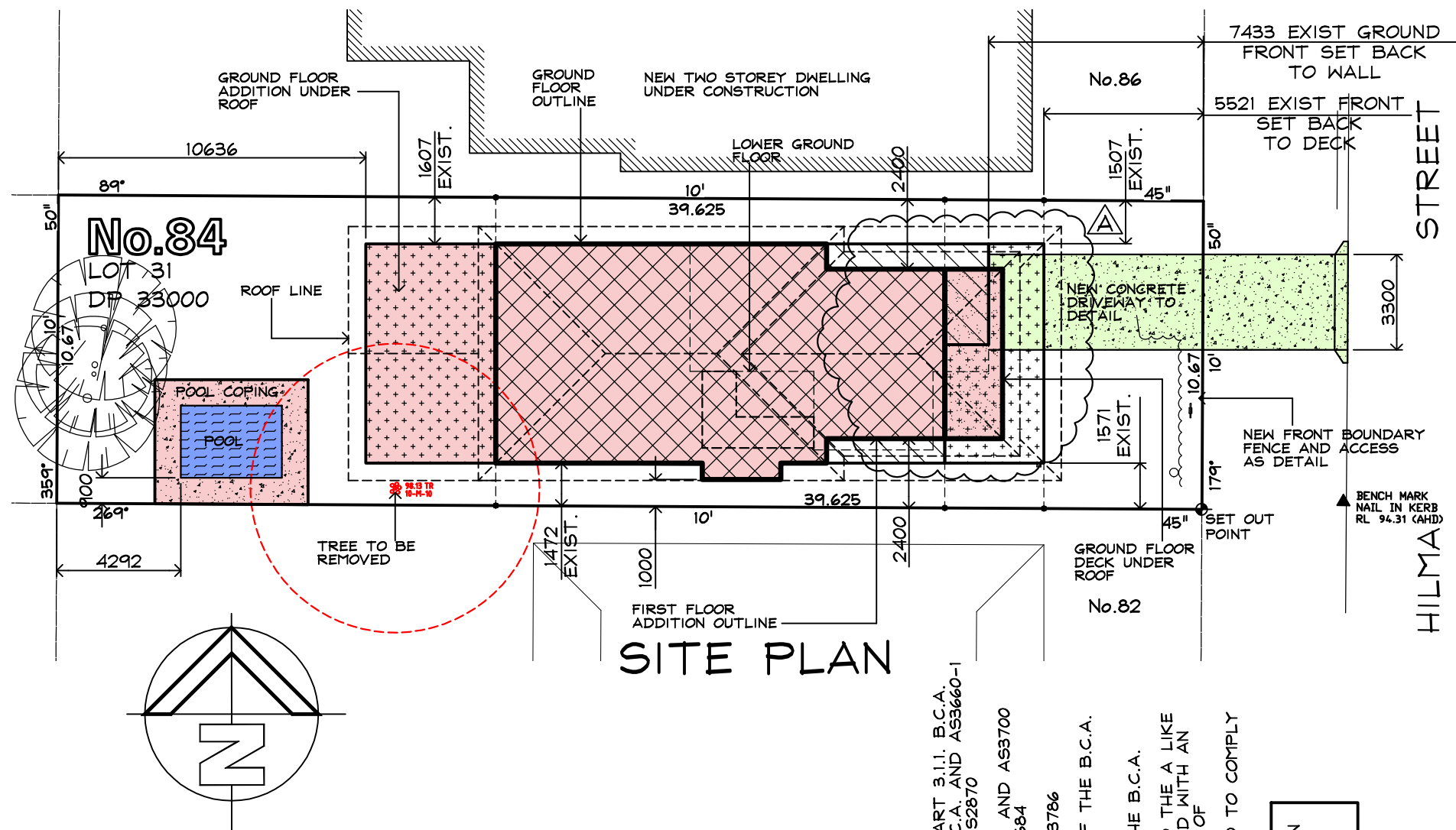




NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.

BASIX REQUIREMENTS

TO BE READ INCONJUNCTION WITH THE BASIX CERTIFICATE NUMBER A339822

NEW SHOWER HEAD MINIMUM RATING 3 STAR RATING

NEW TOILET MINIMUM RATING 3 STAR RATING

ALL NEW TAP FITTINGS MINIMUM RATING 3 STAR RATING

GLAZING TO ALUMINIUM FRAMED WINDOWS AND DOORS OR OTHERWISE NOTED ARE TO BE IN ACCORDANCE WITH THE BASIX REPORT

ROOF COLOUR DARK SA > 0.70

FLOOR ABOVE ENCLOSED SUBFLOOR 0.8 OR (R1.5 RATING INCLUDING CONSTRUCTION)

ROOF SHEETING ON INSULATION R1.5 RATING

EXTERNAL WALLS INSULATION R1.5 RATING

CEILING INSULATION R2.24 RATING

HOT WATER SERVICE TO BE GAS INSTANTANEOUS WITH A PERFORMACE OF 4.5 STARS OR BETTER.

COOLING SYSTEM TO BE IN AT LEAST 1 LIVING AREA & 1 BEDROOM TO BE A 3-PHASE AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0-3.5 OR BETTER PLUS A CEILING FAN. THE COOLING SYSTEM MUST MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING & BEDROOM AREAS.

HEATING SYSTEM IN AT LEAST 1 LIVING AREA GAS FIXED FLUE FIRE PLACE WITH A 3 STAR RATING.
HEATING SYSTEM IN AT LEAST 1 BEDROOM 3-PHASE AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0-3.5 OR BETTER.

