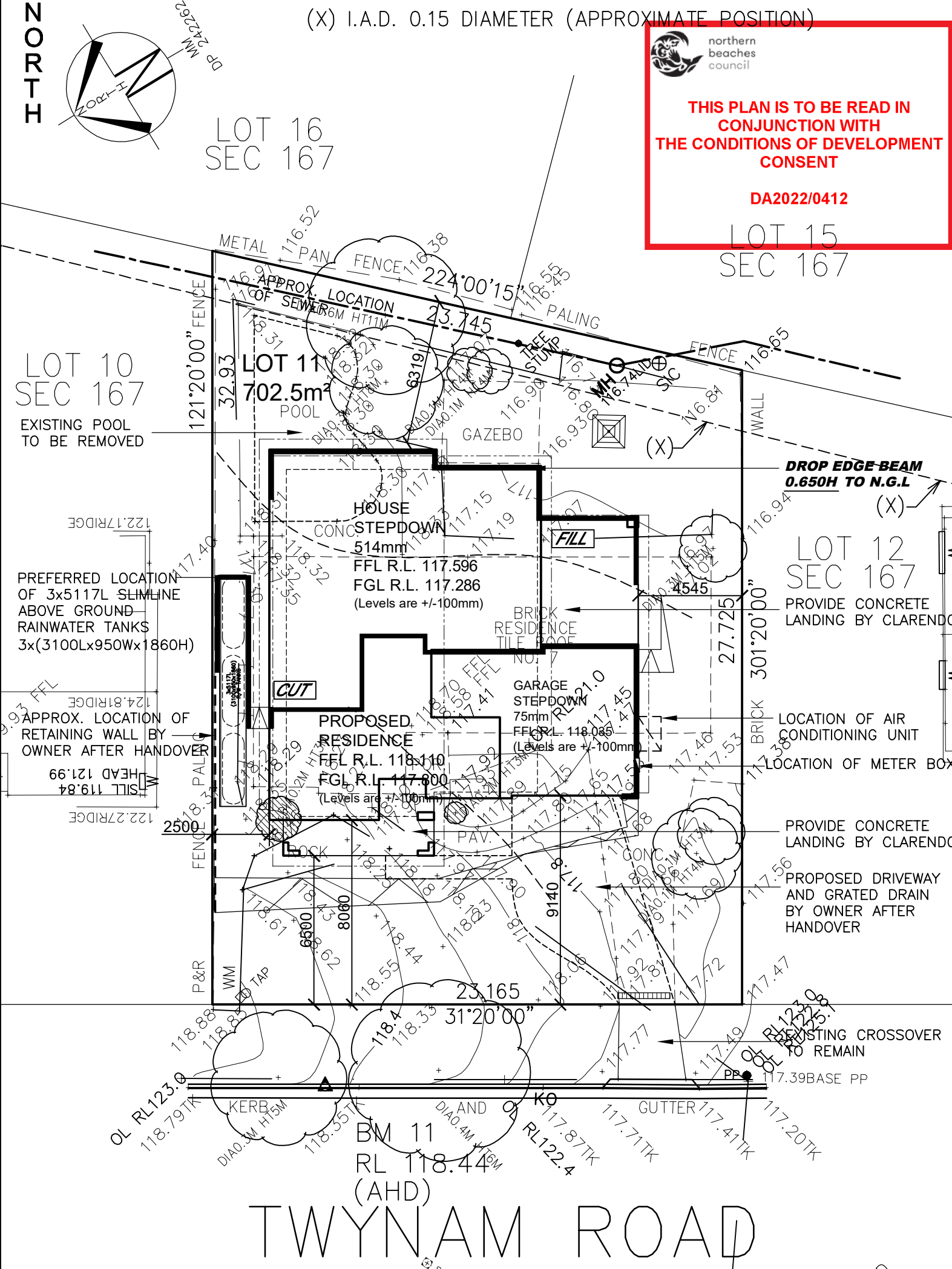




LOT 11 SEC 167
D.P: 242262
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	702.5 m ²
ROOF AREA	269.3 m ²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	370.8 m ² 52.7 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	172.0 m ²
MIN. REQUIRED BY COUNCIL:	60 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT MAXIMUM CEILING HEIGHT (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	8.5 m 7.2 m
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	
SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT: DRIVEWAY/PAVED AREAS: TOTAL:	269.3m ² 61.1m ² 330.4m ² 47.0 %
MAX SITE COVERAGE FOR OSD:	40%
BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	396.1 m ² 56.3 %



0006831762-01 15 Feb 2022

Assessor Fadi Sweis
Accreditation No. 20390

Address:
7 Twynam Road, Davidson,
NSW, 2085

65.2
Mains

www.nathers.gov.au



 DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
STREET VIA O.S.D. &
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

