
From: [REDACTED]
Sent: 13/10/2023 3:00:51 PM
To: Council Northernbeaches Mailbox
Subject: TRIMMED FW DA2023/1329 OBJECTION
Attachments: Objection to Northern Beaches Council- 11 Oct 2023.pdf; Revised Submission to Northern Beaches Council- 13 Oct 2023.pdf;

Dear Sir/Madam,

I would like to submit a revised submission for our objection to the proposed alterations and additions to 52 Hilltop Road, Clareville

The document has been revised from the original sent through 11/10 and any changes are noted in red.

Thank you so much

Warwick Pilcher

Ph [REDACTED]

From: [REDACTED]
Sent: Wednesday, October 11, 2023 3:08 PM
To: 'council@northernbeaches.nsw.gov.au' <council@northernbeaches.nsw.gov.au>
Subject: DA2023/1329 - OBJECTION

Dear Sir/Madam,

Please find attached our objection to the proposed alterations and additions to 52 Hilltop Road, Clareville.

I look forward to receiving your response once you have had a chance to read through the attached.

Warwick Pilcher

Ph: [REDACTED]

11 October 2023

54 Hilltop Road
Clareville NSW 2107

Northern Beaches Council
Email: council@northernbeaches.nsw.gov.au

Dear Sirs

Re: DA2023/1329

Lot DP 29517 & Lot DP 413722 52 Hilltop Road, Clareville

Alterations and Additions to a Dwelling House including Construction of a Studio and Two Car Ports

I have received notification from yourselves of the proposed development described above with my initial observation to be one of being aghast to the overall size of the said development.

I would like to preface my response by noting that my family have resided at 54 Hilltop Rd for 43 years and would like you to note that this is one of the few remaining mid century classic homes.

It is noted that there are to be two carports constructed.

My first objection is the carport proposed as setout in DA 200.01. This falls outside of the said required 6500 set back. It is also noted that the carport has a closed in facade and a work bench area, not the normal carport construction. This in its position would be quite an invasive mass and a blight on the streetscape of Hilltop Road given its proposed position.

My main and very strong objection is to our loss of privacy and invasion by the proposed second carport (again will be the required set back of 2500) as shown in DA 200.01 / DA 201.01.

The loss of privacy with this said structure built right on our boundary, the loss of existing tree privacy. See Photo No. 1. The protrusion of the cars past our brushwood privacy fence and the envisaged mass concrete would again encroach on our boundary DA303.01.

The said carport is far from necessary given as shown in Photo No. 2 there is an unused large 3 car garage with an additional estimate of 75m² of adjacent concrete hardstand. This can be used as a turning area and/or parking in addition to the existing garage.

As stated, the proposal is a complete overshadow and invasion of our privacy and way outside the 2500 setback. See Photo No 3.

The construction, if granted, and given its proximity to our boundary would cause considerable disruption to our property given the existing slope of the natural ground and in turn noting this is a slip zone area.

I strongly recommend this carport/ pergola not be approved.

The fire pit DA200.01 and Photo No. 4 shows this structure being of an open fire in a bush area adjacent to our brush fence and our Pool House. Photo No 5. (not as stated on the plan as a timber shed!)

This structure is WRC cladding with a WRC shingle roof. This along with our brush fence are very susceptible to fire, especially from sparks from an open fire pit.

This rejection should be self explanatory.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'W Pilcher', with a stylized flourish at the end.