FIXED OUTDOORS CLOTHES DRYING LINE TO BE INSTALLED

GAS COOKER WITH ELECTRIC OVEN.

APPLICANT MUST ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN EACH OF THE FOLLOWING ROOMS AND WHERE THE "DEDICATEWD" APPEARS, THE FITTINGS FOR THOSE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS:
TO AT LEAST 2 OF THE BEDROOMS / STUDY AND TO ALL BATHROOMS/TOILETS

THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 16 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER AND MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT INCORPORATE ANY HEATING SYSTEM. THE APPLICANT MUST INSTALL A TIMER FOR THE SWIMMING POOL PUMP. THE APPLICANT MUST INSTALL A POOL COVER.

ABOVE NOTES TO BE READ IN-CONJUNCTION WITH THE ARCHITECTURAL PLANS AND THE STRUCTURAL ENGINEERS DETAILS

THIS PLAN IS TO BE READ IN-CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0335

REVISION A - DATE 19-06-2019
ROOF PROFILE AND RIDGE LEVEL
AMENDED

DEVELOPEMENT
APPLICATION ISSUE

SITE CRITERIA

No.84 HILMA STREET COLLAROY PLATEAU 2097 N.S.W.
LOT 31 SEC. L DP 33000

SITE AREA	= 417.3	sq. m.	BY TITLE
	= 422.7	sq. m.	BY CALC.
EXISTING LANDSCAPED AREA < THAN 2.0m	= 43.4	sq. m.	(10.2 %)
EXISTING LANDSCAPED AREA > THAN 2.0m	= 123.9	sq. m.	(29.3 %)
EXISTING HARDSTAND AREA	= 255.4	sq. m.	(60.4 %)
EXISTING ROOF AREA	= 181.3	sq. m.	
POST LANDSCAPED AREA < THAN 2.0m	= 80.6	sq. m.	(19.1 %)
POST LANDSCAPED AREA > THAN 2.0m	= 129.8	sq. m.	(30.7 %)
INCLUDING POOL WATER SURFACE	= 212.3	sq. m.	(50.2 %)
HARDSTAND POST DEVELOPEMENT			
INCLUDING POOL COPING			
EXISTING TOTAL LOWER GROUND FLOOR AREA	= 56.8	sq. m.	
EXISTING TOTAL GROUND FLOOR AREA	= 124.9	sq. m.	
EXISTING GROUND FLOOR FRONT DECK AREA	= 19.4	sq. m.	
PROPOSED DRIVEWAY AREA	= 24.4	sq. m.	
PROPOSED LOWER GROUND FLOOR AREA	= 6.0	sq. m.	
PROPOSED TOTAL GROUND FLOOR AREA	= 124.9	sq. m.	
PROPOSED GROUND FLOOR FRONT DECK AREA	= 20.7	sq. m.	
PROPOSED GROUND FLOOR REAR DECK AREA	= 34.2	sq. m.	
PROPOSED POOL COPING AREA	= 14.2	sq. m.	
PROPOSED POOL WATER AREA	= 8.8	sq. m.	
PROPOSED TOTAL FIRST FLOOR AREA	= 112.4	sq. m.	
PROPOSED FIRST FLOOR FRONT DECK AREA	= 11.7	sq. m.	
PROPOSED TOTAL ROOF AREA	= 216.8	sq. m.	

2 CAR PARKING SPACES PROVIDED IN GARAGE

GENERAL NOTES AND BCA COMPLIANCE

EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870
AND ENGINEERS DETAILS
MASONRY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A. AND AS1684
GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
BALISTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE
TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN
APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF
PART 3.8 OF THE B.C.A. AND AS3740
CLOTHES WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY
WITH PART 3.8.3 OF THE B.C.A.

