



ACTION PLANS

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	Α	13-03-2023	DESIGN OPTION 1
	В	20-03.2023	REV. A
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TIMBER STUD

TILED FLOOR TIMBER FLOOR BRICKWORK

HELEN & CHRIS DAWTREY

PROJECT ADDRESS 25 OSBORNE ROAD MANLY NSW 2095

DRAWING NO.

DA07

Friday, 24 March 2023

DRAWING NAME

PROPOSED GROUND FLOOR PLAN

SCALE 1:100 @A3



Approved & March 2012 Construction Certificate Plans: MARRY NEW STRUCTRE WITH BCA PART 3.9.2 -BI-FOLD SHUTTERS OVER CLERESTORY WINDOWS OVER TO EXISTING & MAKE GOOD. **GENERAL NOTES:** BOY @ COMMON WALL ALL WORKMANSHIP, MATERIALS & CONSTRUCTION, TO BE IN ACCORDANCE WITH RELEVANT S.A.A. CODES, THE "BUILDING CODE OF AUSTRALIA - VOLUME 2", POLICY REQUIREMENTS OF "MANLY COUNCIL" FIRE RATE WALL ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES TO BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES PRIOR TO CONSTRUCTION VOID THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL ENGINEERS CTUDY (B) DETAILS & SPECIFICATIONS AT CONSTRUCTION CERTIFICATE STAGE (A) WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PRODEING SYSTEM COMPLYING WITH AS3740 - "WATERPRODEING OF WET AREAS" VOID BUILDING TO BE DODTECTED AGAINST SURTERDANEAN TERMITES. IN ACCORDANCE WITH 'AS, 3660 CKALICHA UNED -WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER WATER TEMPERATURE TO ALL DUTLETS EXCEPT LAUNDRY & KITCHEN I NOT TO EXCEED 50°C PROPOSED FIRST FLOOR PLAN ANY INTERNAL BOUNDARY FENCING AND GATES TO ALLOW ACCESS SPACES FOR LONG NOSE BANDICOOTS. ACCESS SPACES TO BE 3.0m CTS, MAX. 300 LONG & MIN. 150 HIGH, ALT. RAISE FENCE 150 OFF F.G.L. NOTES LEGEND (PROPOSED) -RETAINING WALL TO (O) CONCRETE PATHWAY PROVIDE STEEL GUTTER & NEW STAIR TREADS 250 RISERS 184 STRUCTURAL ENGINEERS DESIGN (PA) PAVING CARPORT ROOF CONNECT TO ORANGE DASHED LINE TYPE DENOTES STRUCTURE TO BE DEMOLISHED & MADE GOOD TYPICAL 900 WIRTH INTERNAL MIN REAMS OVED TO TERRACOTTA TILED ROOF STRUCTURAL ENGINEERS DESIGN TIMBER DECKING POLISHED CONCRETE V HALL GRAVEL PATHWAY 0 OPEN PLAN 00 RL 26.30 BACKYARD Ш COLOURBOND RODFING OR CLADDING IRON DED 1 BATH (PC) BED 2 RL 26.15 Z ((8) (11) (GR) SDASS/TURE 0 0 BRICK PAVING m CERAMIC TILE OR EQUIVALENT (FB) S VOID CEMENT RENDERED WALL WEATHERBOARD ELADDING FC SHEETING WALL EVICTING SUMPTION TO BE PARTIALLY BENOLISHED & MADE GOOD, NEW BALCONY & BALUSTRADE FRAMED CARPORT TO PAINTED FACE BRICKWORK STRUCTURAL ENGINEERS DESIGN COMPLIANT WITH BCA PART 3.9.2 FOR ALL LANDSCAPING PAINTED TIMBER CLADDING DAIN WATER TANK & DVERELOW MODES DEED TO LANDSCADE TO CIVIL ENGINEERS DESIGN ALL WORKS TO AS3500.3/2003 DENOTES STRUCTURE TO BE ARCHITECTS DRAWINGS. TIMBER FENCE DEMOLISHED & MADE GOOD TYPICAL PROPOSED GROUND FLOOR PLAN SANDSTONE WALL/FOOTING NOTE: INTERNAL & BOUNDARY FENCING SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH CONDITION 23 OF DA 223/11 ISSUED BY MANLY COUNCIL SIDE PATH TO BE