



Pittwater Council
P O Box 882
Mona Vale
NSW 2103

Dear Sir or Madam:

Re: Lodgement of CDC2012/169
Site Address : No. 45A Sunrise Road, Palm Beach NSW 2108

Please find attached all required documentation relied upon to issue Complying Development Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$36.00 payable to Council.
- 1 full set of Complying Development Certificate Plans.
- PCA in receipt of 149(2) Planning Certificate.

NOTE: Notification of neighbouring properties not required as this CDC issued under Part 4 of SEPP.

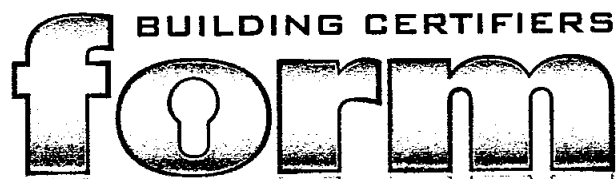
Yours faithfully

A handwritten signature in black ink, appearing to read "C Formosa".

Craig Formosa
Form Building Certifiers



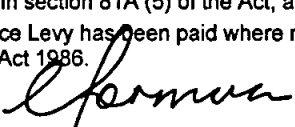
R-345301
\$36 PRVC
18/09/13



COMPLYING DEVELOPMENT CERTIFICATE # 2012-169

Approved 29/07/13

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 85, 85A & 87

Date Application Received	28/11/12	Certificate Lapse Date	5 yrs after approval date		
Council	Pittwater	Relevant Planning Instrument	SEPP E & C Dev. 2008 Part 4		
Certifying Authority	Craig Formosa - BPB0124	Accredited Certifier	Craig Formosa - BPB0124		
Accreditation Body	Building Professionals Board	BCA in force	2012		
APPLICANT DETAILS					
Name	Pacific Plus Constructions	Ph No.	9939 8103		
Address	48/49-51 Mitchell Road, Brookvale NSW 2100				
OWNER DETAILS					
Name	Geoff Hodgkinson				
Address	45A Sunrise Road, Palm Beach NSW 2107				
DEVELOPMENT DETAILS					
Subject Land	45A Sunrise Road, Palm Beach NSW 2107	Lot No.	13	DP	749770
Description of Development	Installation of additional opening (External works only)		Zone		
Class of Building	1a	Value of Work	\$1,000.00		
OWNER/BUILDER DETAILS					
Name	Pacific Plus Constructions				
Address	48/49-51 Mitchell Road, Brookvale NSW 2100				
Contact Number	9939 8103	License No.	195011C		
APPROVED PLANS & DOCUMENTS					
Plans Prepared By	Walter Barda Design				
Drawing Numbers	A-3001G, A-2001H	Dated	25/07/12		
This Certificate is approved subject to the prescribed conditions listed under Clauses: 133, 136A, 136D, 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000.		Nos.	3.37 – 3.45		
This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying Development 2008.					
CERTIFICATION					
I, Craig Formosa, as the certifying authority am satisfied that; The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986. Signed:  Date: 29/07/13					



Prescribed Conditions of Complying Development under Clause 136 of the Environmental Planning and Assessment Regulation

136A Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989

- (1) A complying development certificate for development that involves any building work must be issued subject to the following conditions:
 - (a) that the work must be carried out in accordance with the requirements of the *Building Code of Australia*,
 - (b) In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences.
- (1A) A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the *Building Code of Australia* (as in force on the date the application for the relevant complying development certificate is made).
- (2) This clause does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 85A (6) (a) of the Act.
- (3) This clause does not apply:
 - (a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4), or
 - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue.
- (4) In this clause, a reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant complying development certificate is made.

Note. There are no relevant provisions in the *Building Code of Australia* in respect of temporary structures that are not entertainment venues.

136B Erection of signs

- (1) A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with.
- (2) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.
- (3) Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- (4) This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building.
- (5) This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.
- (6) This clause applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.



Note. Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

136C Notification of Home Building Act 1989 requirements

- (1) A complying development certificate for development that involves any residential building work within the meaning of the Home Building Act 1989 must be issued subject to a condition that the work is carried out in accordance with the requirements of this clause.
- (2) Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:
 - (a) in the case of work for which a principal contractor is required to be appointed:
 - (i) the name and licence number of the principal contractor, and
 - (ii) the name of the insurer by which the work is insured under Part 6 of that Act,
 - (b) in the case of work to be done by an owner-builder:
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- (3) If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the updated information.
- (4) This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.

