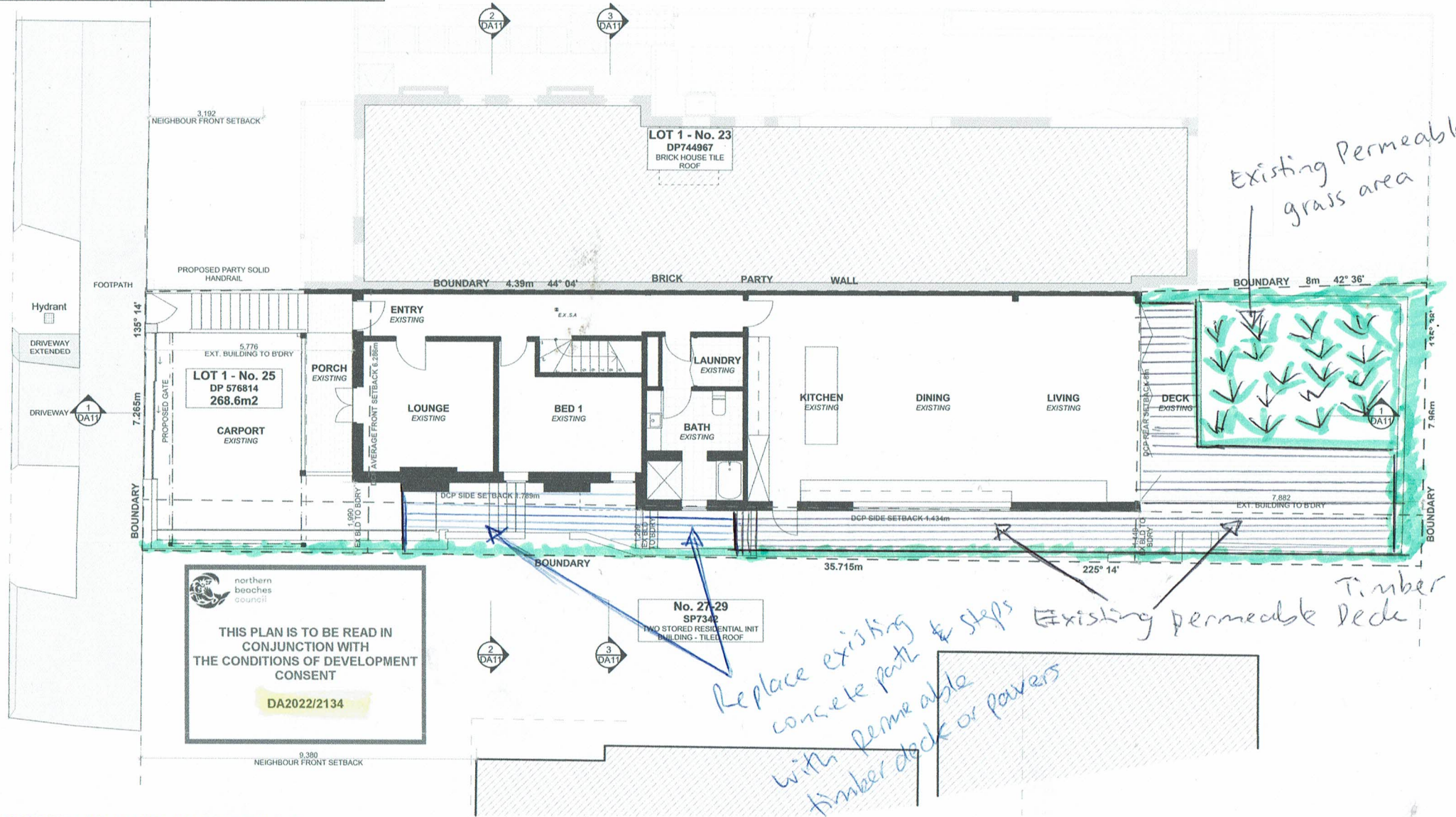


NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH PREVIOUSLY APPROVED STORMWATER SYSTEM BY COUNCIL UNDER DA223/2011



PROPOSED GROUND FLOOR PLAN

1:100@A3



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN	NOTES
A	13-03-2023	DESIGN OPTION 1	CHL	
B	20-03-2023	REV. A	CHL	

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole without the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction. The boundary setbacks take precedence over all other dimensions. The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	TILED ROOFING		
	TIMBER STUD		

CLIENT

HELEN & CHRIS
DAWTREY

PROJECT ADDRESS
25 OSBORNE ROAD
MANLY NSW 2095

DRAWING NO.