IF IN
DOUBT
ASK

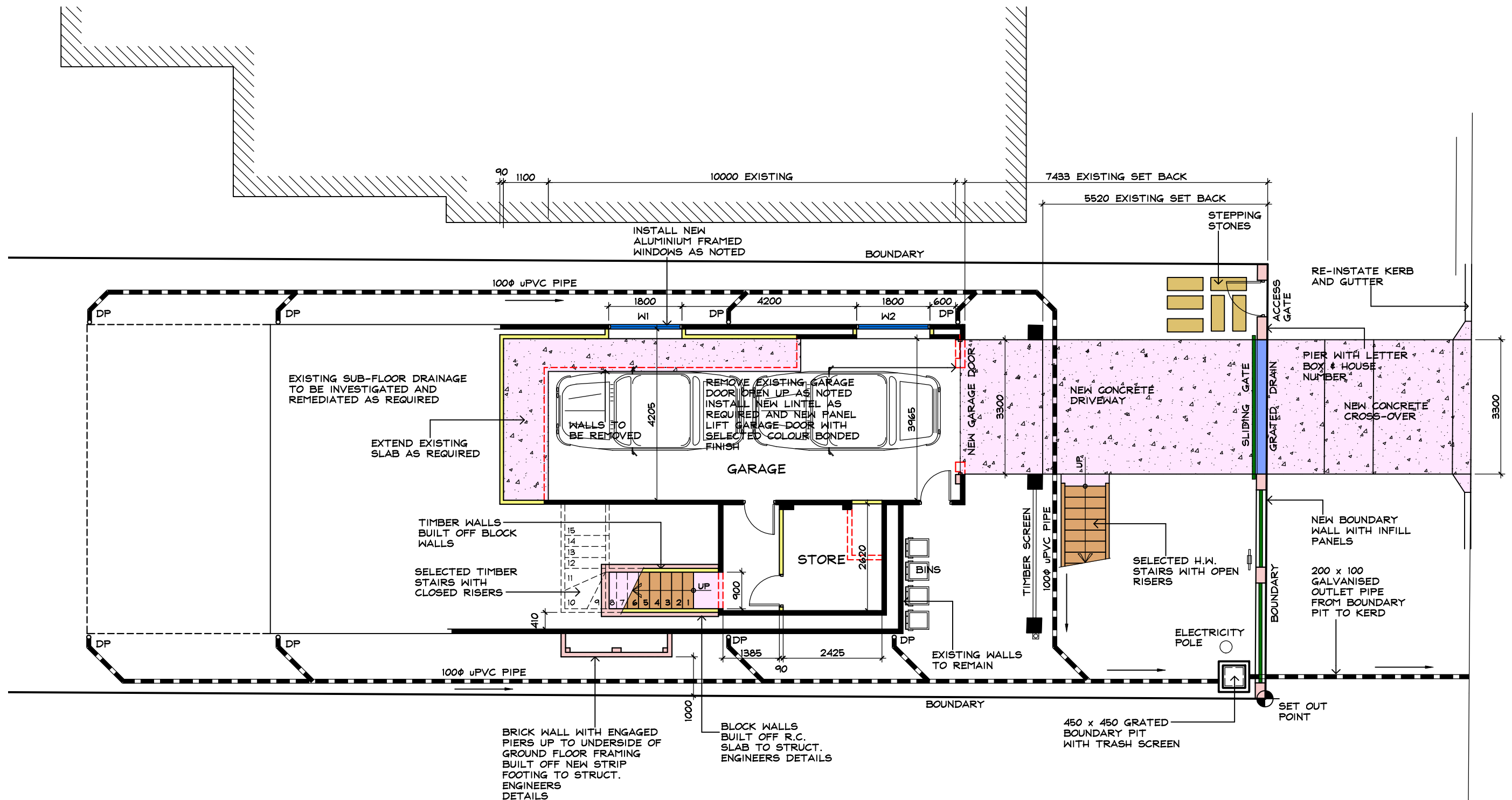
Prepared by
H&C DESIGN PTY. LTD.
50 FULLER STREET COLLAROY PLATEAU
PHONE (02) 9944-0830
A.C.N. 002079192

Date JAN. 2019
Drawn HENK.
Scale 1:200
Job No.181201-1A

NOTES:-

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Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
FOR **ARENA FAMILY**



LOWER GROUND FLOOR STORMWATER PLAN

Scale 1:100

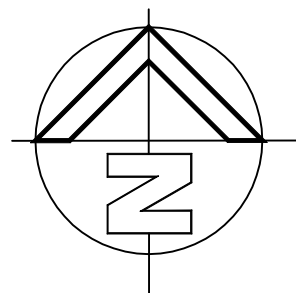
3 2



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A.C.N. 002079192

Date JAN. 2019

Drawn HENK.