SITE PLAN
SCALE 1:200

DRIVEWAY GRADIENT PROFILE
SCALE-1:100

GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____		DATE: _____								
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.		PRODUCT: FAIRMONT 41 Pacific - Balcony R/H Garage Sapphire Specification		CLIENT: Mr. BANKS Mrs. BANKS SITE ADDRESS: Lot 11 No 7 Twynam Road DAVIDSON 2085		DA DRAWINGS		
								DRAWN: SB	DATE: 6.10.21	Rev: I
								RATIO @ A3: 1:200	CHECKED: BG	
								SHEET: 2	JOB No: 29915453	NSW

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0412

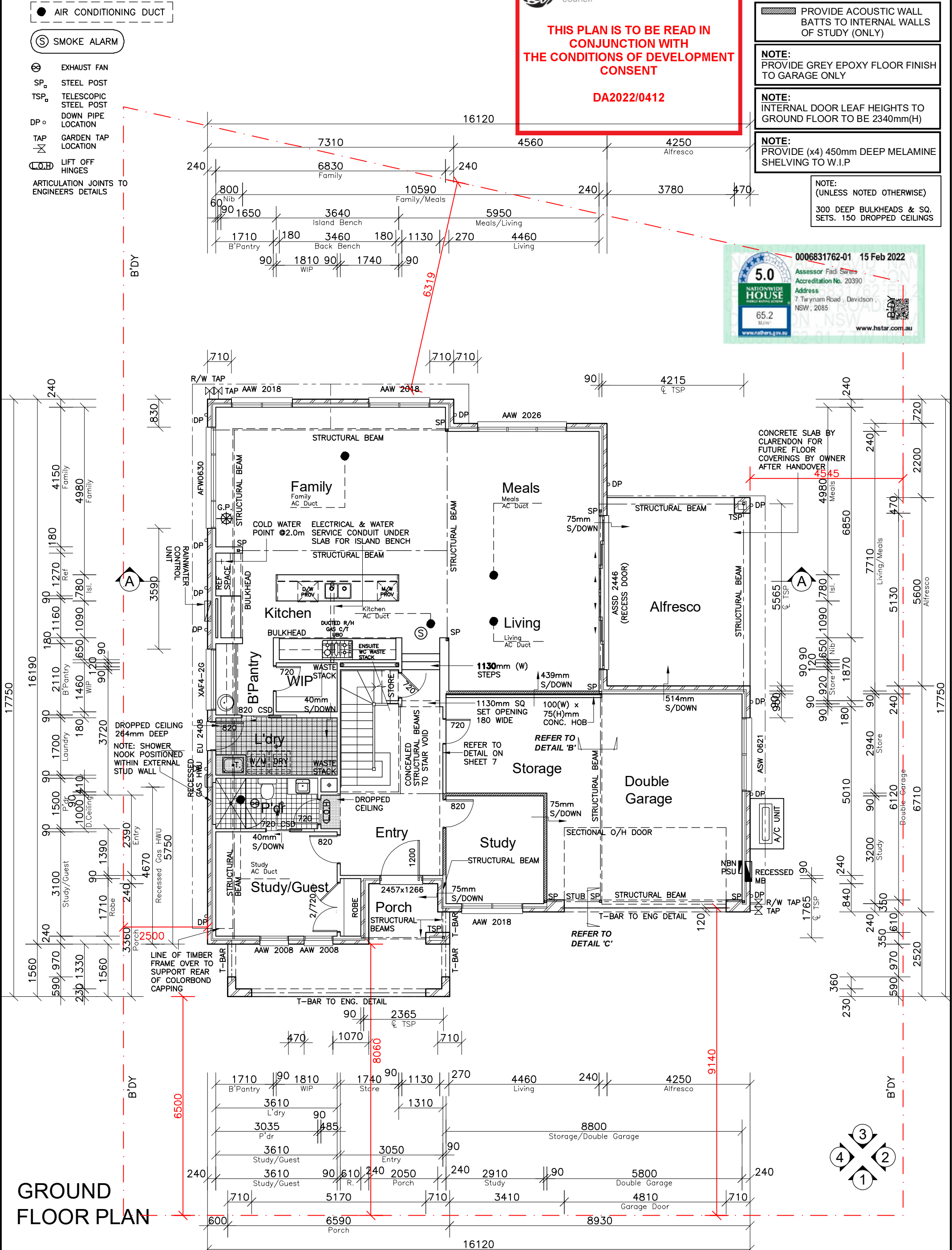
PROVIDE ACOUSTIC WALL
BATTS TO INTERNAL WALLS
OF STUDY (ONLY)

NOTE:
PROVIDE GREY EPOXY FLOOR FINISH
TO GARAGE ONLY

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



GROUND
FLOOR PLAN

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
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PRODUCT:

FAIRMONT 41
Pacific - Balcony
R/H Garage

Sapphire Specification

CLIENT:

Mr. BANKS
Mrs. BANKS

SITE ADDRESS:

Lot 11 No 7
Twynam Road
DAVIDSON 2085

DA DRAWINGS

DRAWN:

PG.