136D Fulfilment of BASIX commitments

- (1) This clause applies to the following development:
 - (a) BASIX affected development,
 - (b) any BASIX optional development in relation to which a person has made an application for a complying development certificate that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 4A of Schedule 1 for it to be so accompanied).
- (2) A complying development certificate for development to which this clause applies must be issued subject to a condition that the commitments listed in each relevant BASIX certificate for the development must be fulfilled.

136E Development involving bonded asbestos material and friable asbestos material

- (1) A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions:
 - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 318 of the Occupational Health and Safety Regulation 2001,
 - (b) the person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered.
- (2) This clause applies only to a complying development certificate issued after the commencement of this clause.

- (3) In this clause, ***bonded asbestos material, bonded asbestos removal work, friable asbestos material and friable asbestos removal work*** have the same meanings as in clause 317 of the *Occupational Health and Safety Regulation 2001*.

Note 1. Under clause 317 removal work refers to work in which the bonded asbestos material or friable asbestos material is removed, repaired or disturbed.

Note 2. The effect of subclause (1) (a) is that the development will be a workplace to which the *Occupational Health and Safety Regulation 2001* applies while removal work involving bonded asbestos material or friable asbestos material is being undertaken.

Note 3. Information on the removal and disposal of asbestos to landfill sites licensed to accept this waste is available from the Department of Environment, Climate Change and Water.

Note 4. Demolition undertaken in relation to complying development under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* must be carried out in accordance with Australian Standard AS 2601—2001, *Demolition of structures*.

136H Condition relating to shoring and adequacy of adjoining property

- (1) A complying development certificate for development must be issued subject to a condition that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the certificate must at the person's own expense:
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

Division 3 Conditions applying to complying development certificate under this code

Note. Complying development must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part.

Note. A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan.

Subdivision 1 Conditions applying before works commence

3.37 Protection of adjoining areas

(1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

(2), (3) (Repealed)

Note. See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.

3.38 Toilet facilities

(1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20



persons employed at the site.

(2) Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
- (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

3.39 Garbage receptacle

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

3.39A Notification to neighbours

The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out.

3.39B Adjoining wall dilapidation report

- (1) If a wall on a lot is to be built to a boundary and there is a wall (the **adjoining wall**) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.
- (2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.
- (3) In this clause:
dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences.

Subdivision 2 Conditions applying during the works

Note. The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise.

3.40 Hours for construction

Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

3.41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

3.42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped.



3.43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

3.44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed.
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained.

3.45 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.



IMPORTANT ADVICE

Due to changes in planning laws, (Sect. S81A (2)C of the Act), **the critical stage inspections are mandatory and must** be inspected by Form Building Certifiers or the final occupancy certificate (Occupation Certificate) may not be able to be issued (causing complications and delays when selling/refinancing etc). **The critical stage inspections are listed on the Notice of Commencement part of this document.**

Also, **NO CHANGES** to the building, as detailed in the plans, can be made without notification to your PCA (some changes will need a modified CDC issued prior to works commencing on those parts). Please take note of any changes made in red to your plans, the builder will have to be provided with a copy of the approved Complying Development Certificate plans, specifications and documents so that compliance with the Building Code of Australia and Complying Development conditions is achieved first time.

Unauthorised changes may lead to fines and orders being issued by Council's Compliance Officers and prevent an Occupation Certificate being issued.

To arrange the mandatory inspections please give 48 hours notice by contacting Form Building Certifiers by telephone.

Please do not hesitate to ring me if there are any enquiries in respect of these matters.

Kind regards

A handwritten signature in black ink, appearing to be "cf.", written over a horizontal line.

