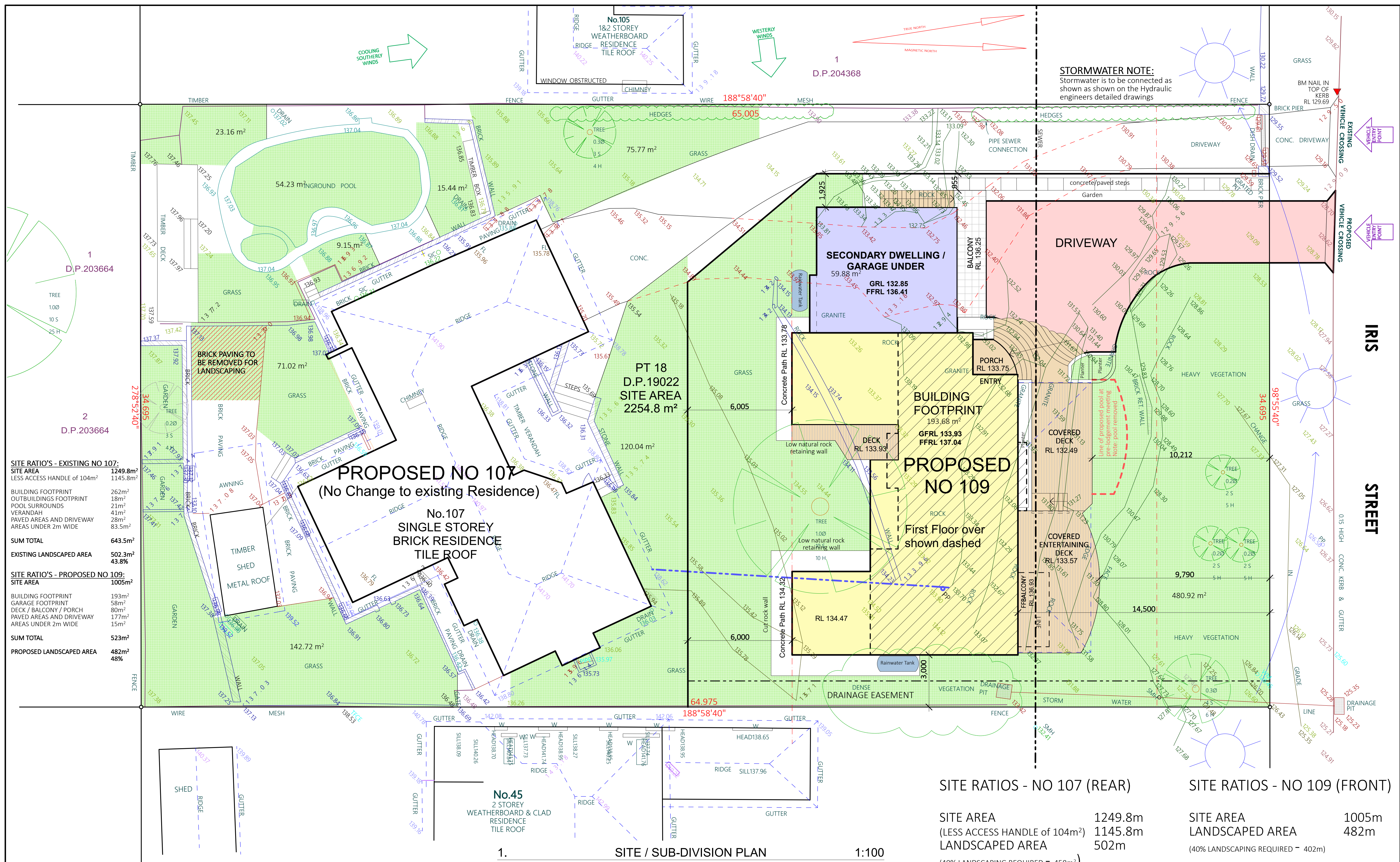




NOTES:

All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT

This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.



Energy Rating

Certificate Number 20901265

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)

If selected, data specified is the average across the entire development

5.1 stars

heating **34.0** MJ/m²

cooling **22.0** MJ/m²

Recessed downlights conformation:

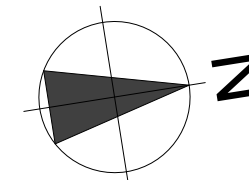
☐ Rated with

☒ Rated without

Assessor Number 20901

Assessor Signature *Redacted*

Date 11/12/2019



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client

MR & MRS HAYES

Project Name

SUBDIVISION & NEW HOME

107 IRIS STREET

LOT - 18 D.P.19022

BEACON HILL NSW 2100

Plot Date: 16/12/2019

Drawing Title:

SITE PLAN

COUNCIL • NORTHERN REACHES

Date: NOVEMBER 2019

Scale: 1 : 100 (A1)