DATE:

26.10.21

Rev:

I

RATIO @ A3:

1:100

CHECKED:

J.S

SHEET:

3

JOB No:

29915453

NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

DP ○ DOWN PIPE LOCATION

⊕ LIFT OFF HINGES

SP ○ STEEL POST

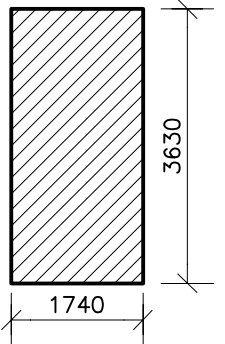
TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0412



STAIR CUTOUT

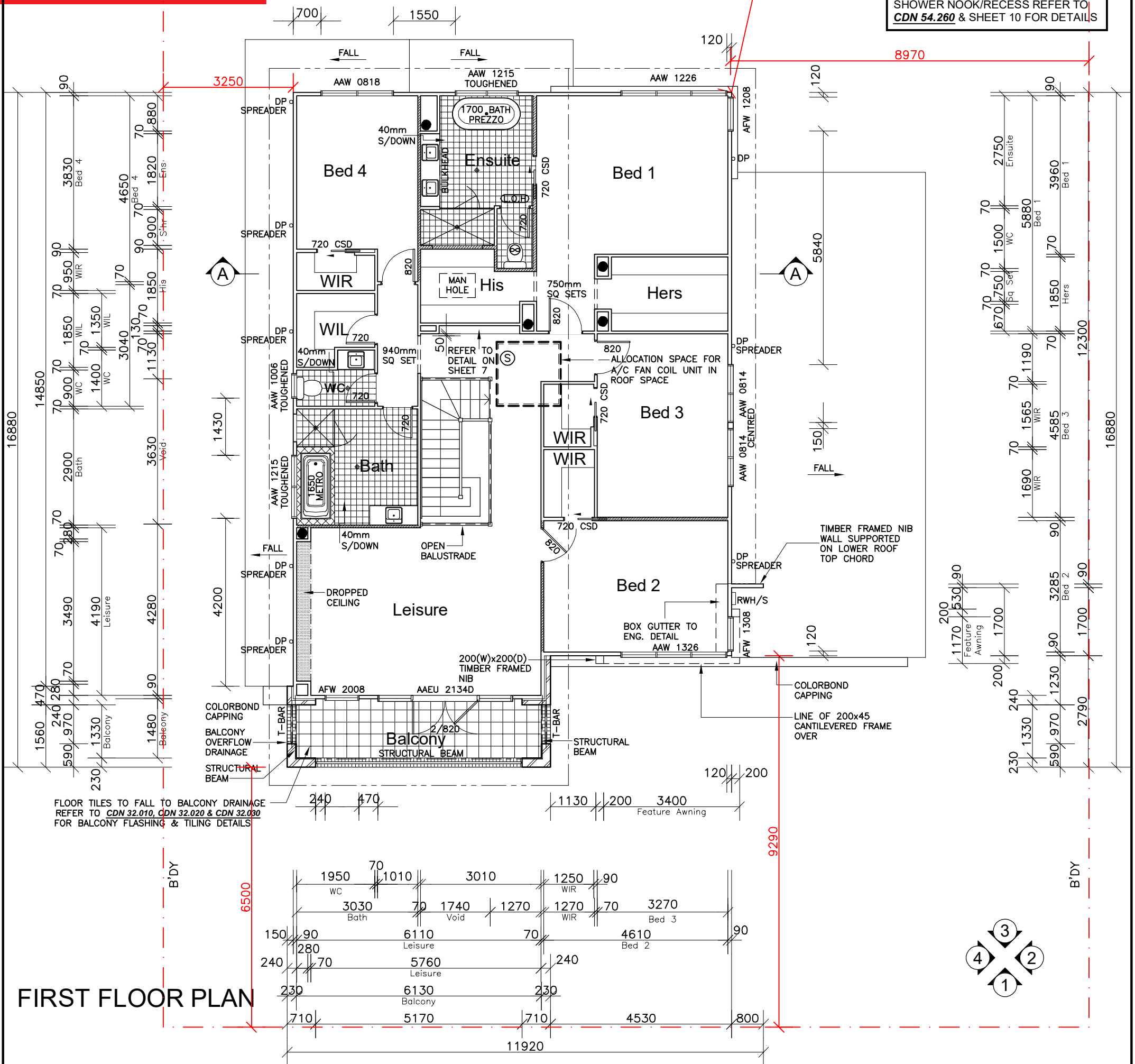
SCALE 1:100

PROVIDE R2.0 (70mm) ACOUSTIC INSULATION WALL BATTS TO INTERNAL WALLS OF ENSUITE, BED 2/BED 3, BED 2/LEISURE, BATH/LEISURE (ONLY)