Scale 1:100

Job No. 181201-2

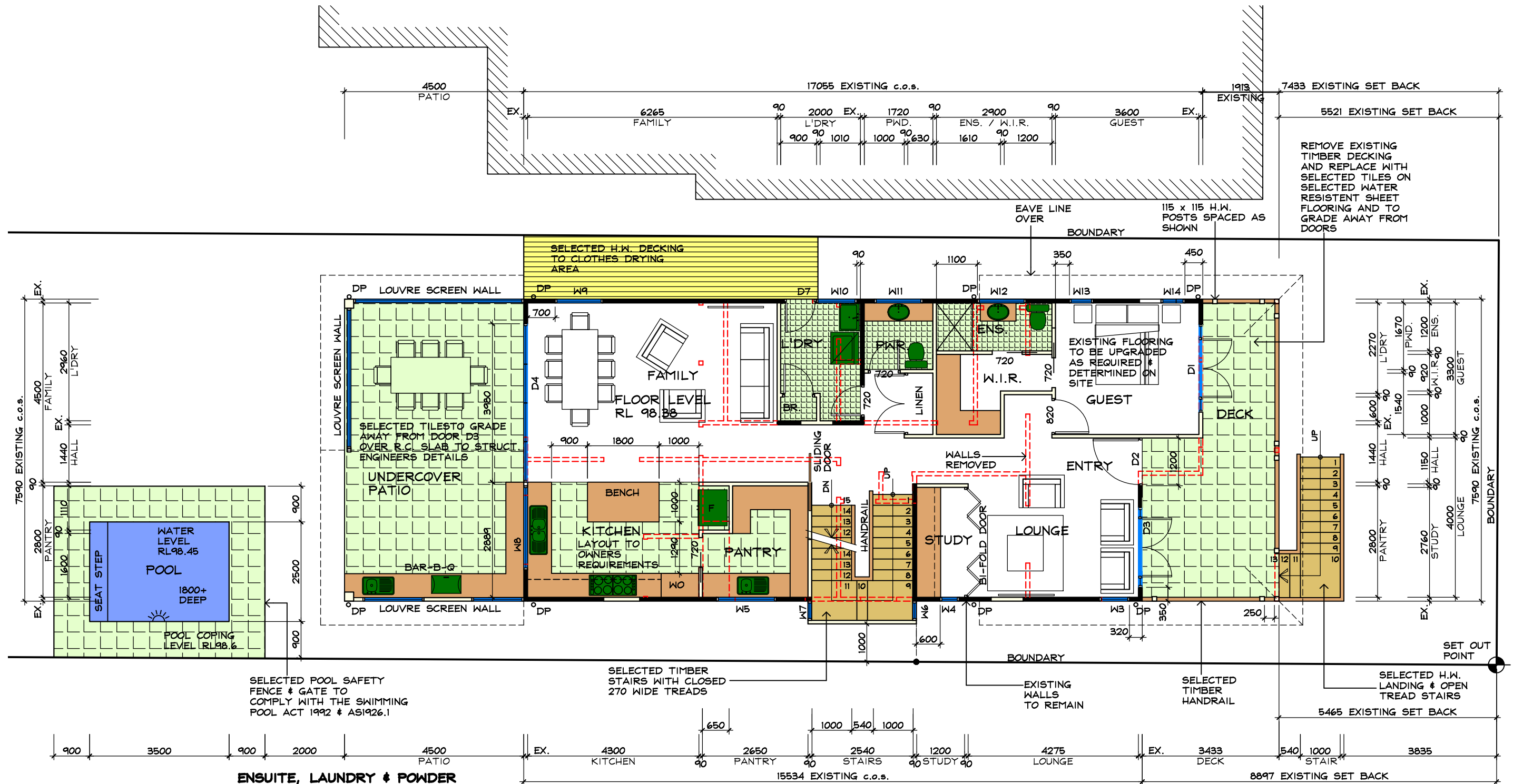
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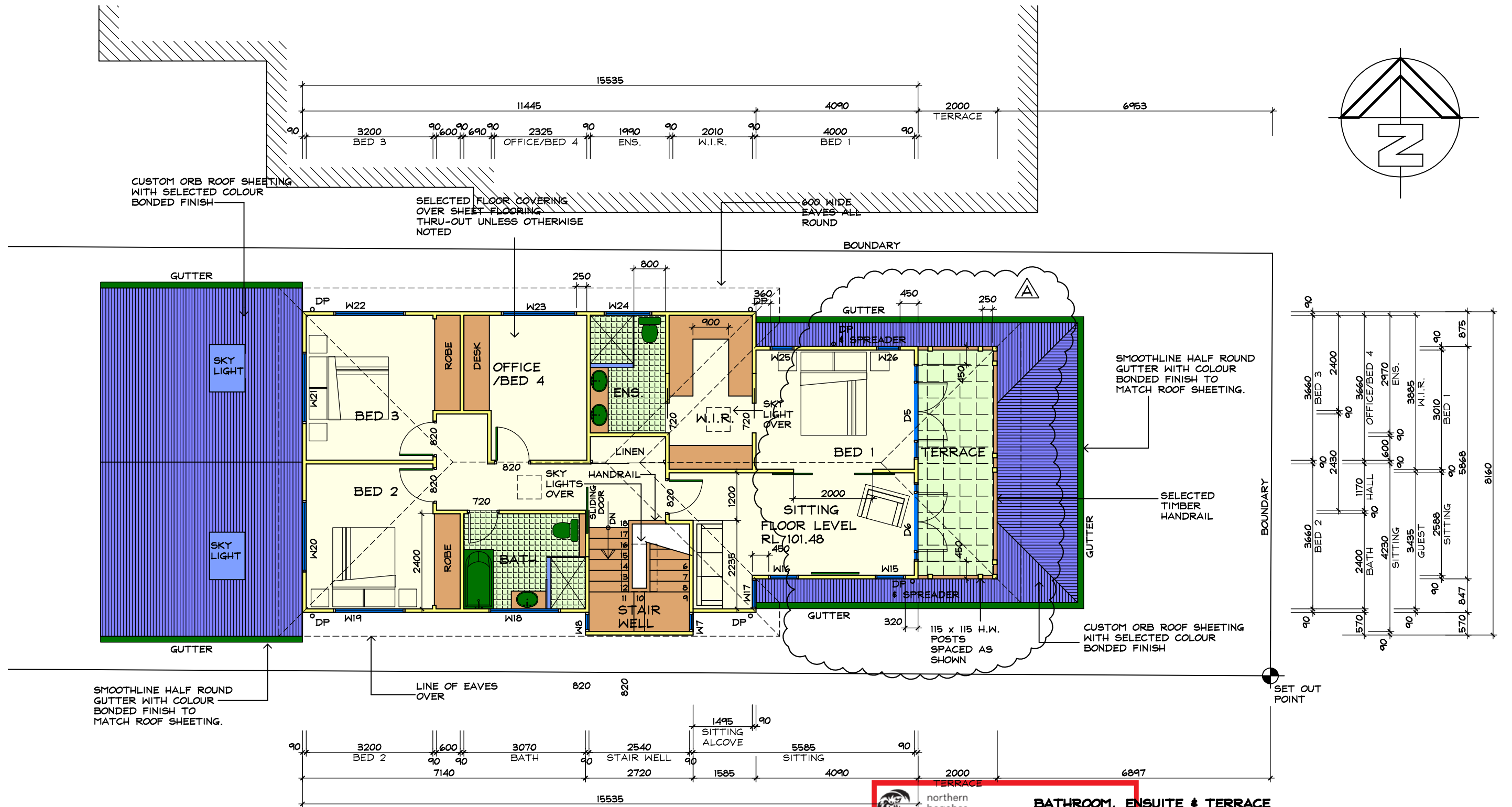
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PROPOSED ADDITIONS & ATERAIONS
84 HILMA STREET COLLAROY PLATEAU
ARENA FAMILY