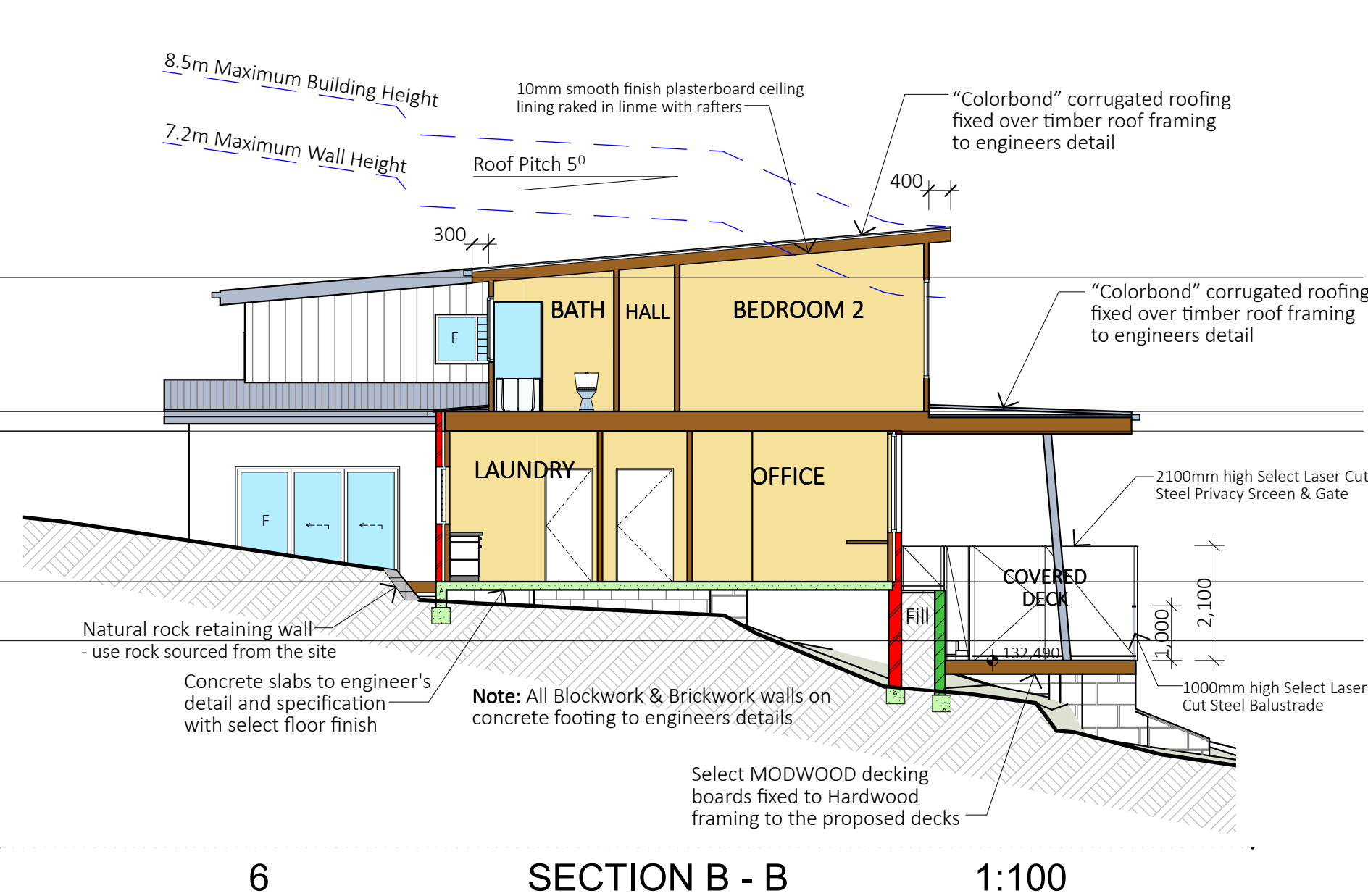
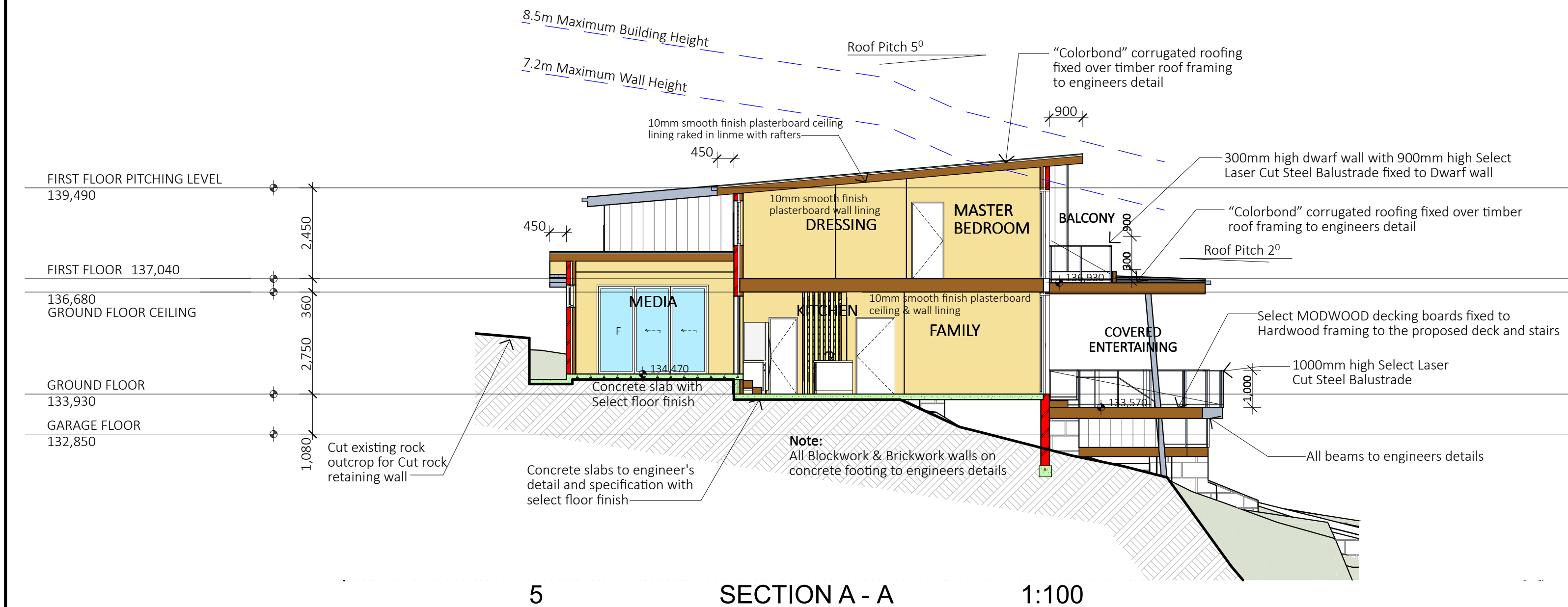
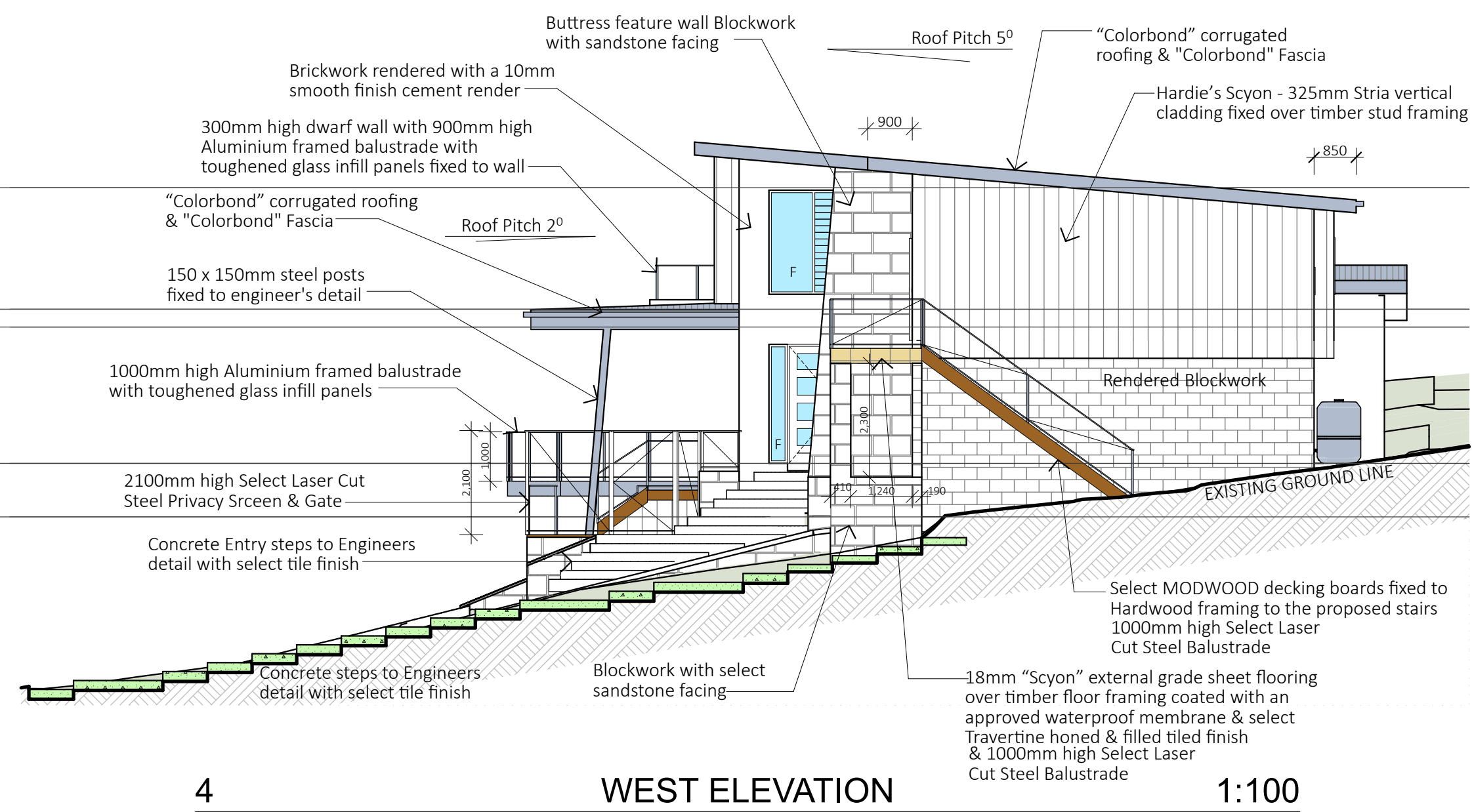