NOTE: ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE: SHOWER NOOK/RECESS REFER TO CDN 54.260 & SHEET 10 FOR DETAILS

NOTE: (UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



FIRST FLOOR PLAN

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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PRODUCT:
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Pacific - Balcony
R/H Garage

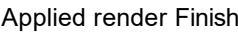
Sapphire Specification

CLIENT:
Mr. BANKS
Mrs. BANKS

SITE ADDRESS:
Lot 11 No 7
Twynam Road
DAVIDSON 2085

DA DRAWINGS

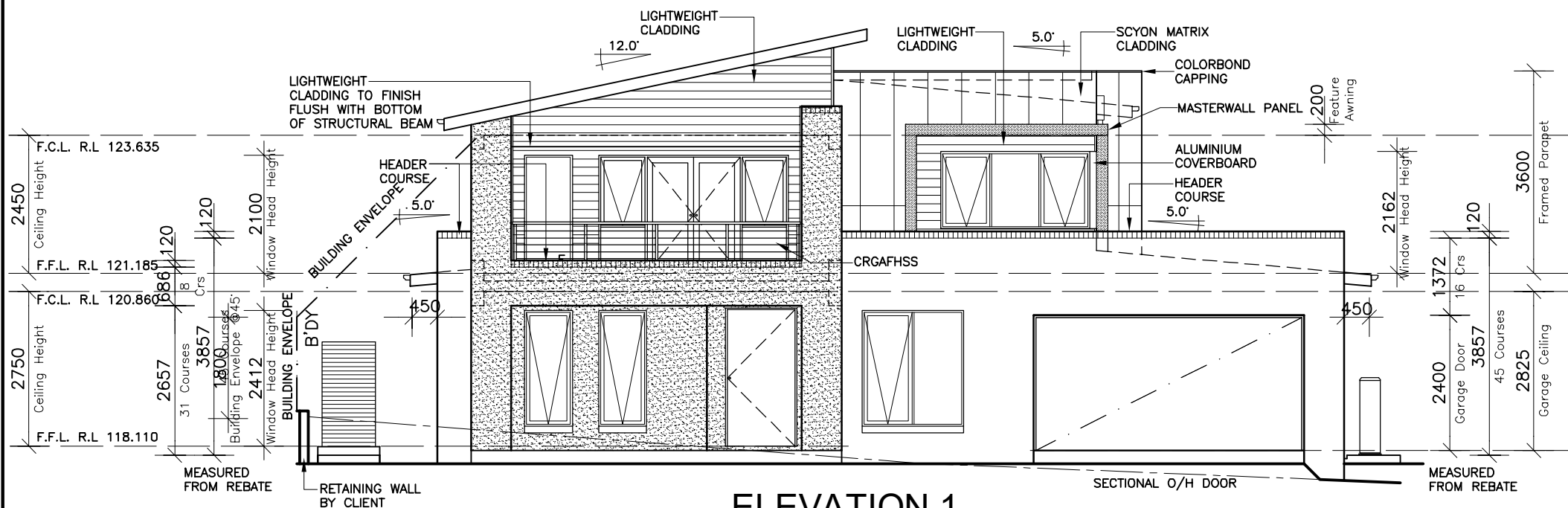
DRAWN: PG.	DATE: 26.10.21	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	I
SHEET: 4	JOB No: 29915453	NSW



NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

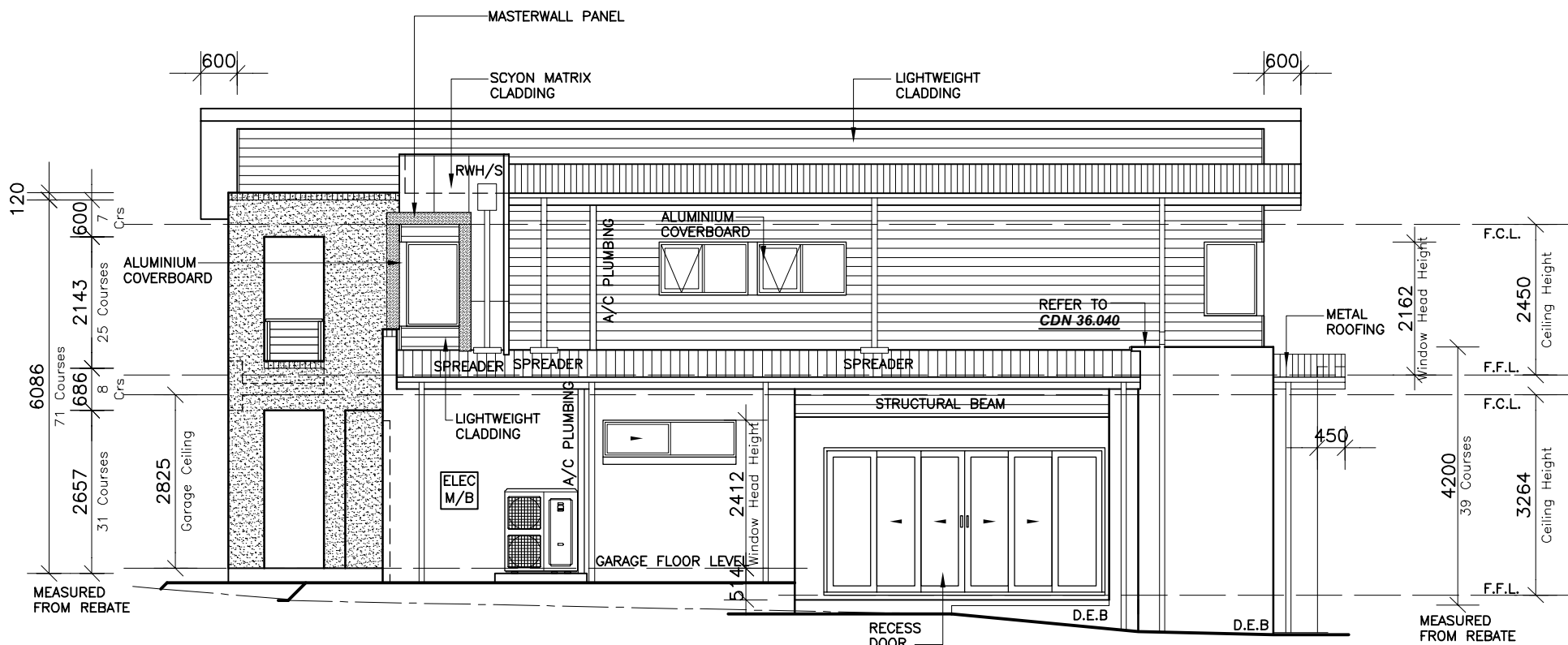


ELEVATION 1
-NORTH WEST-

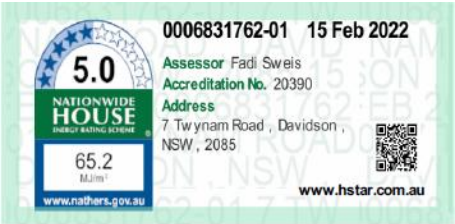


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CONSENT**

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ELEVATION 2
-SOUTH WEST-



CLIENT'S SIGNATURE:

DATE:

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**# ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.**

PRODUCT:
FAIRMONT 41
Pacific - Balcony
R/H Garage

Sapphire Specification

CLIENT:
Mr. BANKS
Mrs. BANKS

SITE ADDRESS:
Lot 11 No 7
Twynam Road
DAVIDSON 2085

DA DRAWINGS

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SHEET: 5	JOB No: 29915453	NSW