FOR





REVISION A - DATE 19-06-2019
ROOF PROFILE AND RIDGE LEVEL
AMENDED

DEVELOPEMENT APPLICATION
ISSUE

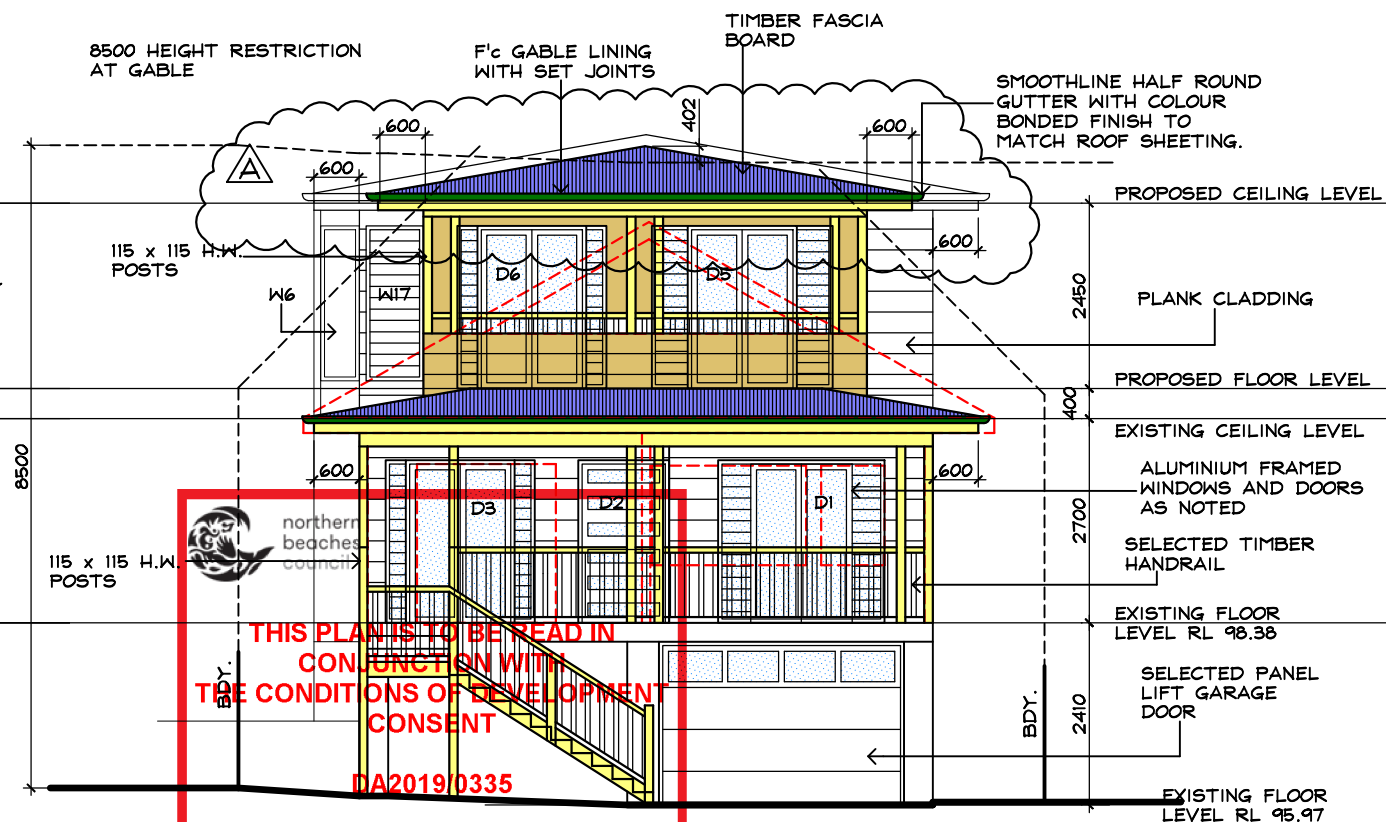
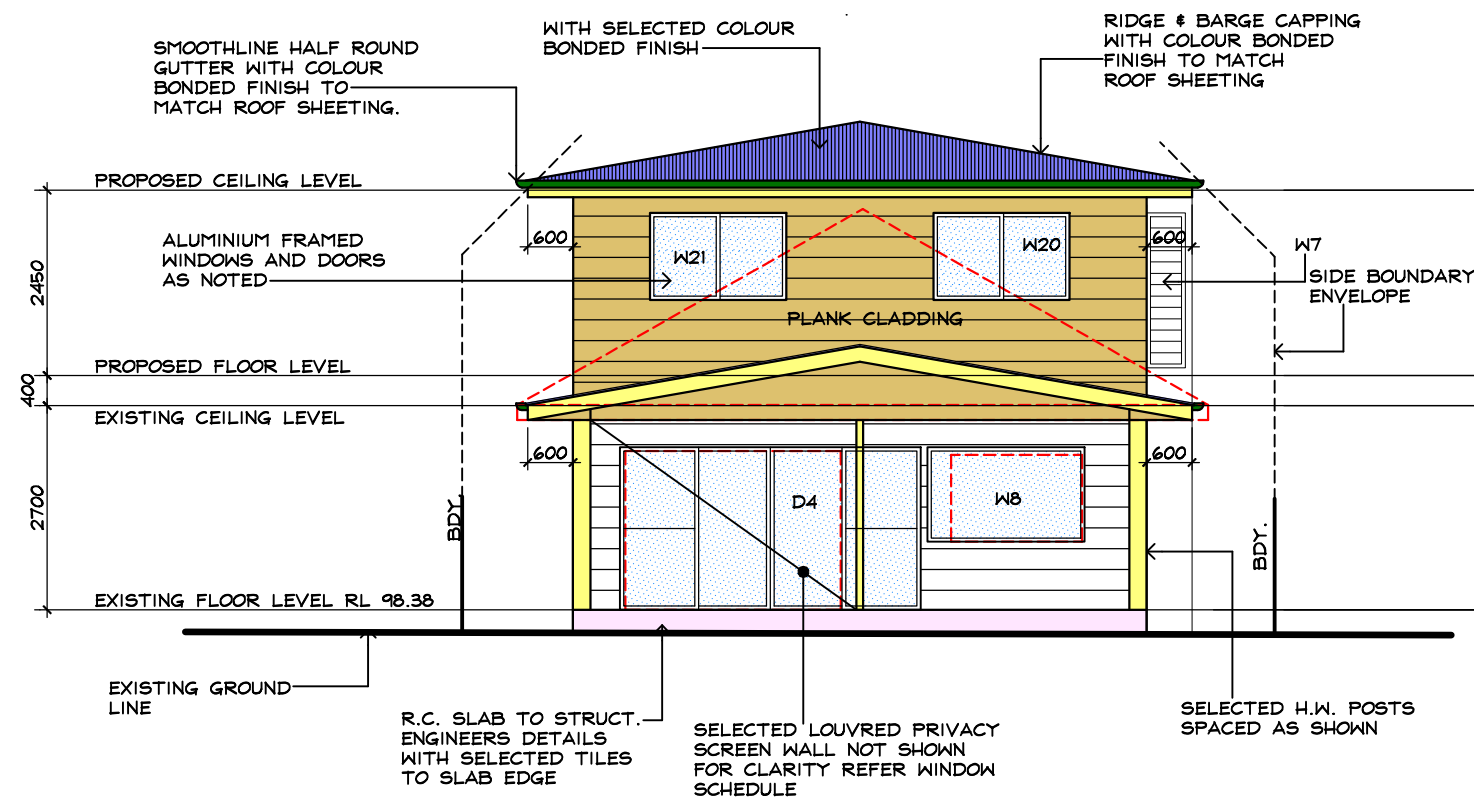