Craig Formosa

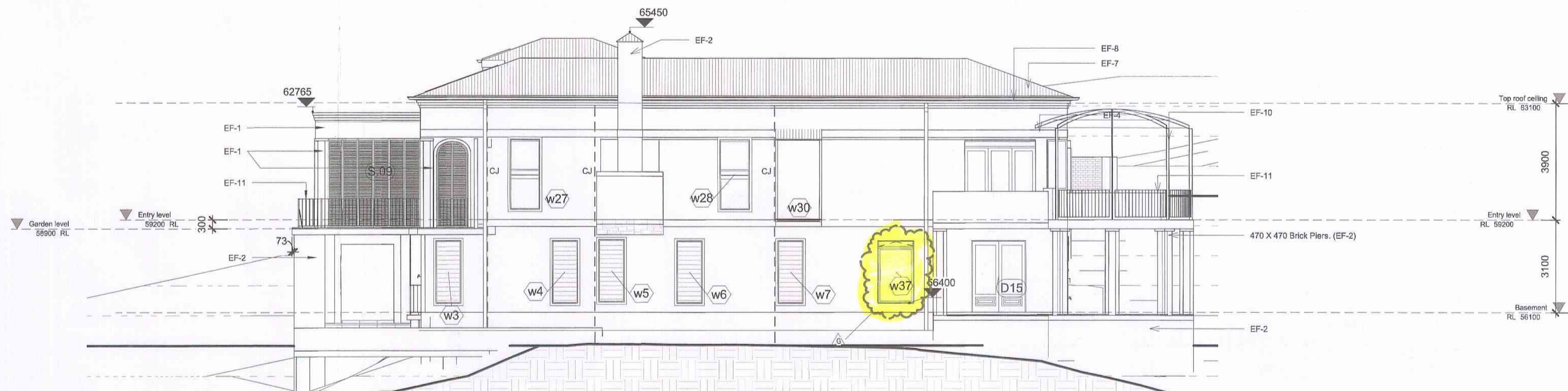
Director

Form Building Certifiers

EXTERIOR FINISHES	
EF-1	Sponge finish cement render- Painted finish- Colour: Porters "Husk".
EF-2	Rough cast cement render- Painted finish- Colour: Porters "Husk".
EF-3	Sponge finish cement render- Set plaster finish- Painted finish- Colour: Porters "Interno"
EF-4	257mm x 20mm brick corbell- Rendered sponge finish- Painted- Colour: Porters "Husk"
EF-5	3 Course brick corbell- Sponge cement render- Colour: Porters "Husk"
EF-6	Timber framed shutters- Painted finish- Colour: Porters "Old Stone wall"
EF-7	Corrugated colourbond roofing- Colour: Jasper
EF-8	150 Diameter half round gutter- Colour: Jasper
EF-9	Corrugated 'ultra' Kliplock tray roof- Colour: Jasper
EF-10	Steel arched pergola to details- Galvanised for micaeous paint finish, Colour: Verador
EF-11	Typical steel balustrade- Galvanised for micaeous paint finish- Colour: Dulux "Verador "
EF-12	Concrete roof with a 5 Deg. fall- applied waterproof membrane-sponge finish cement render- Colour: TBC
EF-13	Colourbond downpipe and spreader, Colour : Jasper
EF-14	Precast concrete roof sponge rendered finish Colour: Porters "Husk"
EF-15	Sponge finish cement render- Painted finish- Colour: Porters "Old stone wall"