Warwick Pilcher



Photo 1



Photo 2



Photo 3

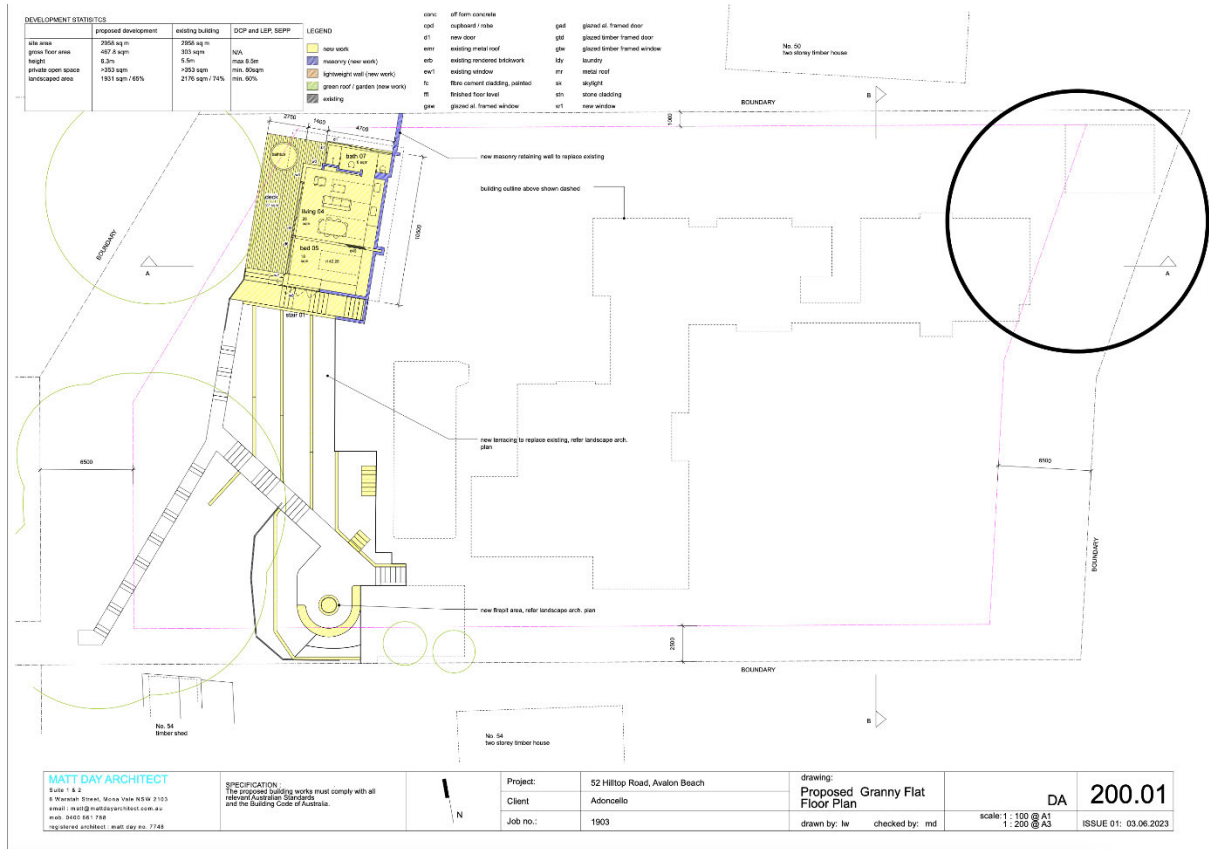


Photo 4

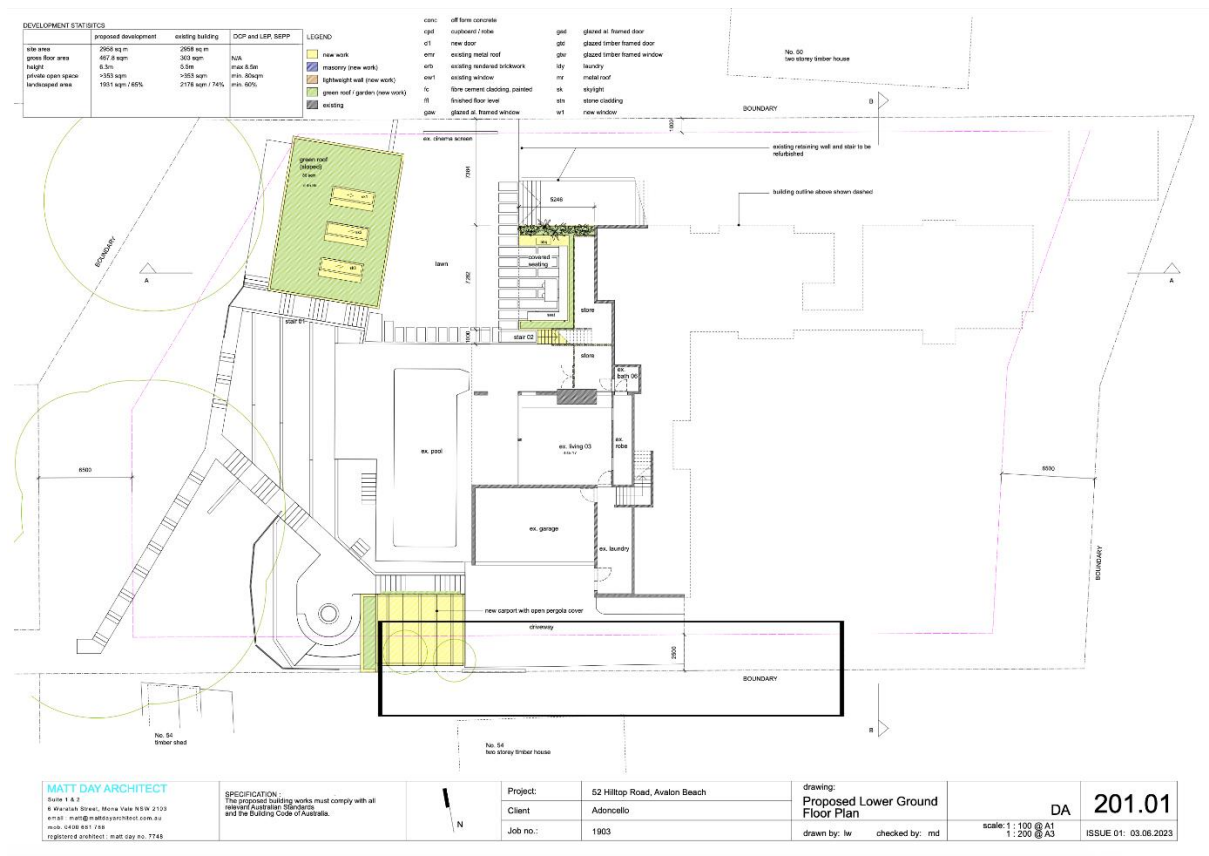


Photo 5





200.01



201.01

11 October 2023

54 Hilltop Road
Clareville NSW 2107

Northern Beaches Council
Email: council@northernbeaches.nsw.gov.au

Dear Sirs

Re: DA2023/1329 – Revised Submission
Lot DP 29517 & Lot DP 413722 52 Hilltop Road, Clareville
Alterations and Additions to a Dwelling House including Construction of a Studio and Two Car Ports

I have received notification from Council of the proposed development described above with my initial observation to be one of being aghast to the overall size of the said development.

I would like to preface my response by noting that my family have resided at 54 Hilltop Rd for 43 years and would like you to note that this is one of the few remaining mid-century classic homes in the area.

My objections to the development are as follows:

It is noted that there are to be two carports constructed. It should also be noted that the property already has sufficient parking with a three car garage.

My first objection is the carport proposed as setout in DA 200.01. This falls outside of the said required 6500 front building set back. It is also noted that the carport has a closed in facade and a work bench area, not the normal carport construction. This in its position would be quite an invasive mass and a blight on the streetscape of Hilltop Road given its proposed position.

My main and very strong objection is to our loss of privacy and invasion by the proposed second carport which is situated within the 2500 side building setback as shown in DA 200.01 / DA 201.01.