DA07

DATE
Friday, 24 March 2023

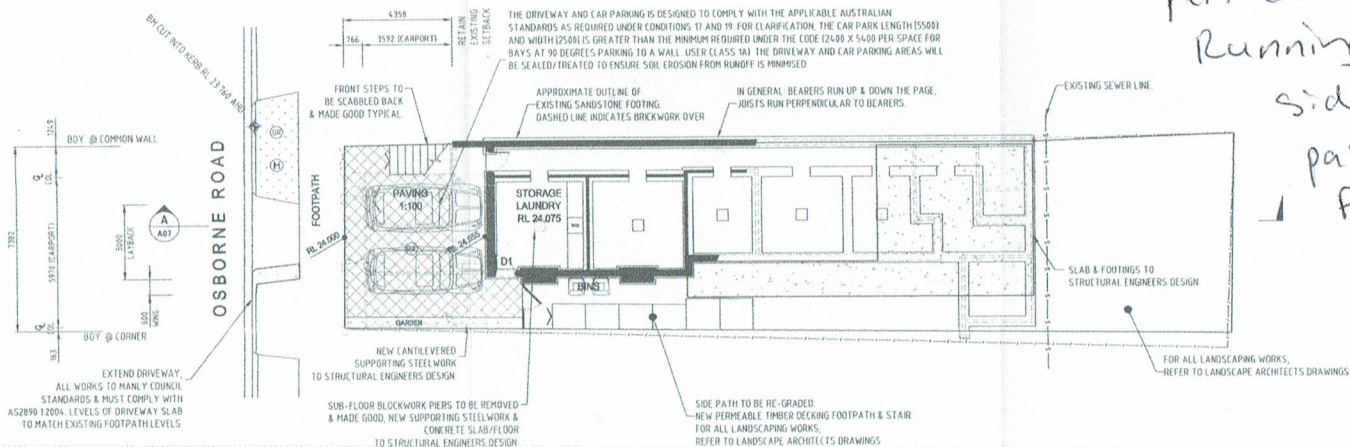
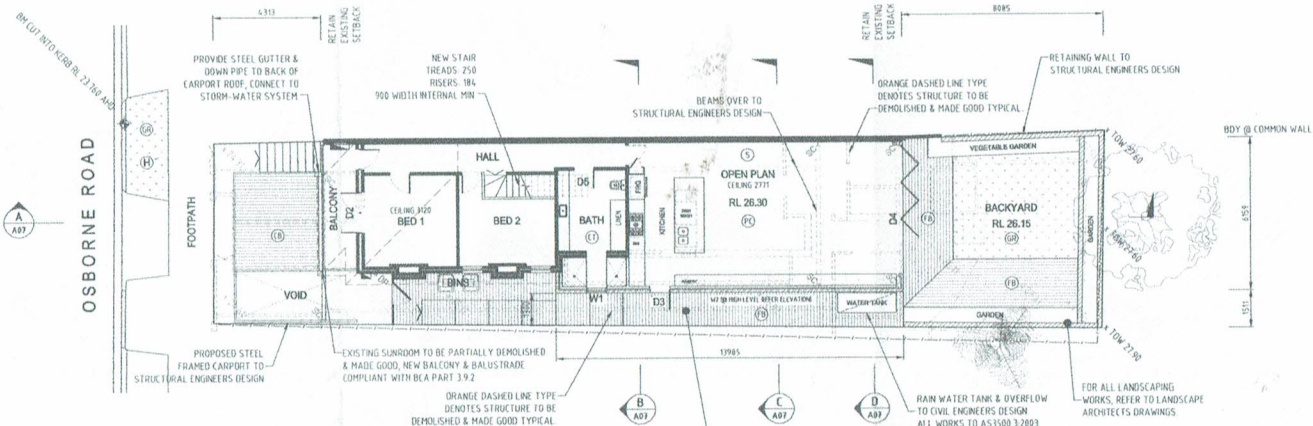
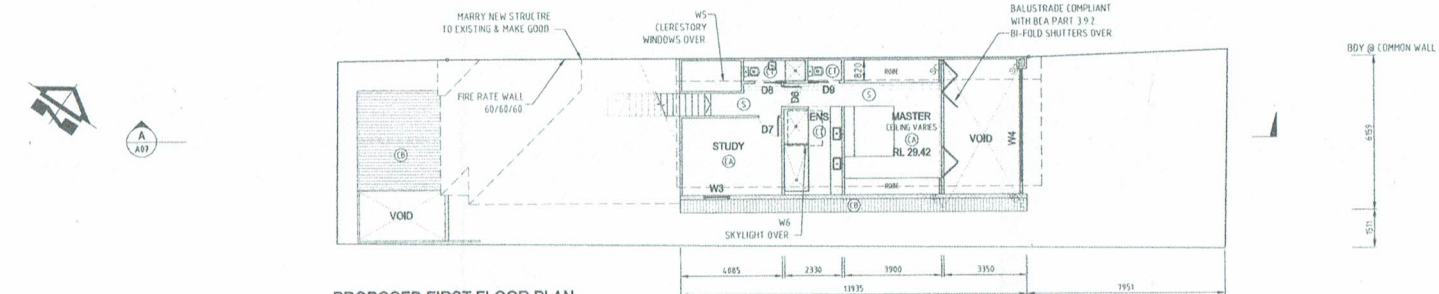
DRAWING NAME