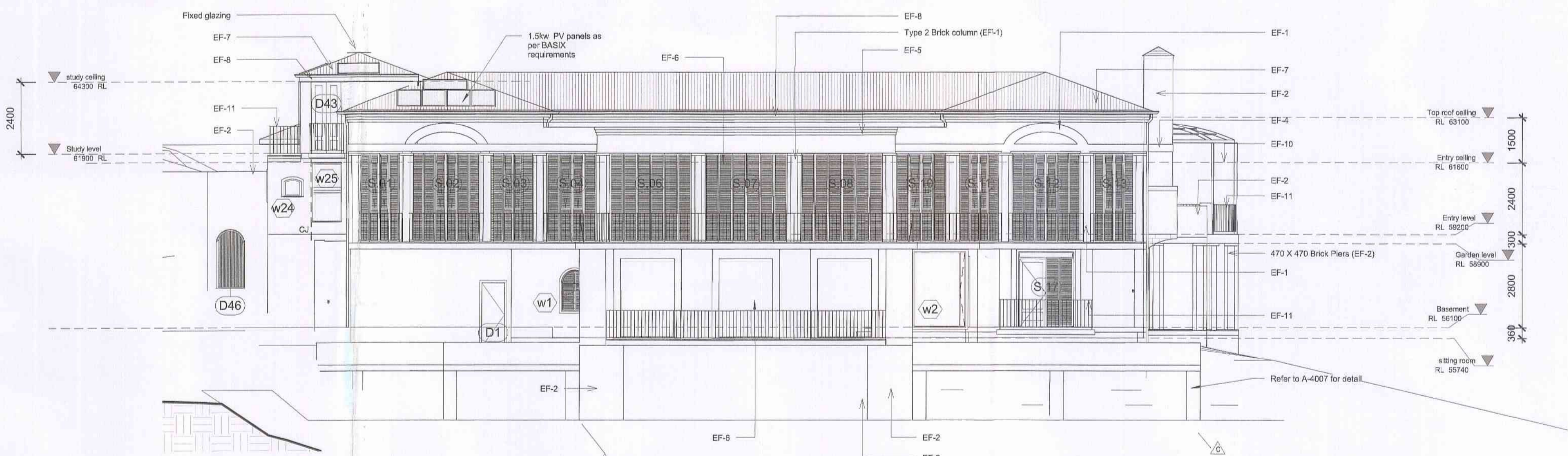
Exterior finishes

1 : 50



Elevation C

1 : 100



Elevation D

1 : 100

Walter Barda Design

architecture
landscape
interiors

2/04 13-15 Wentworth Avenue Sydney NSW 2000
www.walterbardadesign.com ABN: 48 072 136 513
Office: 02 9360 2340 Facsimile: 02 9360 2324

Client:

Hodgkinson Residence

Notes:

Existing items to be removed or maintained

- Remove/relocate steel power pole to front of driveway
- Move two urns & well to safety spot on site.
- Retain both loose sandstone for future landscaping.
- Fountain to be supplied by owner to be installed in kitchen/ meals area.

2. Painted surface:

- All painted surface to be prepared in accordance with paint manufacturer product specification & application instructions.

3. Stainless steel:

- Any stainless steel items to be Marine grade 302 or above as standard.
- All hinges to be marine grade 302 or above as standard.

Note: All windows & door on schedule is shown as external elevation diagram

- All timber flaps above door and windows to be 25mm thick Marine plywood with blackbutt timber veneer with solid edge strips.

- Tiles to be scribed against WC

Bocce court landscape S96 to Western elevation

- Structural piers to support the landscaped area.

- Concrete structural planter to support clean compacted fill for landscaped area.

- Two timber framed treads and risers added to access the sitting room.

G	Revised basement electricals & wall light position in bath1,2,3 ; W37 size & positioned confirmed.	25.07.12
F	Dimension added to basement hallway; window in bunk room position amended; brick corbell added to sitting room area externally	12.04.12
E	Basement sitting room balcony and planter to be aligned with gridline 1; bocce court/landscaped area aligned to gridline 1; entry level terrace overhangs by 73mm over gridline 1	21.03.12
D	FW adjusted in Bath 1; gas & external garden tap positions amended; CJ added to elevations; wall rebate removed; FW added to storage area.	09.03.12
C	Basement planter box position; column under bocce court adjusted to match structural; fw added to well areas; Floor finishes on plans updated; Basement ttry design updated.	28.02.12
B	Bocce landscaped area added	9.12.11
A	Construction issue	23.11.11
4	Issue for construction certificate	27.10.11
3	Tender documents	26.08.11
2	Plans amended to neighbours objection	23.09.10
1	DA Lodgement	25.06.10
No.	Description	Date

This Drawing must not be used for Construction unless signed as Approved

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Hodgkinson Residence	
Project Number	2009_02
Project Status	Construction
Sheet	ELEVATIONS C & D

Scale @ A1 As indicated	
Drawing Number	A-3001
Issue	G
Drawn By	JS
Checked By	-
Approved By	WB
Print Date & Time	25/07/2012 4:06:51 PM
File Path	W:\2009_02_Hodgkinson\005 - Architectural Plans\Hodgkinson DC.rvt

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

This is the plan/spec. referred to in Form Building Certifiers Certificate
Certificate No. **COC 2010-189**
Plan No. **A-3001, A-3001G**
29/07/13
Craig Formosa BPB0124 DATED

Client

Hodgkinson Residence

Notes:

- Existing items to be removed or maintained
- Remove/relocate steel power pole to front of driveway
 - Move two urns & well to safety spot on site.
 - Retain both loose sandstones for future landscaping.
 - Fountain to be supplied by owner to be installed in kitchen/ meals area.

2. Painted surface:

- All painted surface to be prepared in accordance with paint manufacturer product specification & application instructions.