The loss of privacy with this said structure built right on our boundary, the loss of existing tree privacy. See Photo No. 1. The protrusion of the cars past our brushwood privacy fence and the envisaged mass concrete would again encroach on our boundary DA303.01.

The said carport is far from necessary given as shown in Photo No. 2 there is an unused large 3 car garage with an additional estimate of 75m² of adjacent concrete hardstand. This can be used as a turning area and/or parking in addition to the existing garage.

As stated, the proposal is a complete overshadow (not indicated on the plans) and invasion of our privacy and way outside the 2500 setback. See Photo No 3.

The construction, if granted, and given its proximity to our boundary would cause considerable disruption to our property given the existing slope of the natural ground and in turn noting this is a slip zone area.

I strongly recommend this carport/pergola not be approved.

The fire pit DA200.01 and Photo No. 4 shows this structure being of an open fire in a bush area adjacent to our brush fence and our Pool House. Photo No 5. (not as stated on the plan as a timber shed!)

This structure is WRC cladding with a WRC shingle roof. This along with our brush fence are very susceptible to fire, especially from sparks from an open fire pit.

As a general note, the shadow diagrams shown do not appear to indicate the property's gradient and should be checked.

Also, the landscaped area calculations have included the access handle to the property which may therefore be non-compliant and should be checked.

This rejection should be self-explanatory.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'W Pilcher', with a stylized flourish at the end.

Warwick Pilcher



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