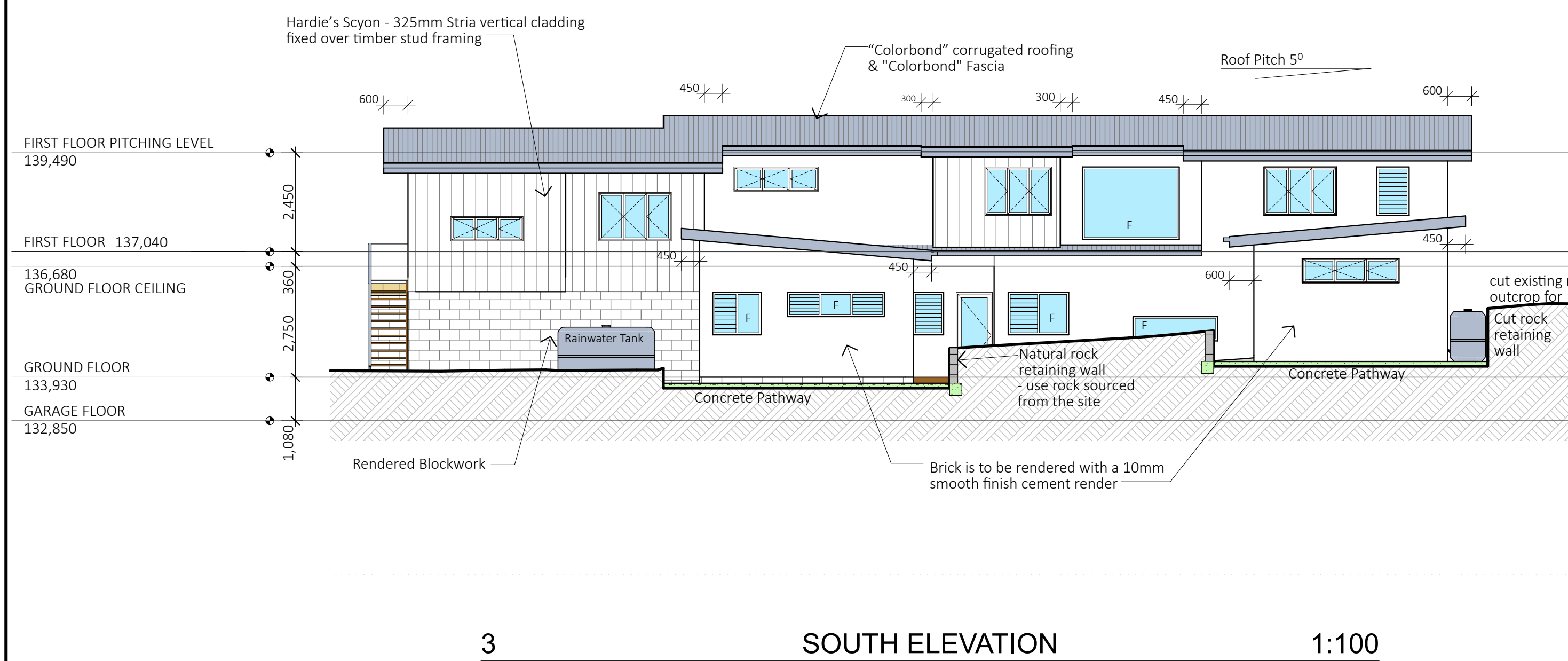
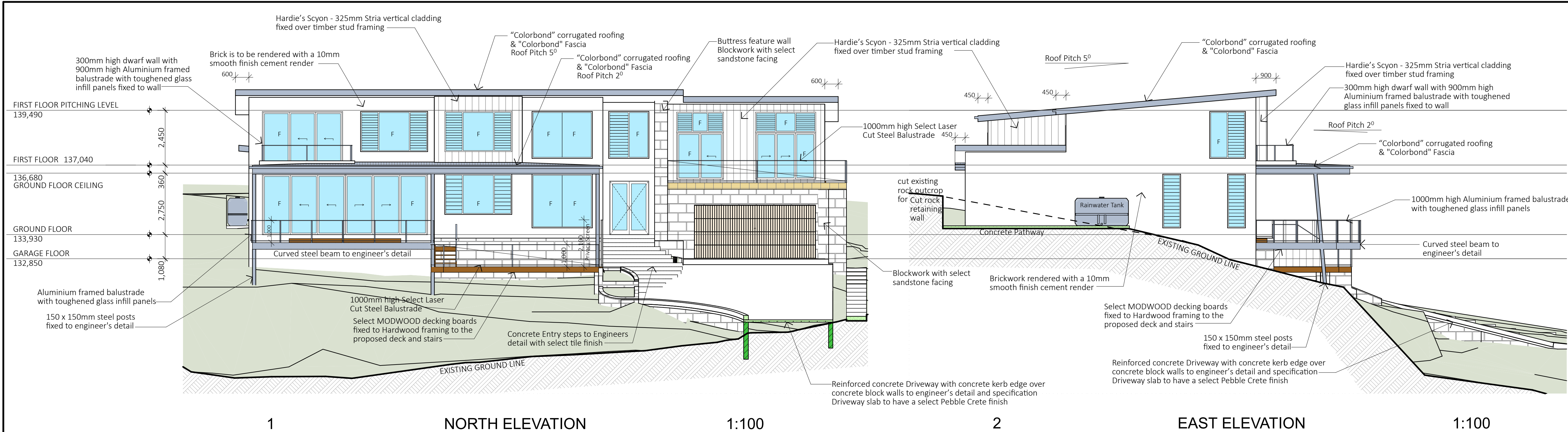
Checked By:	J. ADAMS
-------------	----------