3. Stainless steel:

- Any stainless steel items to be Marine grade 302 or above as standard.
- All hinges to be marine grade 302 or above as standard.

Note: All windows & door on schedule is shown as external elevation diagram

- All timber flaps above door and windows to be 25mm thick Marine plywood with blackbutt timber veneer with solid edge strips.

- Tiles to be scribed against WC

FLOOR FINISHES	
FF-1	T&G Blackbutt flooring ex 25 x 25 laid over 20mm plywood & Regupol underlay, secret nailed, stained & polished with matte finish over 2 coats 'Synteko'.
FF-2	1200 x 600 x 20 Unfilled Travertine equal to Eco products, sealed 6 sides prior to laying.
FF-3	Terracotta pavers (Cotto) 295 x 145 x 25 Laid mortar jointed in Herringbone pattern. (Waxed finish internally only)
FF-4	Exfoliated concrete
FF-5	100 x 100 Porphyry cobblestone (20mm-40mm thick) 5mm raked joint & coloured grout.
FF-6	Rosa Grit (Eco products)-Joints raked 10mm
FF-7	Carpet with underlay
FF-8	Broom finish concrete
FF-9	Timber framed stairs, carpet finish to treads & risers
FF-10	Pebblecrete finish to spa pool
FF-11	1200 x 600 x 12mm Rosa grit sawn finish
FF-12	30mm thick unfilled travertine to stair treads
FF-13	Pirelli Rubber flooring inlay.
FF-14	SKHEME SKR 23861 600 X 1200mm floor tile

Floor finishes

1 : 50

INTERIOR FINISHES	
INT-1	Sponge finish cement render- Set plaster finish- Painted finish- Colour: Porters " Interno"
INT-2	Solid steel rod 16 diam. handrail. Rolled return ends epoxy grouted into walls
INT-3	Sponge finish cement render- Set plaster finish-painted finish- Porters " Fresco"

Interior finishes

1 : 50

Note:

- All wet areas FF-2 to be filled and sealed 6 sides prior to laying.
- Waterproof membrane to be supplied & installed with 25 years guarantee on performance.
- All Travertine to be sealed on 6 sides with penetrating sealer prior to installation.
- Cured tile screeds to be treated with liquid waterproofing penetrant compatible with membrane & tile adhesive.
- Painting schedule:
 - External finish: Cement render
 - Internal finish: Porters interno system
 - Doors & window frames: Porters eggshell acrylic
 - External shutters: Dulux weathershield

*Basement level:

- Skirtings: 200 high MDF 'Stamford' profile paint finish
- Architrave: 90 x 38 MDF Jamb profile section with inverted skirting panel above door.
- All internal walls finish to be INT-1 excluding sitting room.

General notes

1 : 50

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EF-2	Rough cast cement render- Painted finish- Colour: Porters "Husk".
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Exterior finishes

1 : 50

Basement

1 : 100

Basement Lower Planter
box setout under sitting room
balcony

No.	Description	Date
H	Revised basement electricals & wall light position in bath1,2,3 : W37 size & positioned confirmed	25.07.12
G	Dimension added to basement hallway; window in bunk room position amended; brick corbell added to sitting room area externally	12.04.12
F	Bath 1 shower wall amended; bay window wall updated to cavity brick; robe to guest room increased to 650mm deep	02.04.12
E	Basement sitting room balcony and planter to be aligned with gridline 1; bocce court/landscaped area aligned to gridline 1; entry level terrace overhangs by 73mm over gridline 1	21.03.12
D	FW adjusted in Bath 1; gas & external garden tap positions amended; CJ added to elevations; wall rebate removed; FW added to storage area	09.03.12
C	Basement planter box position; column under bocce court adjusted to match structures; fw added to wall eaves; Floor finishes on plans updated; Basement dry design updated.	26.02.12
B	Bocce landscaped area added	6.12.11
A	Construction issue	23.11.11
4	Issue for construction certificate	27.10.11
3	Tender documents	26.08.11
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1	DA Lodgement	25.06.10

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Hodgkinson Residence	
Project Number	2009_02
Project Status	Construction

Sheet:	Basement
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Scale @ A1 As indicated

Drawing Number	A-2001	Issue	H
Drawn By	JS	Checked By	-
Approved By	WB		
Print Date & Time	25/07/2012 4:23:24 PM		
File Path	W:\2009_02_Hodgkinson00 - Architectural Plans\Hodgkinson GC.rvt		