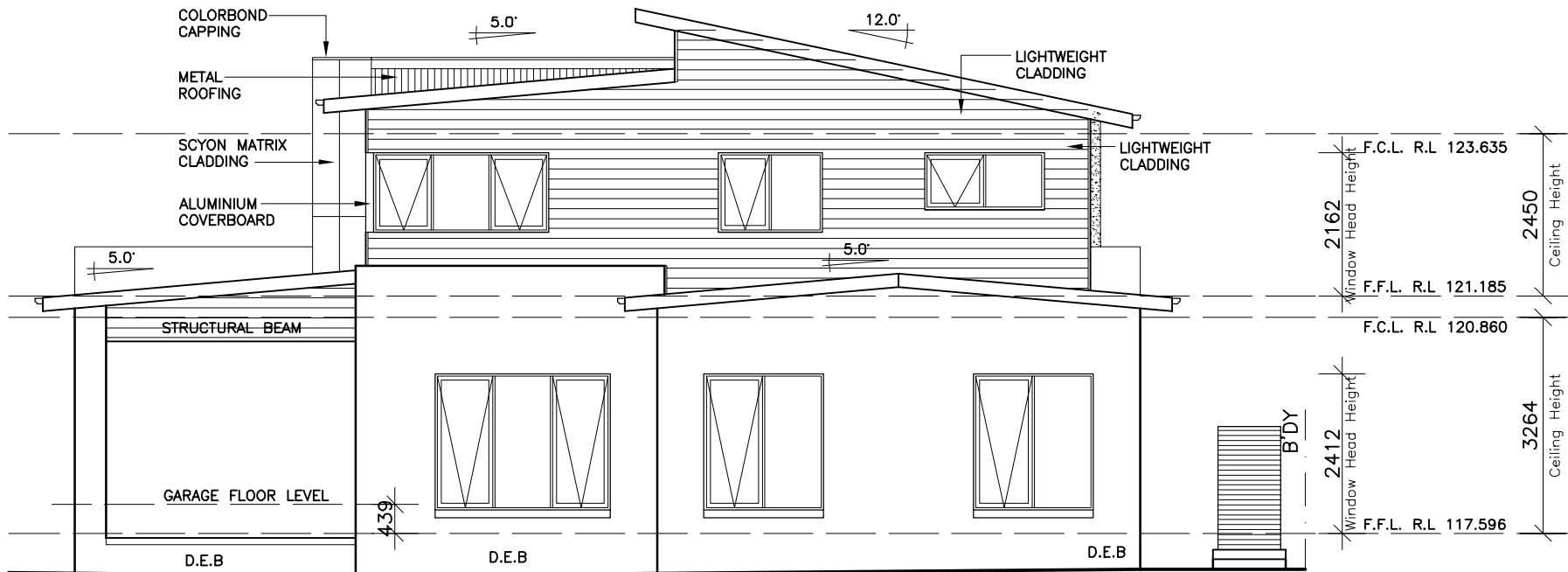


Applied render Finish

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



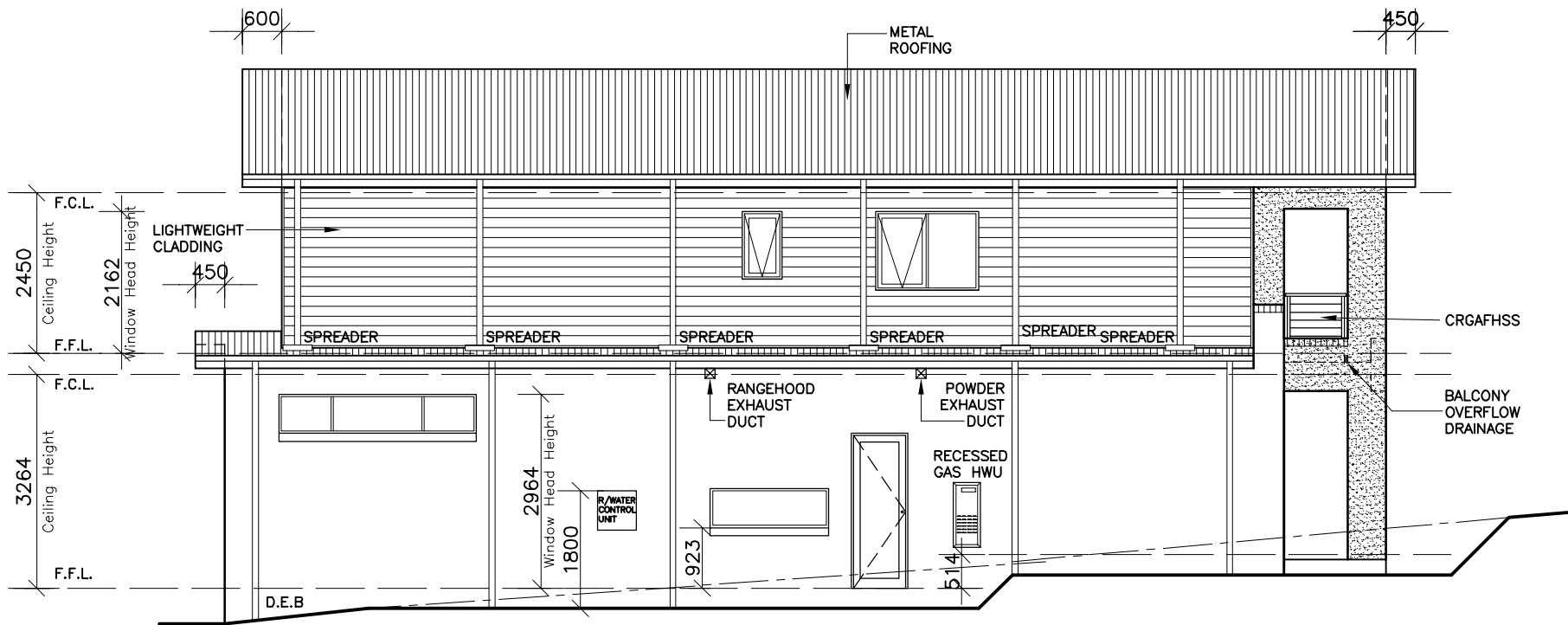
ELEVATION 3
-SOUTH EAST-



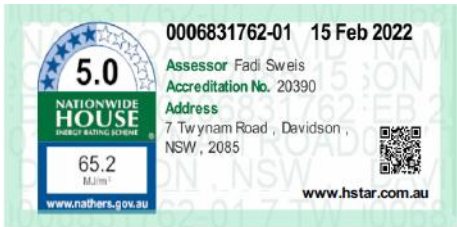
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beaches
council

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ELEVATION 4
-NORTH EAST-



CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
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Pacific - Balcony
R/H Garage

