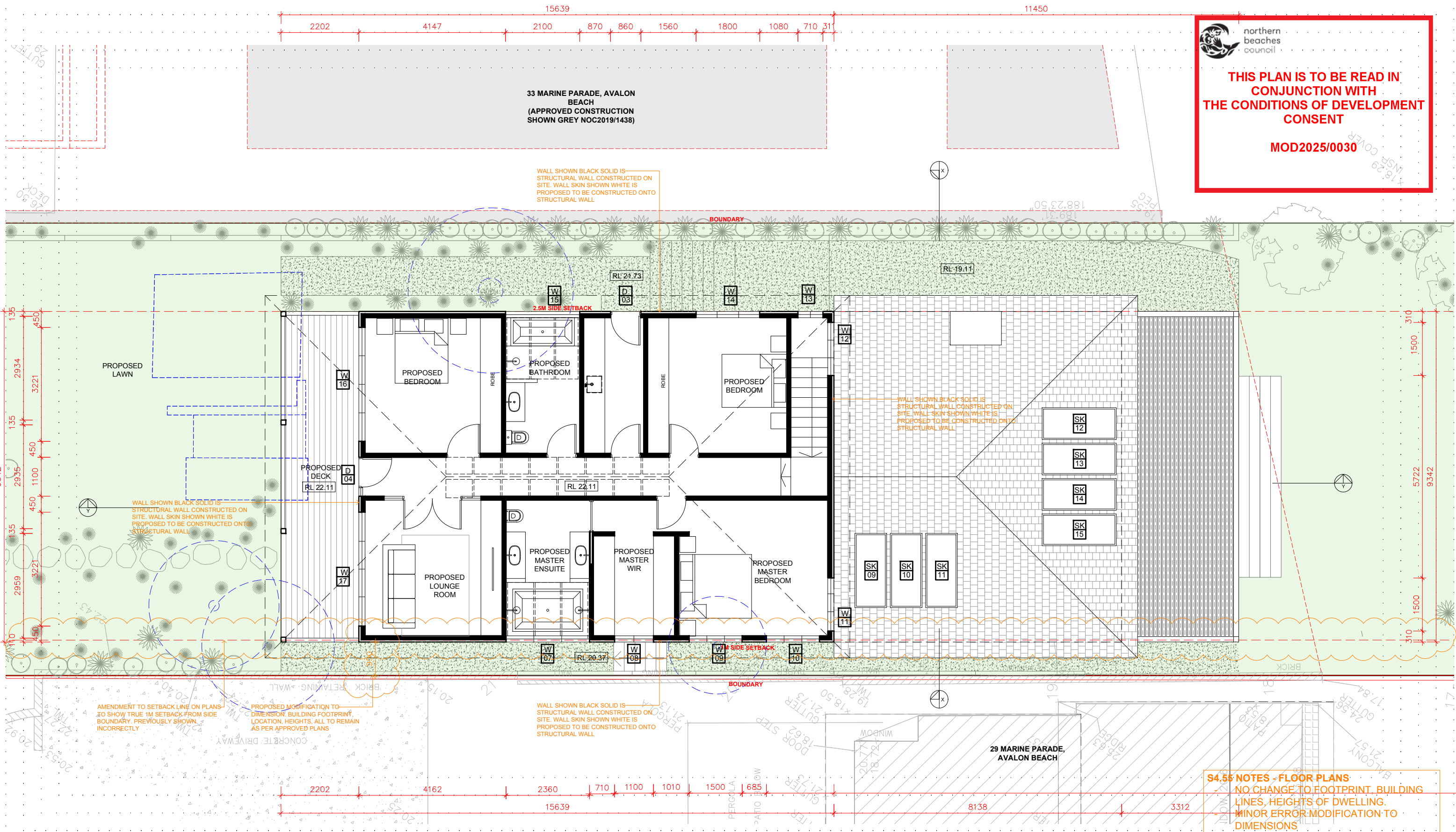
S4.55 NOTES - FLOOR PLANS.
- NO CHANGE TO FOOTPRINT, BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS

	NOTES - ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING - ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED - SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023 - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022 - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS - ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS - SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT IF IN DOUBT, ASK	KEY: - DENOTES STRUCTURES CONSTRUCTED - DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: S4.55 MODIFICATION - 3 DRAWING TITLE: LOWER GROUND GENERAL ARRANGEMENT PLAN SCALE: 1:100 @ A3	DATE OF ISSUE: 25.03.25 DRAWING NO. DA-100 REVISION: G	rama thomas martin architect new reg. #10383 SHOP 6, 20 AVALON PARADE, AVALON NSW 2107 www.ramarchitects.com e. info@ramarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
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GARAGE GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @A3

	NOTES 1. ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING 2. ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED 3. SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023 4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022 5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS 6. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS 7. ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS 8. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS 9. SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT IF IN DOUBT, ASK	KEY: — DENOTES STRUCTURES CONSTRUCTED — DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED - - - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: S4.55 MODIFICATION - 3 DRAWING TITLE: GARAGE GENERAL ARRANGEMENT PLAN SCALE: 1:100 @ A3	DATE OF ISSUE: 25.03.25 DRAWING NO. DA-101 REVISION: G	rama thomas martin architect new reg. #10383 SHOP 6, 20 AVALON PARADE, AVALON NSW 2107 www.ramarchitects.com e. info@ramarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
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GROUND FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @A 3