Project No:

Drawing No.:

1836

DA 01



NOTES:
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees. Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors. Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT
This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

Energy Rating

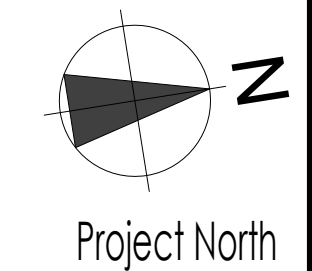
single-dwelling rating ☐ multi-unit development (attach listing of ratings) ☒

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Number: 20901
Assessor Signature: [Signature]
Date: 11/12/2019

Certificate Number: 20901265
5.1 stars
heating 34.0 MJ/m²
cooling 22.0 MJ/m²

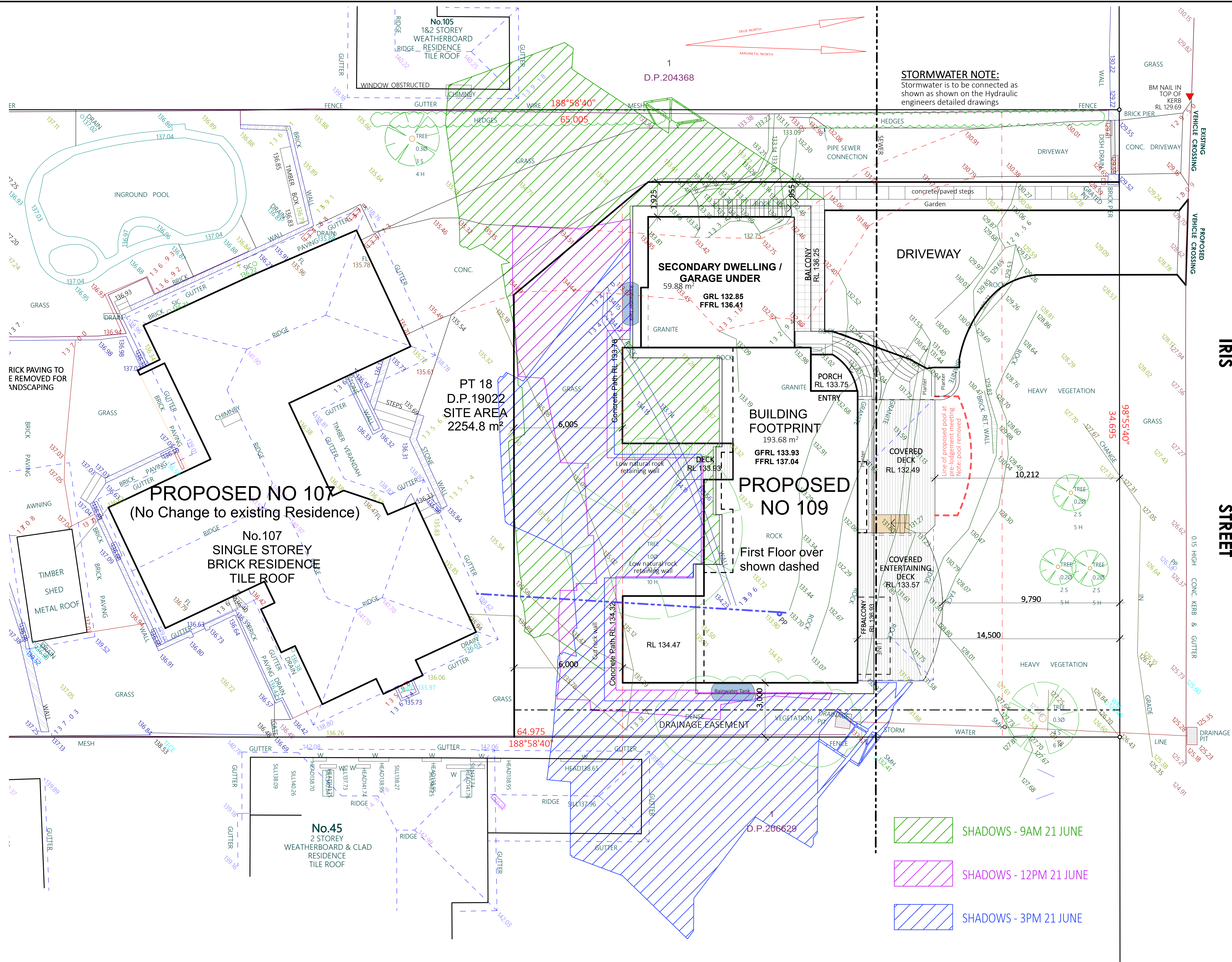
BUSHFIRE REQUIREMENTS
All materials and construction methods shall comply with BAL 29 AS 3959-2009 construction of buildings in Bush Fire prone areas. Refer to bush fire assessment report - Report No: BR- 1939198, Prepared by: Bushfire Planning & Design, Dated: 13/12/2019



LIFESTYLE HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client: **MR & MRS HAYES**
Project Name: **SUBDIVISION & NEW HOME**
107 IRIS STREET
LOT - 18 D.P.19022
BEACON HILL NSW 2100

Drawing Title:	
ELEVATIONS & SECTIONS	
Scale: 1:100 (A1)	Date: NOVEMBER 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 1836	Drawing No.: DA 03
ANNEXURE "A"	
Plot Date: 16/12/2019	



NOTES:

All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees. Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors. Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT

This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

BUSHFIRE REQUIREMENTS

All materials and construction methods shall comply with BAL 29 AS 3959-2009 construction of buildings in Bush Fire prone areas. Refer to bush fire assessment report - Report No: BR- 1939198, Prepared by: Bushfire Planning & Design, Dated: 13/12/2019