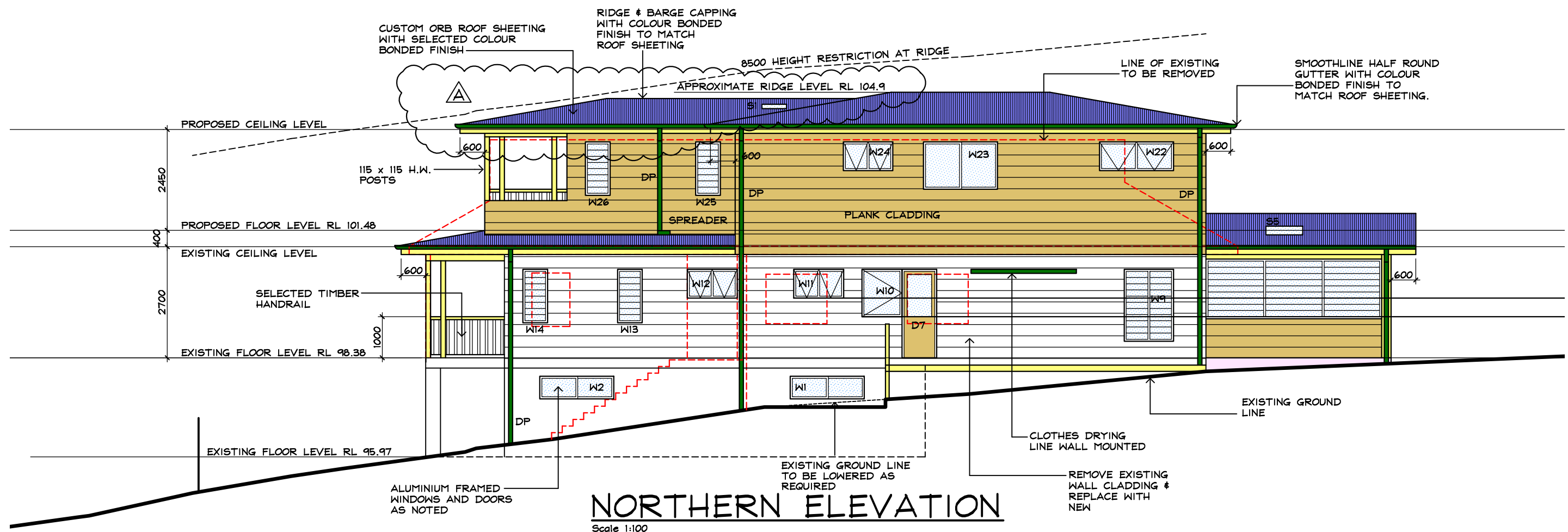
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Drawn HENK.
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Job No.181201-4A