Sapphire Specification

CLIENT:
Mr. BANKS
Mrs. BANKS

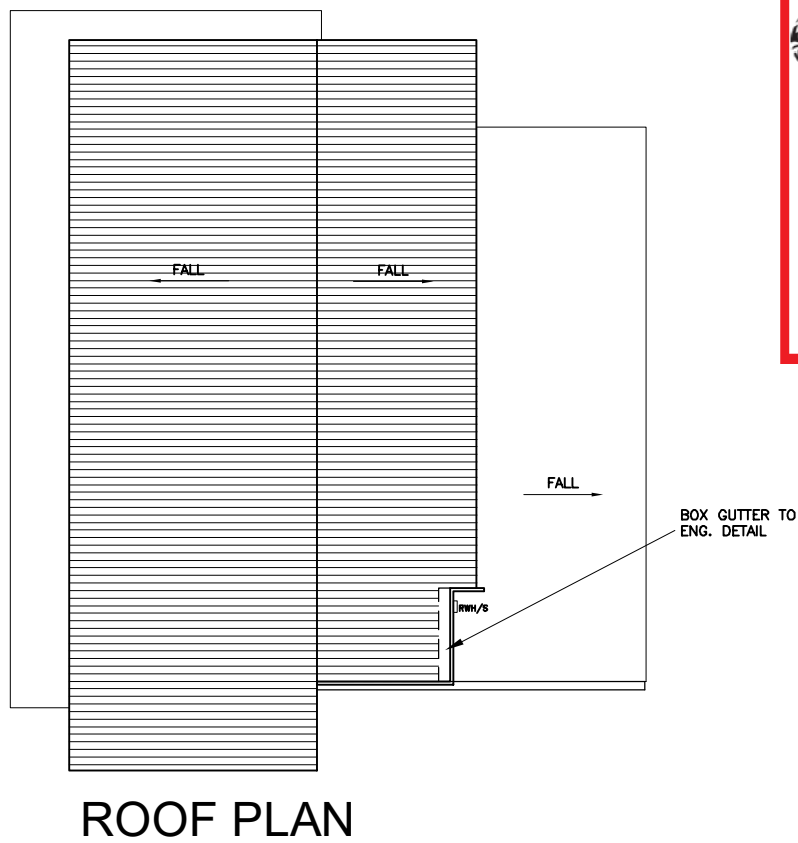
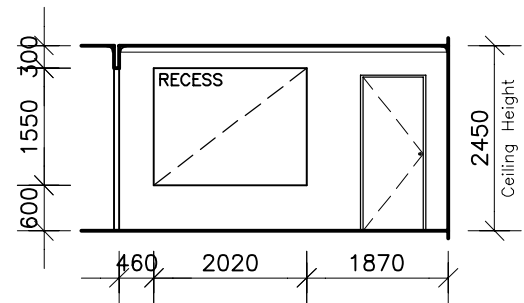
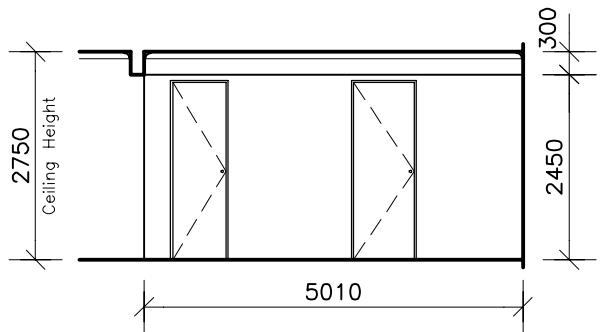
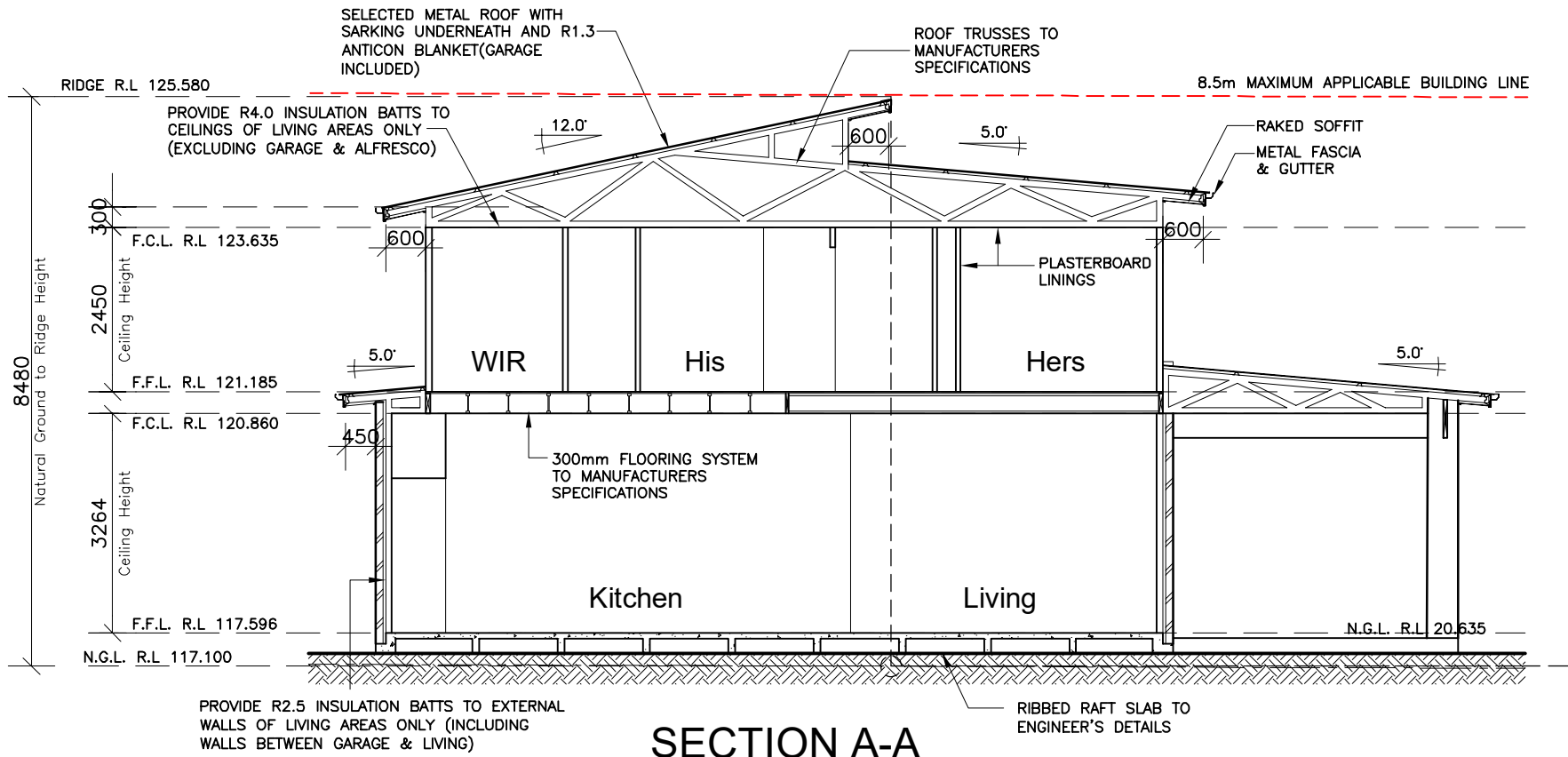
SITE ADDRESS:
Lot 11 No 7
Twynam Road
DAVIDSON 2085

DA DRAWINGS

DRAWN: PG.	DATE: 26.10.21	Rev: I
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29915453	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

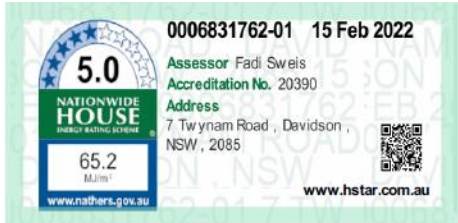
NOTE -
CLIENT TO INSTALL CEILING FANS TO ALL
BEDROOMS AND STUDY AFTER HANDOVER TO
COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS
INSTALLED



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0412



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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Sapphire Specification

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