Project North

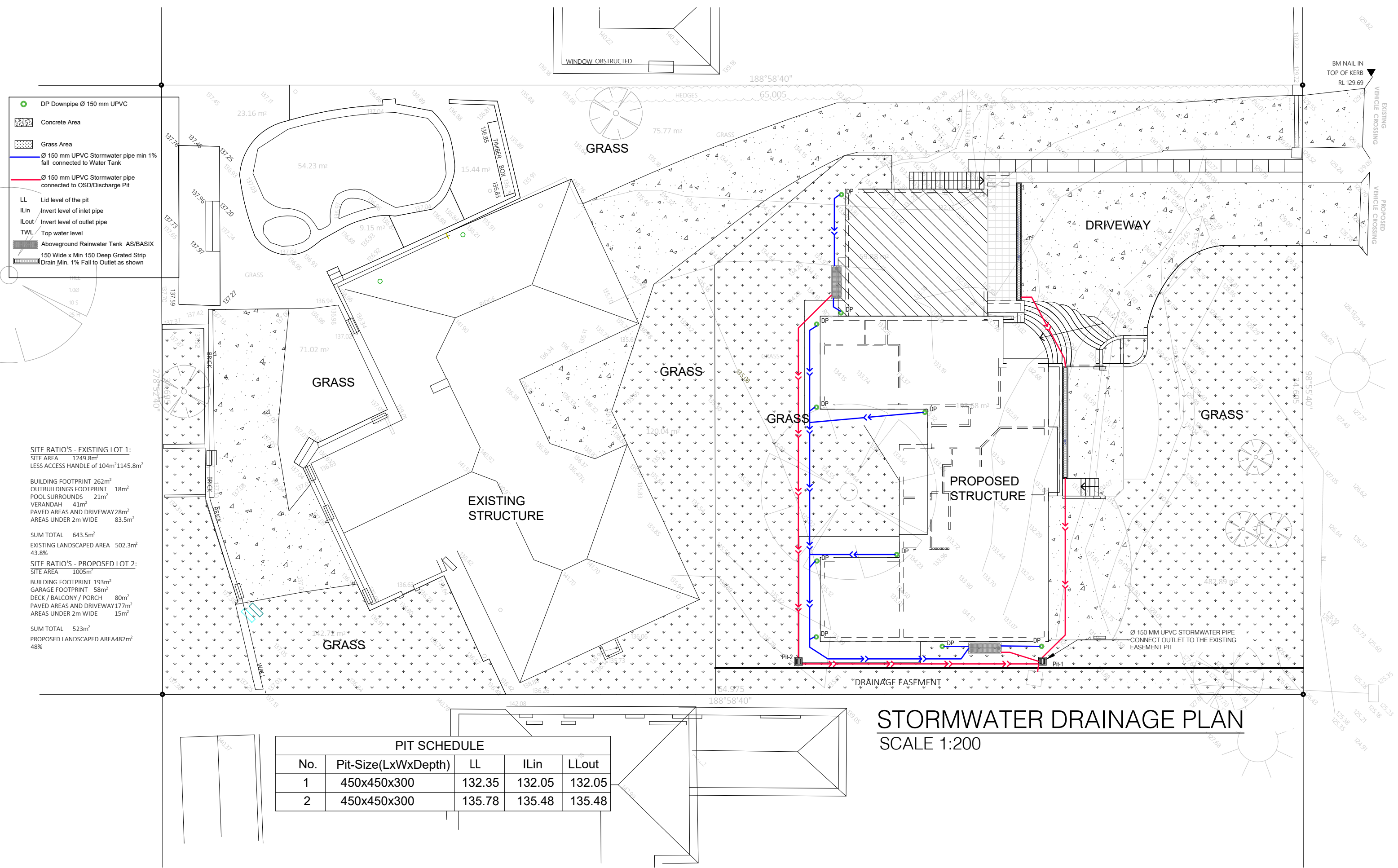
LIFESTYLE
HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MR & MRS HAYES
Project Name
SUBDIVISION & NEW HOME
107 IRIS STREET
LOT - 18 D.P.19022
BEACON HILL NSW 2100

Drawing Title:
SHADOW DIAGRAMS

Scale: 1 : 100 (A1)	Date: NOVEMBER 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 1836	Drawing No.: DA 05
ANNEXURE "A"	

Plot Date: 16/12/2019



G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER WORKING DRAWINGS, SPECIFICATIONS & WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

G2. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND ANY OTHER APPLICABLE AUTHORITY REQUIREMENTS.

G3. ANY CONFLICT BETWEEN THESE NOTES, THE SPECIFICATION, THE DRAWINGS OR ANY OTHER RELEVANT DOCUMENTS SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR DECISION PRIOR TO PROCEEDING WITH THE WORK.

G4. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. FOR SETTING OUT DIMENSIONS & LEVELS REFER TO ARCHITECTURAL DRAWINGS.

G5. THE BUILDER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL SHORING TO MAINTAIN THE STABILITY & INTEGRITY OF EXCAVATIONS & ADJACENT STRUCTURES.

G6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL SERVICES PRIOR TO COMMENCEMENT OF NAY EARTHWORKS.

G7. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

SW1. ALL LEVELS ARE TO A.H.D. UNO.

SW2. THE STORMWATER SYSTEM IS DESIGNED TO COMPLY WITH COUNCIL'S DESIGN CRITERIA AND TO APPROXIMATELY MAINTAIN EXISTING FLOW PATTERNS.

SW3. OVERLAND FLOW PATHS ARE PRESERVED.

SW4. EXISTING DRAINAGE AND LEVELS ARE BASED ON SURVEY PROVIDED & SHOULD BE ASSUMED TO BE APPROXIMATE. ALLOW TO CONFIRM ALL RELEVANT DETAILS BEFORE PROCEEDING WITH AFFECTED AREAS.

SW5. STORMWATER DESIGN AND WORKS TO COMPLY WITH COUNCIL'S DCP, DESIGN CRITERIA AND AS3500.

SW6. DOWNPIPE LOCATIONS SHOULD BE CONFIRMED WITH ARCHITECTURAL PLANS UNO.

SW7. GRADE LOCAL SURFACES INTO PITS TO ENSURE COLLECTION OF WATER & THAT THERE ARE NO AREAS OF PONDING, TYPICAL.

SW8. GRATED TRENCHES AND SILT ARRESTOR PITS TO BE INSPECTED AND CLEANED AFTER PERIODS OF HEAVY RAINFALL.

SW9. TREE ROOTS TO BE AVOIDED DURING PLACEMENT OF DRAINAGE SYSTEM.

SW10. ALL PIPES TO BE Ø100 UPVC UNO.
SW11. ALL PIPES TO HAVE 100MIN. COVER IN LANDSCAPED
AREAS AND 600 MIN. COVER IN TRAFFICABLE AREAS.