PROPOSED GROUND FLOOR
PLAN

SCALE
1:100 @A3



Approved 8 March 2012 Construction Certificate Plans:



GENERAL NOTES:

- ALL WORKMANSHIP, MATERIALS & CONSTRUCTION, TO BE IN ACCORDANCE WITH RELEVANT S.A. A CODES, THE 'BUILDING CODE OF AUSTRALIA - VOLUME 2 - POLICY REQUIREMENTS OF 'MANY' COUNCIL'.
- ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES TO BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES, PRIOR TO CONSTRUCTION.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS AT CONSTRUCTION CERTIFICATE STAGE.
- WET AREAS OF THE BUILDING (E.G. NEW BATHROOMS) ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS 3740 - 'WATERPROOFING OF WET AREAS'.
- BUILDING TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH AS 3669.
- WALL FRAME BRACING, ROOF BRACING & ALL 'DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER.
- WATER TEMPERATURE TO ALL OUTLETS (EXCEPT LAUNDRY & KITCHEN) NOT TO EXCEED 50°C.
- ANY INTERNAL BOUNDARY FENCING AND GATES TO ALLOW ACCESS SPACES FOR LONG NOSE BANDICOTS. ACCESS SPACES TO BE 3.0m CTS. MAX. 300 LONG & MIN. 150 HIGH. ALT. RISE FENCE 100 OFF F.G.L.

NOTES LEGEND (PROPOSED)

- (B) CONCRETE PATHWAY
- (PA) PAVING
- (T) TERRACOTTA TILED ROOF
- (B) TIMBER DECKING
- (PC) POLISHED CONCRETE
- (G) GRAVEL PATHWAY
- (Z) ZINCALUME CORRUGATED IRON
- (CB) COLOURBOND ROOFING OR CLADDING IRON
- (G) GRASS/TURF
- (B) BRICK PAVING
- (T) CERAMIC TILE OR EQUIVALENT
- (C) CEMENT RENDERED WALL
- (W) WEATHERBOARD CLADDING
- (F) FC SHEETING WALL
- (P) PAINTED FACE BRICKWORK
- (T) PAINTED TIMBER CLADDING
- (F) TIMBER FENCE
- (S) SANDSTONE WALL/FOOTING
- (A) CARPET
- (F) FLYSCREEN
- (S) 240V SMOKE ALARM WITH BATT BACKUP (FINAL LOCATION BY OTHERS)

LEGEND (PROPOSED)

- RETAINING WALL TO STRUCTURAL ENGINEERS DESIGN
- PROPOSED BRICK VENEER WALL
- PROPOSED 90 STUD WALL (WHERE APPLICABLE FRL 60/60/60)
- ORANGE DASHED LINE TYPE DENOTES STRUCTURE TO BE DEMOLISHED & MADE GOOD TYPICAL
- LOCATION OF COLUMNS/BEAMS TO STRUCTURAL ENGINEERS DESIGN

DEVELOPMENT CALCULATIONS:

DENSITY SUBZONE 3, THEREFORE UNIT PER 250m²
SITE AREA = 268.6m²
GROSS FLOOR AREA (1.4m ABOVE G.F.L.)
GROUND FLOOR = 119.05m²
FIRST FLOOR = 58.94m²
PERMITTED FSR = 0.61
FSR PROVIDED = 169.999/268.6 = 0.6321
TOTAL OPEN SPACE AREA PROVIDED = 66.2m²
SOFT LANDSCAPED AREA PROVIDED = 33.2m²

Permeable Deck
Running down
side boundary
past end of
fireplace
in Bed 1

1:100 A1 SHEET
ENTER ALL DIMENSIONS ON SITE
BUILDER DO NOT RELY ON SCALED DRAWING
REPRESENT ALL DIMENSIONS

AMENDMENTS

FOR CONSTRUCTION CERTIFICATE
FOR DEVELOPMENT APPLICATION
FOR DEVELOPMENT APPLICATION

DATE

08.03.2012
16.11.2011
09.07.2011

ISSUE

C
B
A

CONSULTANTS

ARCHITECTURAL From The Earth (Draughting Company)

CLIENT

MR & MRS. ROSS & ZENA DUVERNOT
25 OSBORNE ROAD
MANLY NSW 2095

PROJECT

ALTERATIONS & ADDITIONS
LOT 1 DP 576814, 25 OSBORNE ROAD
MANLY NSW 2095

DRAWING TITLE

PROPOSED FLOOR PLANS
DRAWING NUMBER 0011_A05
ISSUE C

From The Earth (Draughting Company)®

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