	NOTES - ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING - ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED - SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023 - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022 - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS - ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS - SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT IF IN DOUBT, ASK	KEY: — DENOTES STRUCTURES CONSTRUCTED — DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED — DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: S4.55 MODIFICATION - 3 DRAWING TITLE: GROUND FLOOR GENERAL ARRANGEMENT PLAN SCALE: 1:100 @ A3	DATE OF ISSUE: 25.03.25 DRAWING NO. DA-102 REVISION: G	rama thomas martin architect new reg #10383 SHOP 6, 20 AVALON PARADE, AVALON NSW 2107 www.ramarchitects.com e. info@ramarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
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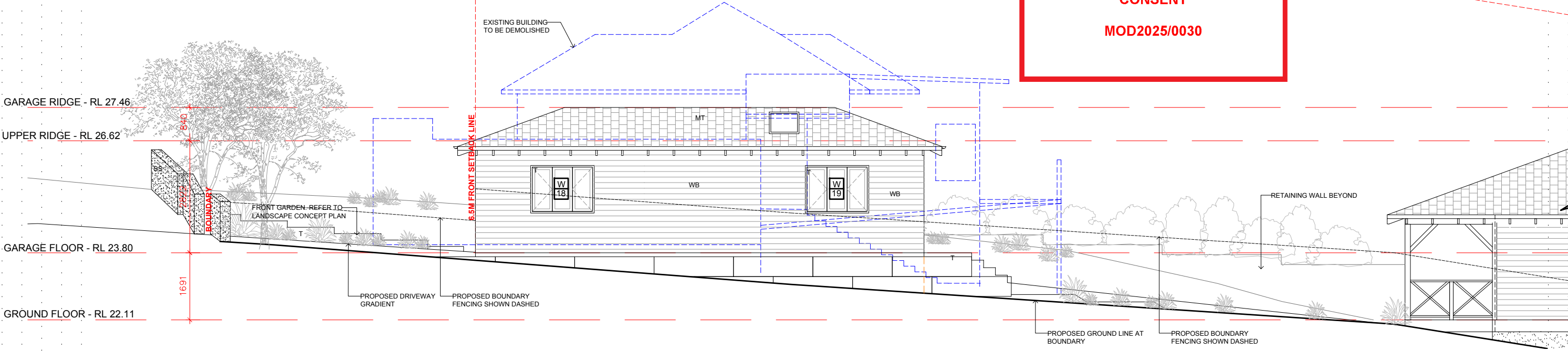


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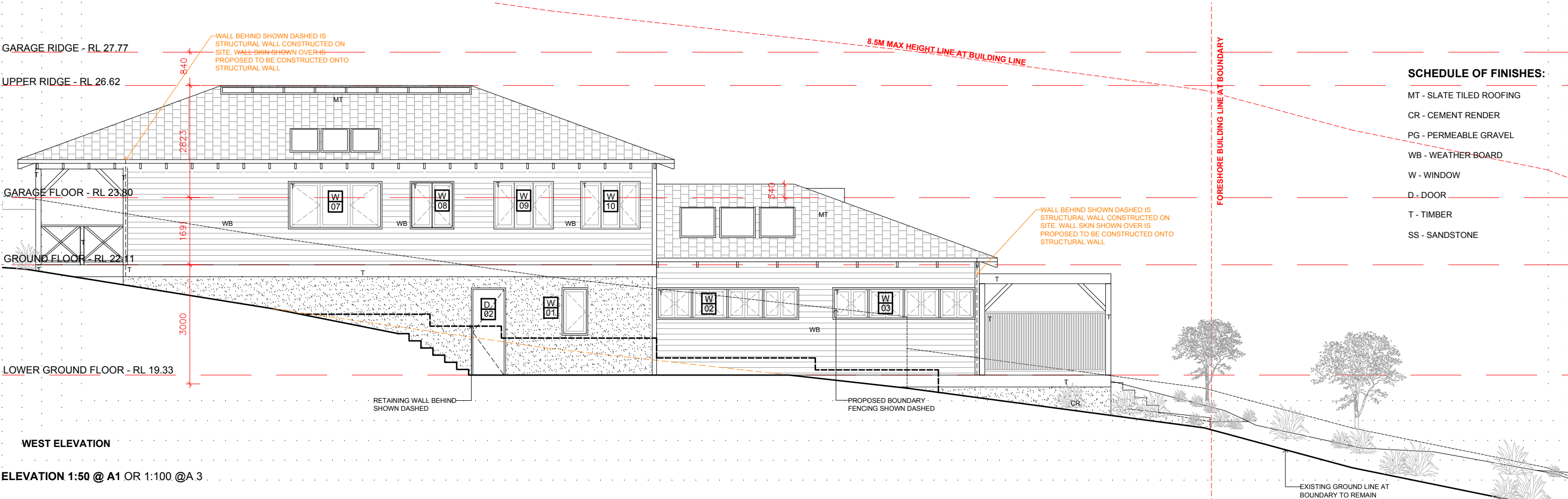
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THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2025/0030