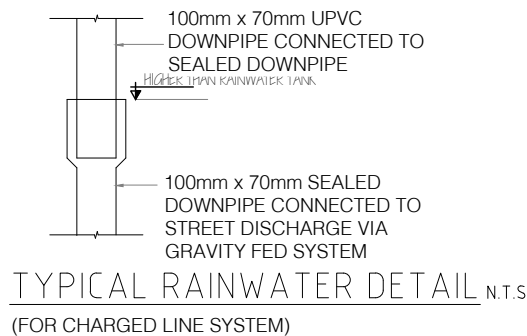
SW12. ALL INLET AND OUTLET PIPES FROM PITS TO BE CONNECTED AT THE HIGHEST POSSIBLE INVERT LEVEL WHILE KEEPING 1% MIN. GRADE UNO.

SW13. FINISHED SURFACES TO BE GRADED AWAY FROM THE DWELLING AND TOWARD THE PITS.

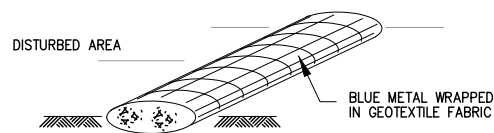
SW14. GRATED TRENCHES TO BE 1% MIN. GRADE
THROUGHOUT TO OUTLET PIPE.

SW15. FINISHED CROSSING AND DRIVEWAY LEVELS ARE BASED ON SURFACE LEVELS OF THE EXISTING LAYBACK AND STREET BOUNDARY LEVELS.

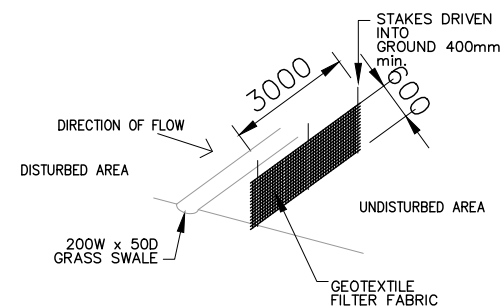
SW16. BEFORE COMMENCING CONSTRUCTION OF THE CROSSING AND DRIVEWAY, COUNCIL'S DESIGNED STREET BOUNDARY LEVELS MUST BE OBTAINED AND USED FOR CONSTRUCTION.



NOTES: Downpipes to be sealed at a level higher than tank due to charged line system.

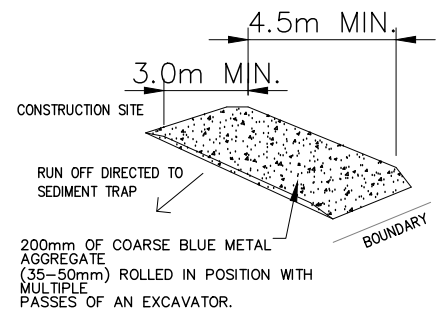


SEDIMENT BARRIER
N.T.S



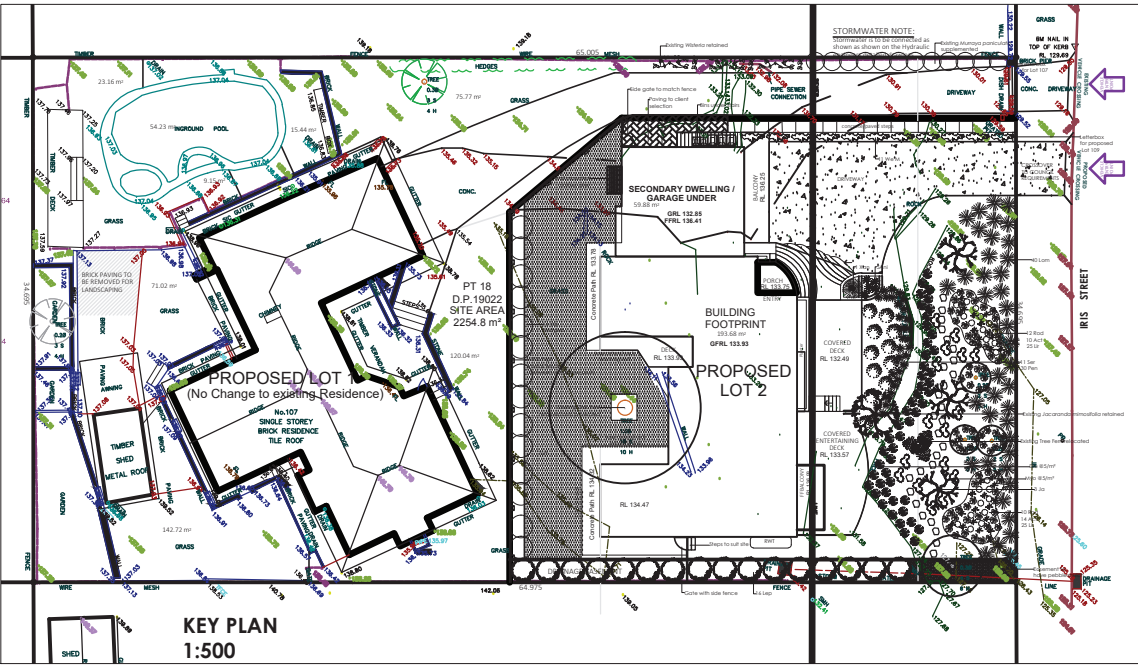
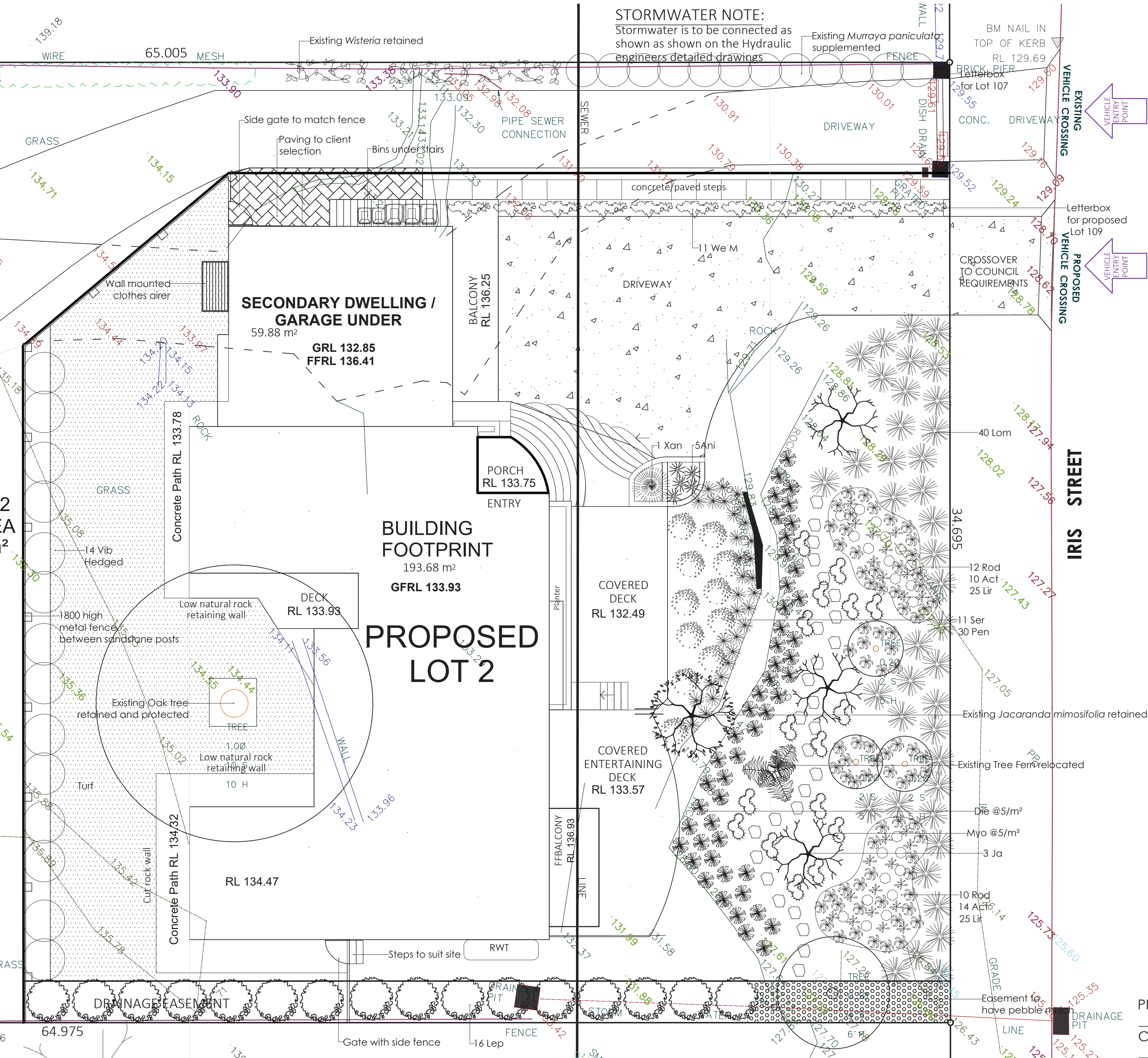
SEDIMENT FENCE DETAIL