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Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
FOR **ARENA FAMILY**



REVISION A - DATE 19-06-2019
ROOF PROFILE AND RIDGE LEVEL
AMENDED

DEVELOPEMENT APPLICATION ISSUE

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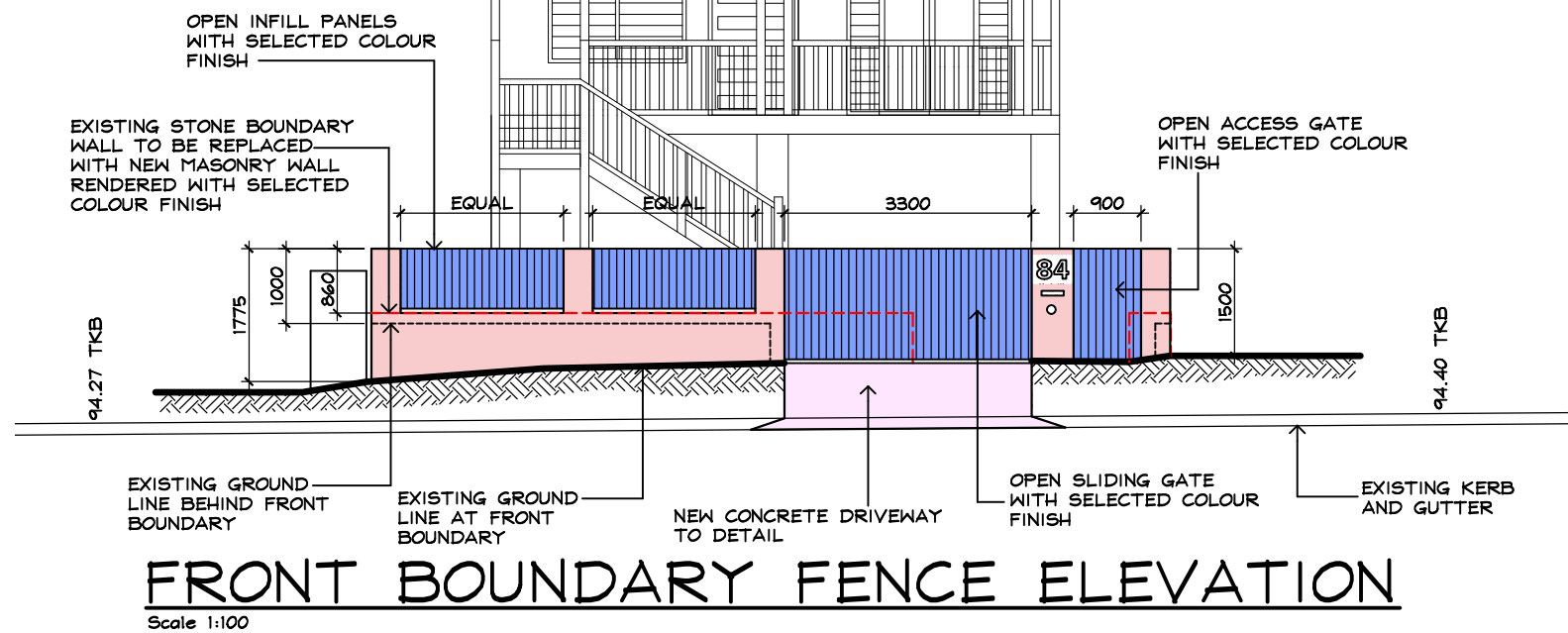
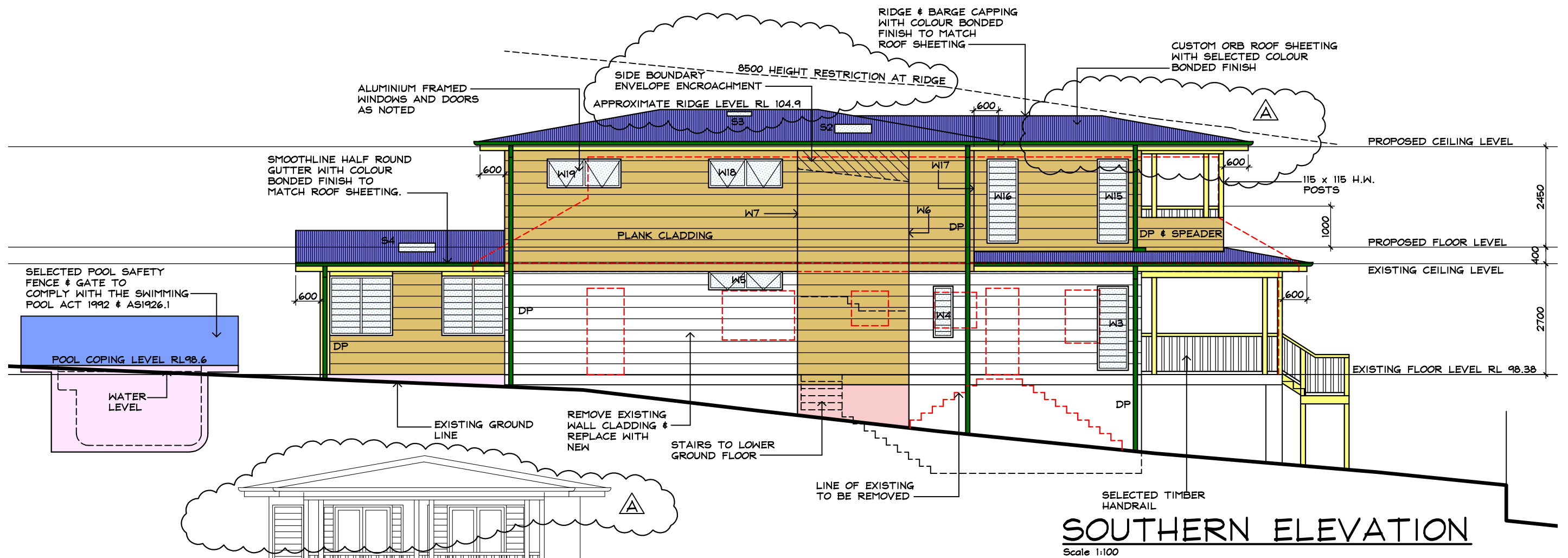
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Job No. 181201-5A