RE-GRADED. (CA) EARPET NEW PERMEABLE TIMBER DECKING FOOTPATH & STAIR FOR ALL LANDSCAPING WORKS, 0 1000 2000 3000 4000 5000 10000mm Permeable Pede Running down side boundary past end of Freplace in Bed 1 (FS) PLYSERFEN REFER TO LANDSCAPE ARCHITECTS DRAWINGS SCALE 1:100 @ AT SIZE SHEET 240V SMOKE ALARM WITH BAT BACKUP (FINAL LOCATION BY OTHERS) THE DRIVEWAY AND CAR PARKING IS DESIGNED TO COMPLY WITH THE APPLICABLE AUSTRALIAN STANDARDS AS REQUIRED UNDER CONDITIONS TO AND 19 FOR CLARIFICATION, THE CAR PARK LENGTH (5500) AND WIDTH (2500) IS GREATER THAN THE MINIMUM REQUIRED UNDER THE EDDE (2400 X 5400 PER SPACE FOR LEGEND (PROPOSED) BAYS AT 90 DEGREES PARKING TO A WALL USER CLASS TALL THE DRIVEWAY AND CAR PARKING AREAS WILL 222222222 RETAINING WALL TO STRUCTURAL ENGINEERS DESIGN -EXISTING SEWER LINE. N GENERAL BEARERS RUN UP & DOWN THE PAGE. PROPOSED BRICK VENEER WALL -EXISTING SANDSTONE FOOTING JOISTS RUN PERPENDICULAR TO BEARERS & MADE GOOD TYPICAL DASHED LINE INDICATES BRICKWORK OVER PROPOSED 90 STUD WALL (WHERE APPLICABLE FRE 60/69/60) BDY & COMMON WALL 0 ORANGE DASHED LINE TYPE DENOTES STRUCTURE TO BE DEMOLISHED & MADE GOOD TYPICAL V 0 LOCATION OF COLUMNS/BEAMS TO STRUCTURAL ENGINEERS DESIGN OC STORAGE LAUNDRY ш RL 24.075 Z 00 **DEVELOPMENT CALCULATIONS:** 0 m DENSITY SUBZUNE 3 THERFORE UNIT PER 250m2 SITE AREA - 268 6m2 STRUCTURAL ENGINEERS DESIGN IBINS S SITE AREA : 728 9m* GROSS FLOOR AREA 114m ABOVE GFL) GROUND FLOOR : 910 505 9m² FERST FLOOR : 5 6 5 94 0m* PERMITTED TSR : 0 6.1 FSR PROVIDED : 859 993 726 6 : 0 6 324 TOTAL OPER SPACE AREA PROVIDED : 6 6 2m² SOFT LANDSCAPED AREA PROVIDED : 33 2m² 0 BOY @ CORNER NEW CANTILEVERED FOR ALL LANDSCAPING WORKS. EXTEND DRIVEWAY ED TO LANDSCAPE ARCHITECTS DRAWINGS TO STRUCTURAL ENGINEERS DESIGN ALL WORKS TO MANLY COUNCIL STANDARDS & MUST COMPLY WITH SUB-FLOOR BLOCKWORK PIERS TO BE REMOVED SIDE PATH TO BE RE-GRADED ASZ890 12004, LEVELS OF DRIVEWAY SLAE NEW PERMEABLE TIMBER DECKING FOOTPATH & STAIR & MADE GOOD NEW SUPPORTING STEELWORK & TO MATCH EXISTING FOOTPATH LEVELS CONCRETE SLAB/FLOOR FOR ALL LANDSCAPING WORKS TO STRUCTURAL ENGINEERS DESIGN REFER TO LANDSCAPE ARCHITECTS DRAWINGS. PROPOSED SUB FLOOR PLAN SCALE 1:100 @ A1 SIZE SHEET **DRAWING TITLE** From The Earth (Draughting Company)* CLIENT **PROJECT AMENDMENTS** DATE ISSUE CONSULTANTS 0 1 2 3 4 5 MR. & MRS. ROSS & ZENA DUVERNOT ALTERATIONS & ADDITIONS

25 OSBORNE ROAD

MANLY NSW 2095

ARCHITECTURAL From The Earth (Draughting Company)

1:100 A1 SHEET

ENECK ALL DIMENSIONS ON SITE.
BUILDER DO NOT RELY ON SCALED DRA
ENEVRIGHT ACT THAN FIRRING AD

FOR CONSTRUCTION CERTIFICATE

FOR DEVELOPMENT APPLICATION

FOR DEVELOPMENT APPLICATION

14.11.2011

09 07 7011

PROPOSED FLOOR PLANS

OFFICE: Coalbaggle Creek Cottage

ORAWING NUMBER

0011_A05

"Terra View" Mail Service 2 Bubbo NSW 2830

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LOT 1 DP 576814, 25 OSBORNE ROAD

MANLY NSW 2095