N.T.S



CONSTRUCTION ENTRY/EXIT DETAIL
N.T.S

NOTE: * Structural documents are to be read in conjunction with relevant architectural documents. * Any extra work entailed hereafter must be claimed and approval obtained befor proceeding otherwise no extra will allowed for. * These documents may only be used for the purposed for which was commissioned and in accordance with the Terms of Engagement. * MEASUREMENTS TO BE CONFIRMED ON SITE, NO MEASUREMENTS TO BE SCALED OFF DRAWINGS * This design and any other content on this drawing remains the property of Technical Projects Consultant P/L. It cannot be copied or reproduced in part or whole or used in any way without the written permission of Technical Projects Consultant P/L.	TECHNICAL PROJECTS CONSULTANTS E: enquiries.info.tpc@gmail.com Ph: 0429689278 ABN: 36 427 725 908	TPC MIE(Aust): 5094165	CONSULTANTS:				Site Address: 107 Iris Street, Beacon Hill	Drawn By: VS Checked By: RD Client: Mr & Mrs Hayes	Drawing Title: GENERAL NOTES	Project no. 19-044 Scale NTS Sheet no: NOTES-01 Date DEC 2019
							Project Type: Proposed Development	Date 02/12/2019 Rev 00		



- The landscape drawing is to be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.
- Do not scale off drawings. Refer to dimensions on plan.
- All services to be checked and verified on site.
- All existing trees to be retained and protected as specified unless shown otherwise.
- Topsoil mixture, as specified, is to be thoroughly mixed prior to placement.
Imported top soil to be compatible with existing top soil and in accordance with specification.
- Prior to landscape works, remove all builders' debris, cultivate garden bed and turf areas to required levels and incorporate compost as specified.
The area within drip zone of existing trees to be retained are to be hand dug.
- Ensure all garden beds and tree planting have adequate drainage to prevent water logging during periods of high rainfall.
- Council crossover and layback to meet council specification.
- Turf on council verge to be made good after construction.
- All street trees on council verge to be retained and protected during construction.
- Where retaining walls align with boundary fence, the total height shall not exceed 1.8M above ground level.
- Rain water to be used on site.
- Check boundaries, levels, dimensions and locate services on site prior to starting work
- Retaining walls and concrete driveways to engineer's details.

PLANTING INSTRUCTIONS

Remove all building rubble and weeds from garden beds.
Fill garden beds with 300mm organic garden mix.
Stand plant the pots in their position according to the planting plan.
Dig hole same size as the pot. remove the plant from the pot.
Plant so that the top of the root ball is level with the soil.
Sprinkle granular wetting agent and fertilizer according to directions on the pack.
Water in well.
Run irrigation tubing over the soil.
Cover the entire soil surface with 75mm mulch.

New Turf:
Excavate/grade areas to be turfed to 120mm below required finished level.
Ensure all surface water run-off is directed towards inlet pit, kerbs etc and away from building.
Further rip the subgrade to 150mm.
Install 100mm depth of turf underlay, lay 'Sir Walter Buffalo' turf rolls closely butted.
Fill any small gaps with topsoil.
Water thoroughly.

AREA CALCULATIONS:
LOT 2 SITE AREA = 1005.0 m²
BUILT UP AREA = 251.0m²
DRIVEWAY AND PAVED AREA = 177.0m²
LANDSCAPED AREA = 482.0 m² (47.9%-MIN 40%)



Leptospermum Cardwell

Jacaranda mimosifolia



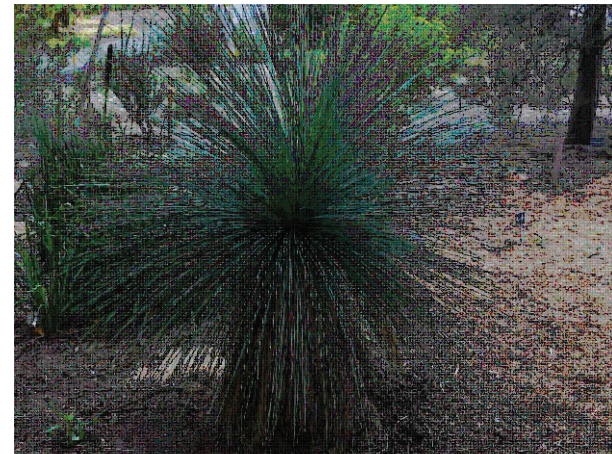
Viburnum 'Dense Fence'



Seruria Blushing Bride



Anigozanthos Bush Elegance



Xanthorrhoea



Actinotus helianthi



Dietes Grand Star



Westringia longifolia Mundi



Myoporum parvifolium



Liriope muscari 'Just Right'