- S4.55 NOTES - ELEVATIONS
- NO CHANGE TO FOOTPRINT, BUILDING LINES, HEIGHTS OF DWELLING.
 - MINOR ERROR MODIFICATION TO DIMENSIONS



ELEVATION CONTINUED BELOW



SCHEDULE OF FINISHES:

- MT - SLATE TILED ROOFING
- CR - CEMENT RENDER
- PG - PERMEABLE GRAVEL
- WB - WEATHER BOARD
- W - WINDOW
- D - DOOR
- T - TIMBER
- SS - SANDSTONE

WEST ELEVATION

ELEVATION 1:50 @ A1 OR 1:100 @ A3

NOTES 1. ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING 2. ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED 3. SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023 4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022 5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS 6. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS 7. ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS 8. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS 9. SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT IF IN DOUBT, ASK	KEY: DENOTES STRUCTURES CONSTRUCTED DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
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S4.55 NOTES - ELEVATIONS

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- MINOR ERROR MODIFICATION TO DIMENSIONS

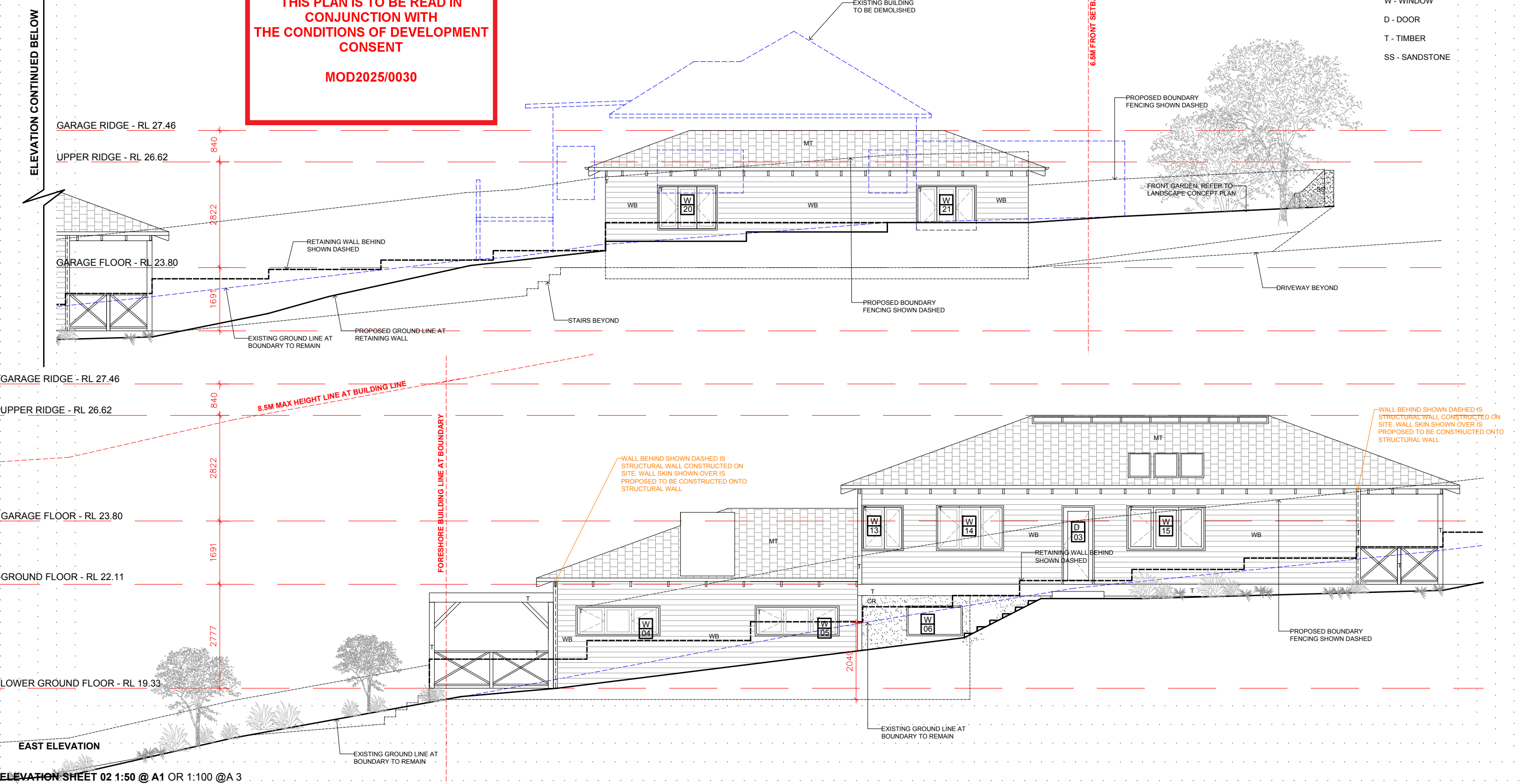


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MOD2025/0030

SCHEDULE OF FINISHES:

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- CR - CEMENT RENDER
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- W - WINDOW
- D - DOOR
- T - TIMBER
- SS - SANDSTONE



ELEVATION SHEET 02 1:50 @ A1 OR 1:100 @ A 3

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IF IN DOUBT, ASK

KEY:

- DENOTES STRUCTURES CONSTRUCTED
- DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
S4.55 MODIFICATION - 3

DRAWING TITLE:
ELEVATION SHEET 02

SCALE:
1:100 @ A3

DATE OF ISSUE:
25.03.25

DRAWING NO.
DA-301

REVISION:
G

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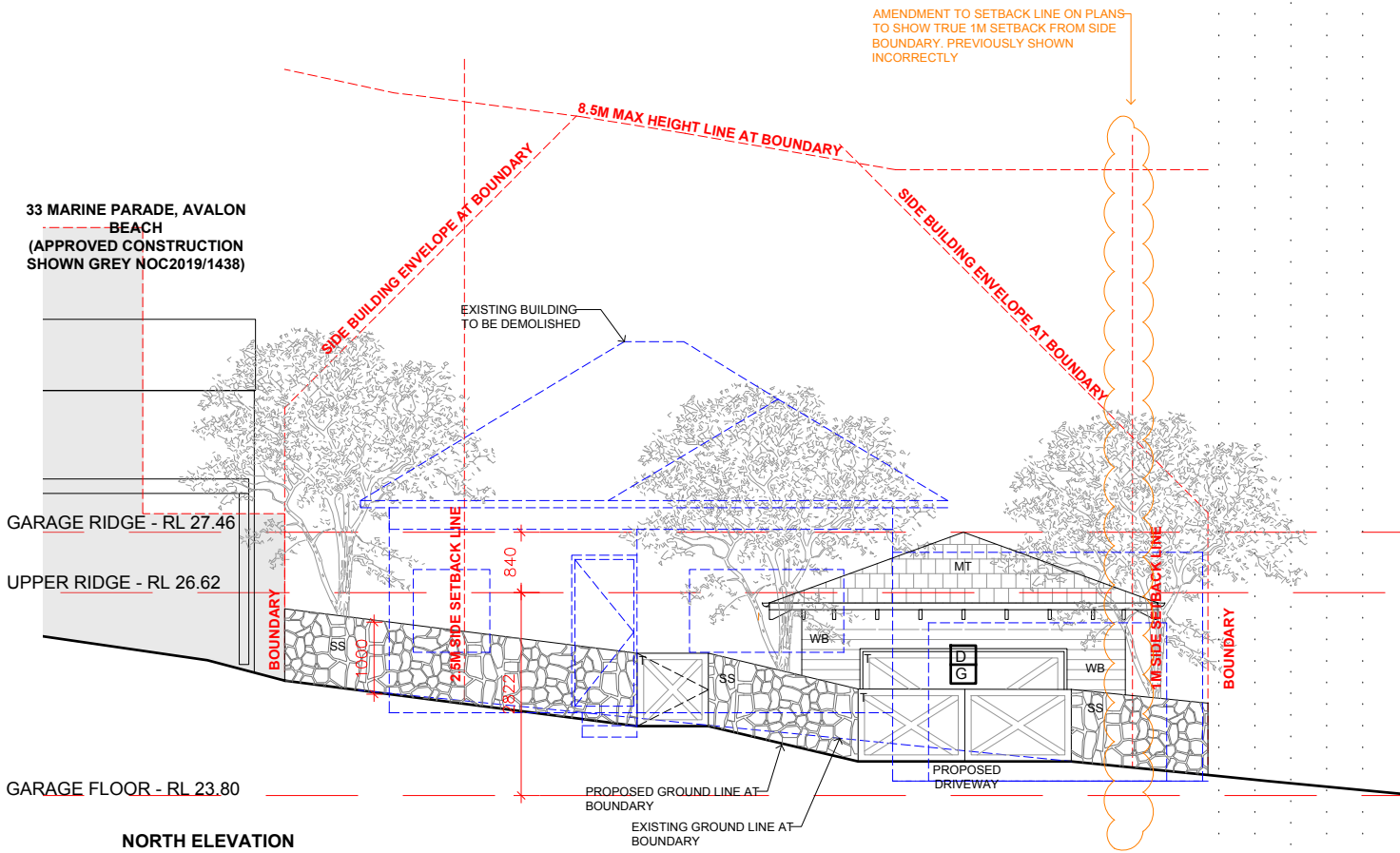
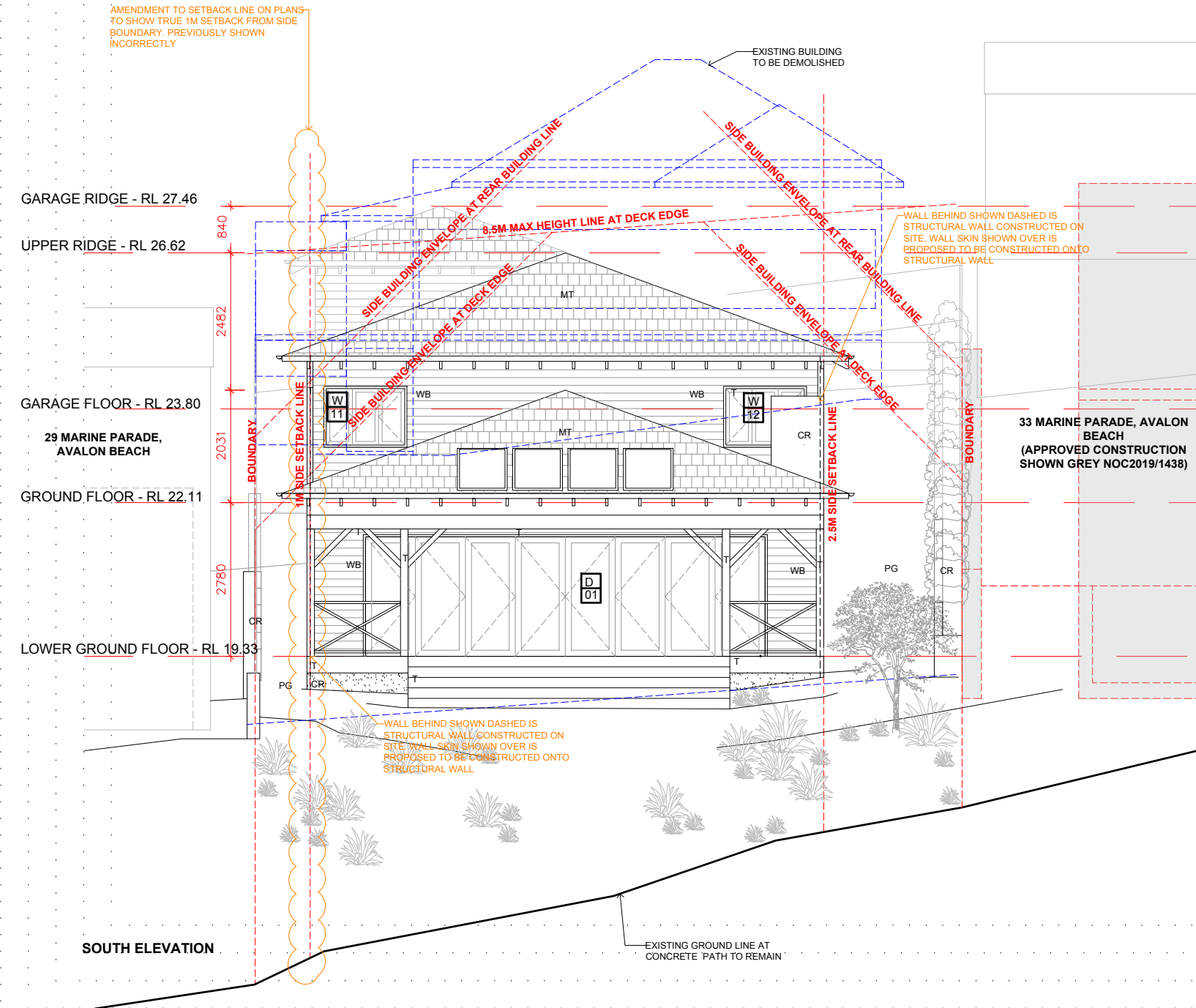
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S4.55 NOTES - ELEVATIONS

- NO CHANGE TO FOOTPRINT, BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS

SCHEDULE OF FINISHES:

- MT - SLATE TILED ROOFING
CR - CEMENT RENDER
PG - PERMEABLE GRAVEL
WB - WEATHER BOARD
W - WINDOW
D - DOOR
T - TIMBER
SS - SANDSTONE



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2025/0030

ELEVATION SHEET 03 1:50 @ A1 OR 1:100 @ A3

NOTES

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IF IN DOUBT, ASK

KEY:

-  DENOTES STRUCTURES CONSTRUCTED
-  DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED
-  DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
S4.55 MODIFICATION - 3

DRAWING TITLE:
ELEVATION SHEET 03

SCALE:
1:100 @ A3

DATE OF ISSUE:
25.03.25

DRAWING NO.
DA-302

REVISION:
G

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architect
nsw reg. #10383

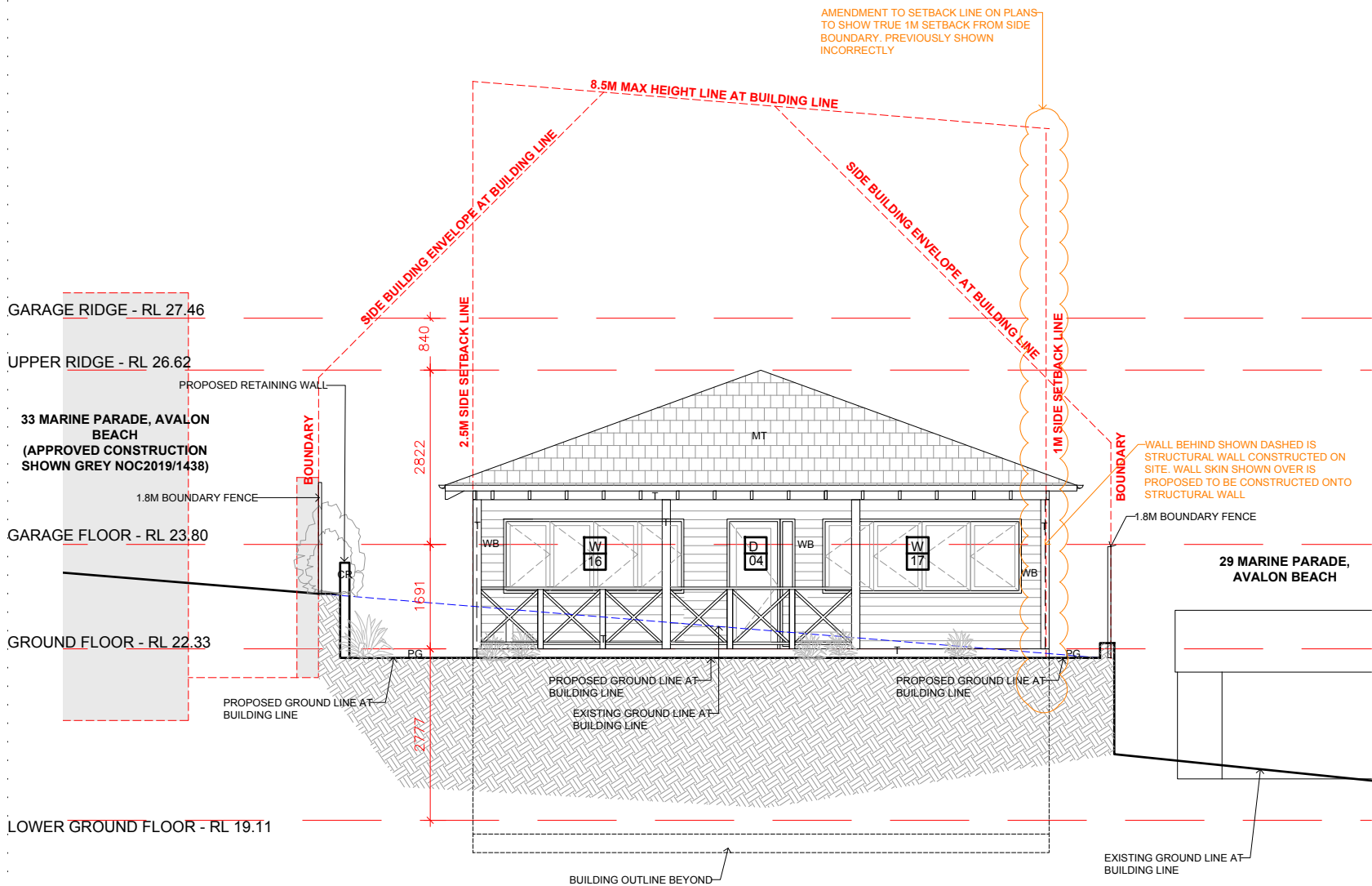
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CONSENT

MOD2025/0030

S4.55 NOTES - ELEVATIONS

- NO CHANGE TO FOOTPRINT, BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS

ELEVATION SHEET 04 1:50 @ A1 OR 1:100 @ A3

NOTES

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IF IN DOUBT, ASK

KEY:

- DENOTES STRUCTURES CONSTRUCTED
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- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

PROJECT:

PROPOSED NEW RESIDENTIAL
DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
S4.55 MODIFICATION - 3

DRAWING TITLE:
ELEVATION SHEET 04

SCALE:
1:100 @ A3

DATE OF ISSUE:
25.03.25

DRAWING NO.
DA-303

REVISION:
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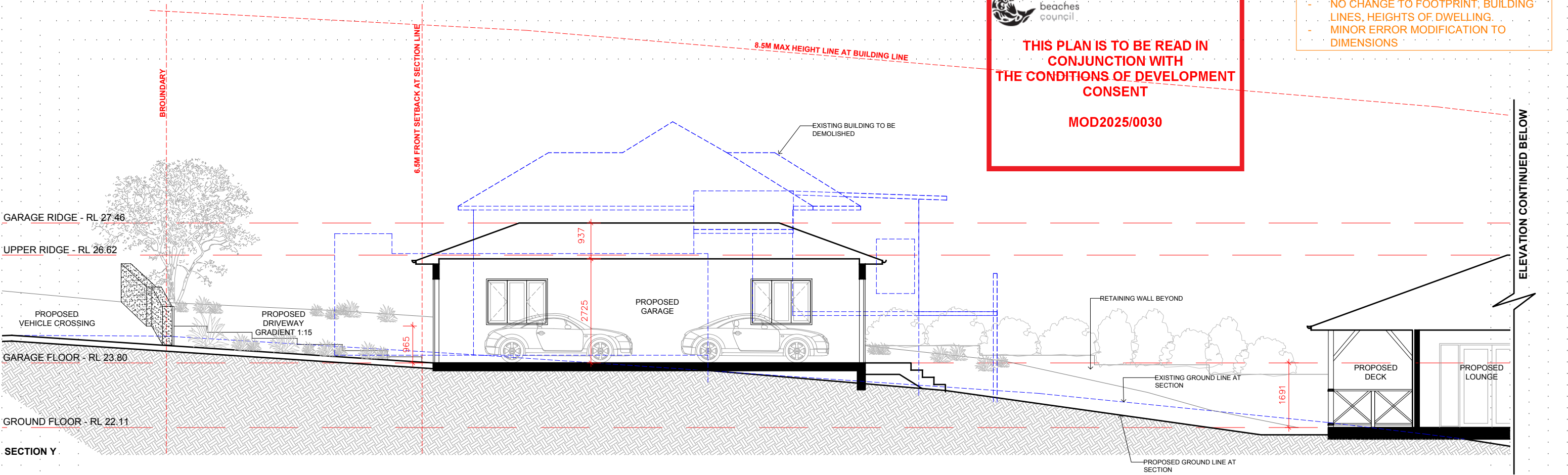
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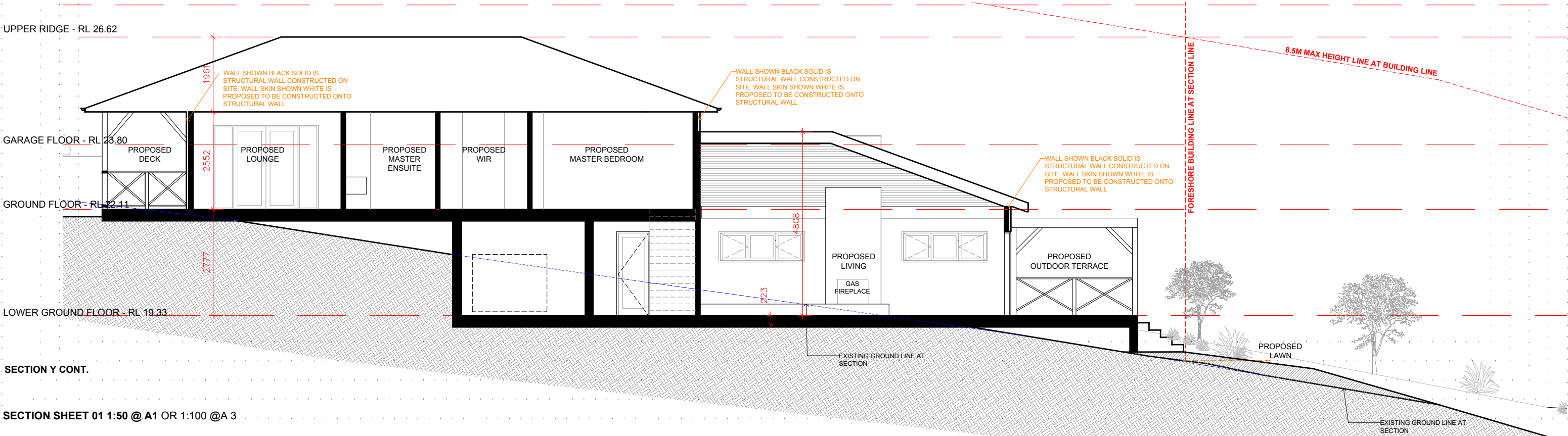
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THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2025/0030

S4.55 NOTES - SECTIONS

- NO CHANGE TO FOOTPRINT; BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS





NOTES 1. ALL DIMENSIONS IN MILLIMETRES. ALL DIMENSIONS TO BE CHECKED ON SITE AGAINST PLANS. DO NOT SCALE OFF THIS DRAWING 2. ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED 3. SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023 4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022 5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS 6. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS 7. ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS 8. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION 9. SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT IF IN DOUBT, ASK	KEY: ■ DENOTES STRUCTURES CONSTRUCTED □ DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED - - - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: S4.55 MODIFICATION - 3 DRAWING TITLE: SECTION SHEET 01 SCALE: 1:100 @ A3	DATE OF ISSUE: 25.03.25 DRAWING NO. DA-400 REVISION: G	rama thomas martin architect nsw reg. #10383 SHOP 9, 30 AVALON PARADE, AVALON, NSW, 2107 www.ramaarchitects.com e. info@ramaarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
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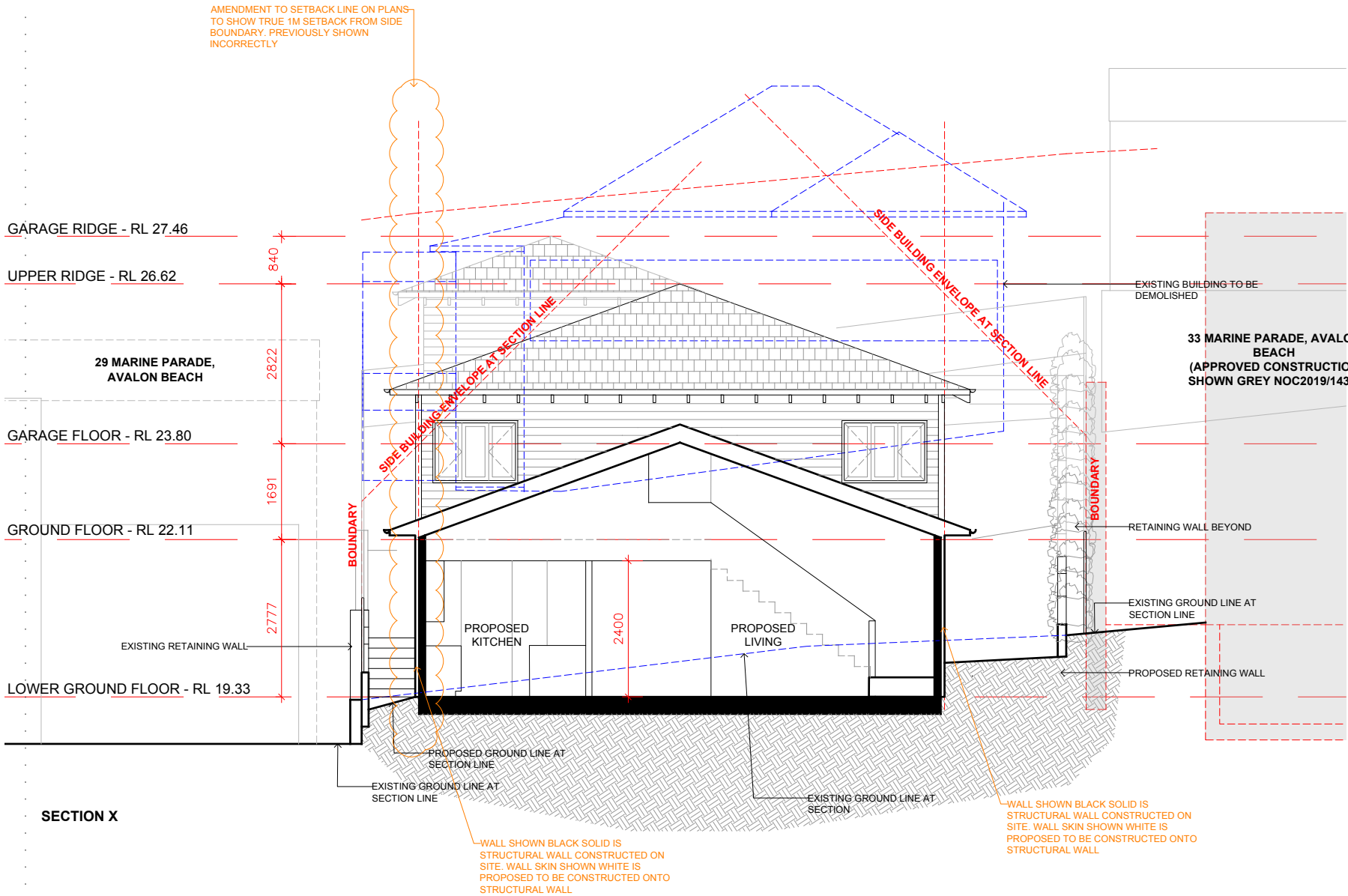
S4.55 NOTES - SECTIONS

- NO CHANGE TO FOOTPRINT, BUILDING LINES, HEIGHTS OF DWELLING.
- MINOR ERROR MODIFICATION TO DIMENSIONS



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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SECTION SHEET 02 1:50 @ A1 OR 1:100 @A 3

NOTES

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2. ALL FINISHES, FITTINGS, FIXTURES AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS/SUPPLIERS SPECIFICATIONS UNLESS OTHERWISE NOTED
3. SPECIFICATION OF THIS PROJECT IS NATSPEC SIMPLE DOMESTIC SPECIFICATION 2023
4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE N.C.C. 2022
5. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS
6. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BASIX REQUIREMENTS
7. ALL STRUCTURAL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL, GEOTECHNICAL, STORMWATER, COASTAL ENGINEERS DETAILS
8. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT APPLICATION CONSENT & ALL RELEVANT SUPPORTING DOCUMENTS
9. SUPERINTENDENT AND CONTRACT ADMINISTRATOR OF CONSTRUCTION IS THE CONTRACTOR UNLESS OTHERWISE STATED IN BUILDING CONTRACT

IF IN DOUBT, ASK

KEY:

- DENOTES STRUCTURES CONSTRUCTED
- DENOTES PROPOSED STRUCTURES TO BE CONSTRUCTED
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
S4.55 MODIFICATION - 3

DRAWING TITLE:
SECTION SHEET 02

SCALE:
1:100 @ A3

DATE OF ISSUE:
25.03.25

DRAWING NO.
DA-401

REVISION:
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