Lomandra 'Seascape'



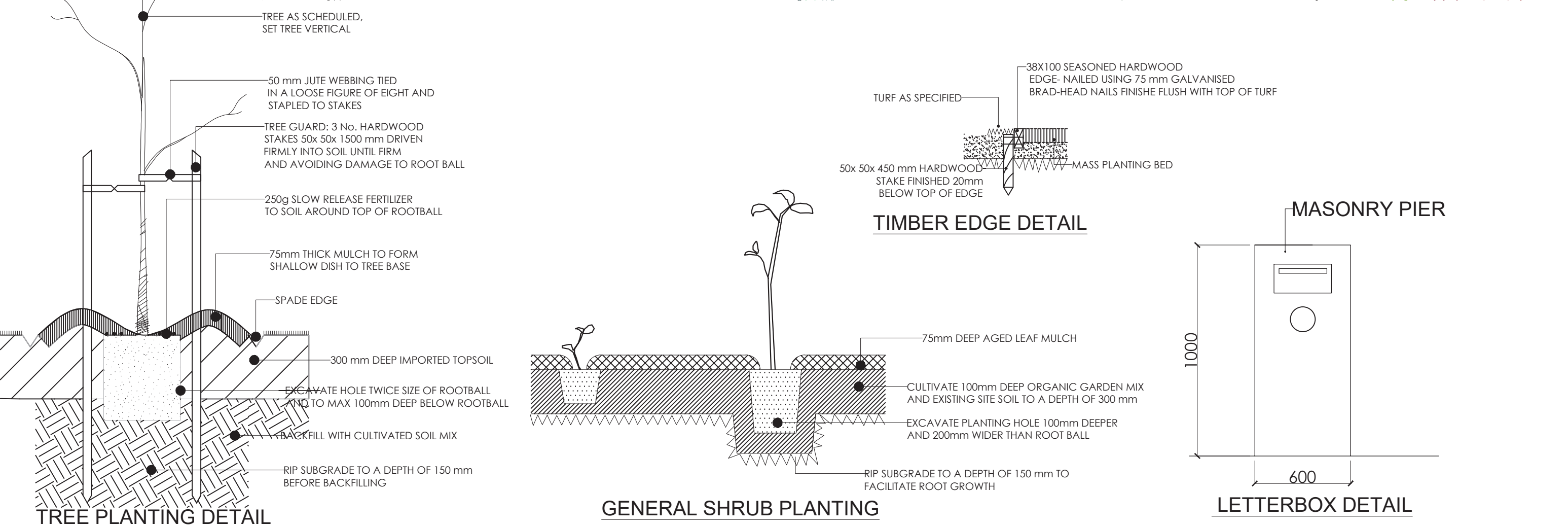
Lomandra longifolia 'Tanika'

PLANT SCHEDULE:

CODE	BOTANICAL NAME	COMMON NAME	QTY	POT SIZE	MATURE HT	STAKE
TREES						
Ja	Jacaranda mimosifolia	Jacaranda	3	45Lit	10M	Y
SHRUBS						
Ani	Anigozanthos 'Bush Elegance'	Kangaroo Paw	5	200mm	800mm	
Lep	Leptospermum flavescens 'Cardwell'	Tea Tree	16	200mm	3M	
Ser	Seruria florida 'Blushing Bride'	Protea	11	140mm	1M	
Vib	Viburnum 'Dense Fence'	Sweet Viburnum	14	200mm	2.5M	
We M	Westringia fruticosa 'Mundi'	Cosatal Rosemary	11	140mm	500mm	
Xan	Xanthorrhoea	Grass Tree	1	35 Lit	2M	
GROUND COVER						
Act	Actinotus helianthi	Flannel Flower	24	140mm		
Die	Dietes Grandiflora 'Grand Star'	Wild Iris	@5/m²	140mm		
Lir	Liriope muscari 'Just Right'	Lilyturf	75	140mm	500mm	
Lom	Lomandra longifolia 'Tanika'	Spiny Head Mat Rush	40	140mm	500mm	
LoS	Lomandra confertifolia 'Seascape'	Mat Rush	@6/m²	140mm	500mm	
Myo	Myoporum parvifolium 'Purpurea'	Creeping Boobialla	@5/m²	140mm		
Rod	Rodanthes spp	Everlasting Daisy	22	140mm		

TURF SIR WALTER BUFFALO

NOTE: Plant quantities shown on planting plan take precedence over quantities shown on Plant Schedule (to be used as a guide). The landscape contractor shall ensure that correct quantities are installed as per planting plan



DRAWINGS TO BE READ AND NOT SCALED
DISCREPANCY IF ANY TO BE BROUGHT TO THE DESIGNER'S ATTENTION
ALL LEVELS AS PER SURVEY PLAN

Revision	Date	Amendment	ADDRESS: 107 IRIS STREET BEACON HILL	DRAWING TITLE: LANDSCAPE PLAN						SANDHYA SUNIL M: 0439332998 E: info@earthmattersconsulting.com.au www.earthmattersconsulting.com.au
			CLIENT: Mr & Mrs Hayes	PROJECT NO.	DRAWING NO.	DATE	SCALE	DRAWN	STATUS	
				IRIS 19	LD01	NOVEMBER 2019	1:100@ A1	SVS	DA	

EarthMatters
CONSULTING

PLACE MAKERS AND
LANDSCAPE CONSULTANTS

Schedule of Colours & Materials for Property at:

Proposed New Residence - Number 109 Iris Street, Beacon Hill

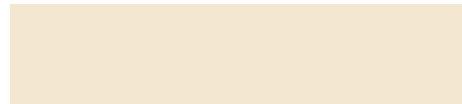
Roof – “Colorbond” corrugated Sheet roofing:

Colour to be Basalt

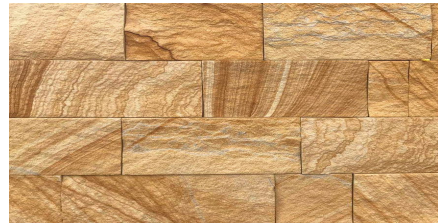


Rendered Brickwork & Blockwork – Brickwork & Blockwork rendered with a 10mm smooth finish cement render.

Colour to be Quarter Hogs Bristle



Sandstone Facing brickwork & blockwork – Brickwork / blockwork of Entry Porch, Feature wall & Garage north facing walls shall have a Sandstone facing tile finish.



Timber Framed walls – Timber frame walls will be clad with *Hardie’s Scyon* – 325mm Stria vertical cladding

Colour to be Monument or similar



Windows & Doors - Aluminium framed.

Colour to be Monument



Fascia & Gutters - “colorbond” fascias & gutters.

Colour to be Basalt



Down pipes - & Downpipes.

Colour to be Quarter Hogs Bristle