NOTES: –

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Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
 FOR **ARENA FAMILY**



REVISION A - DATE 19-06-2019
ROOF PROFILE AND RIDGE LEVEL
AMENDED

DEVELOPEMENT APPLICATION
ISSUE

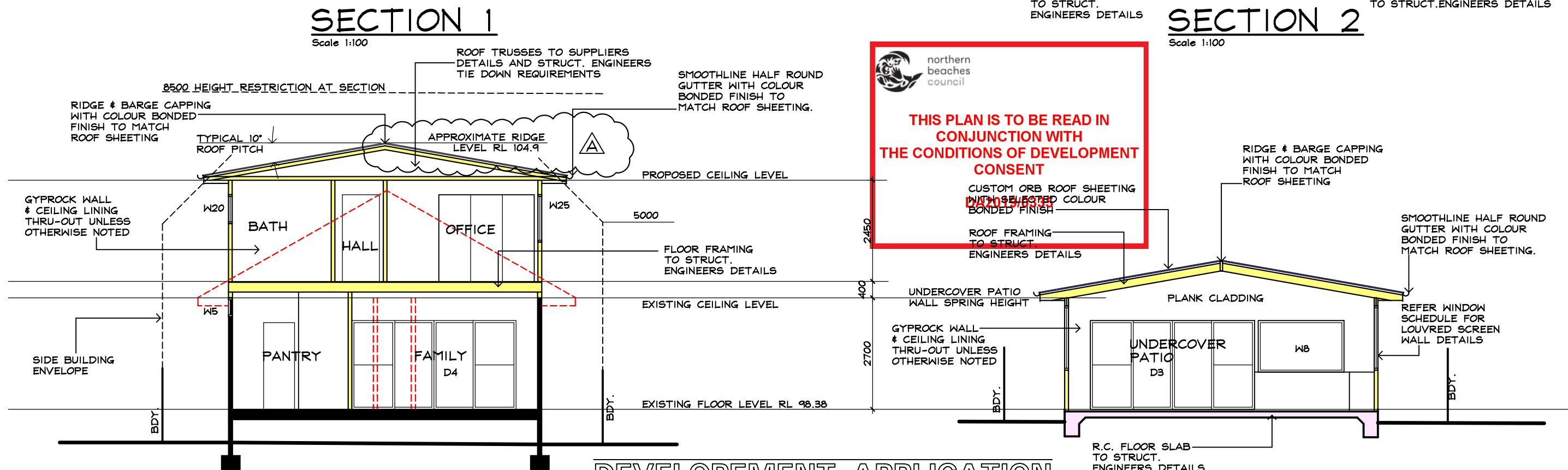
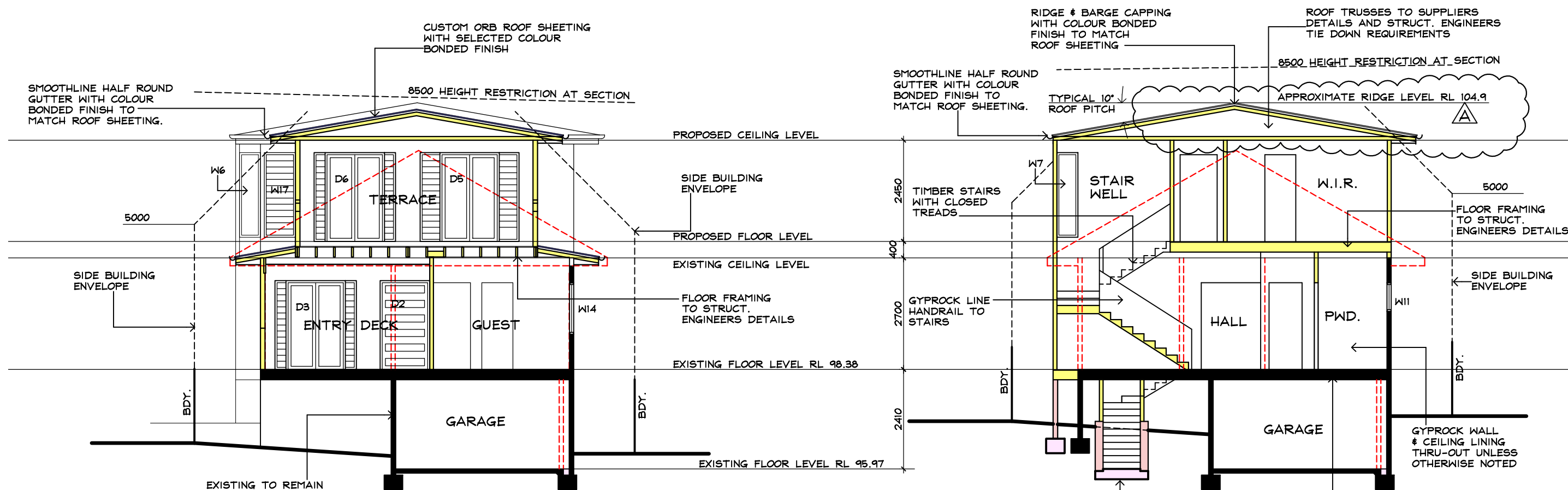
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Date JAN. 2019
Drawn HENK.
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Job No. 181201-6A

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Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
FOR **ARENA FAMILY**



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DEVELOPEMENT APPLICATION ISSUE

REVISION A - DATE 19-06-2019
RIDGE LEVEL AMENDED

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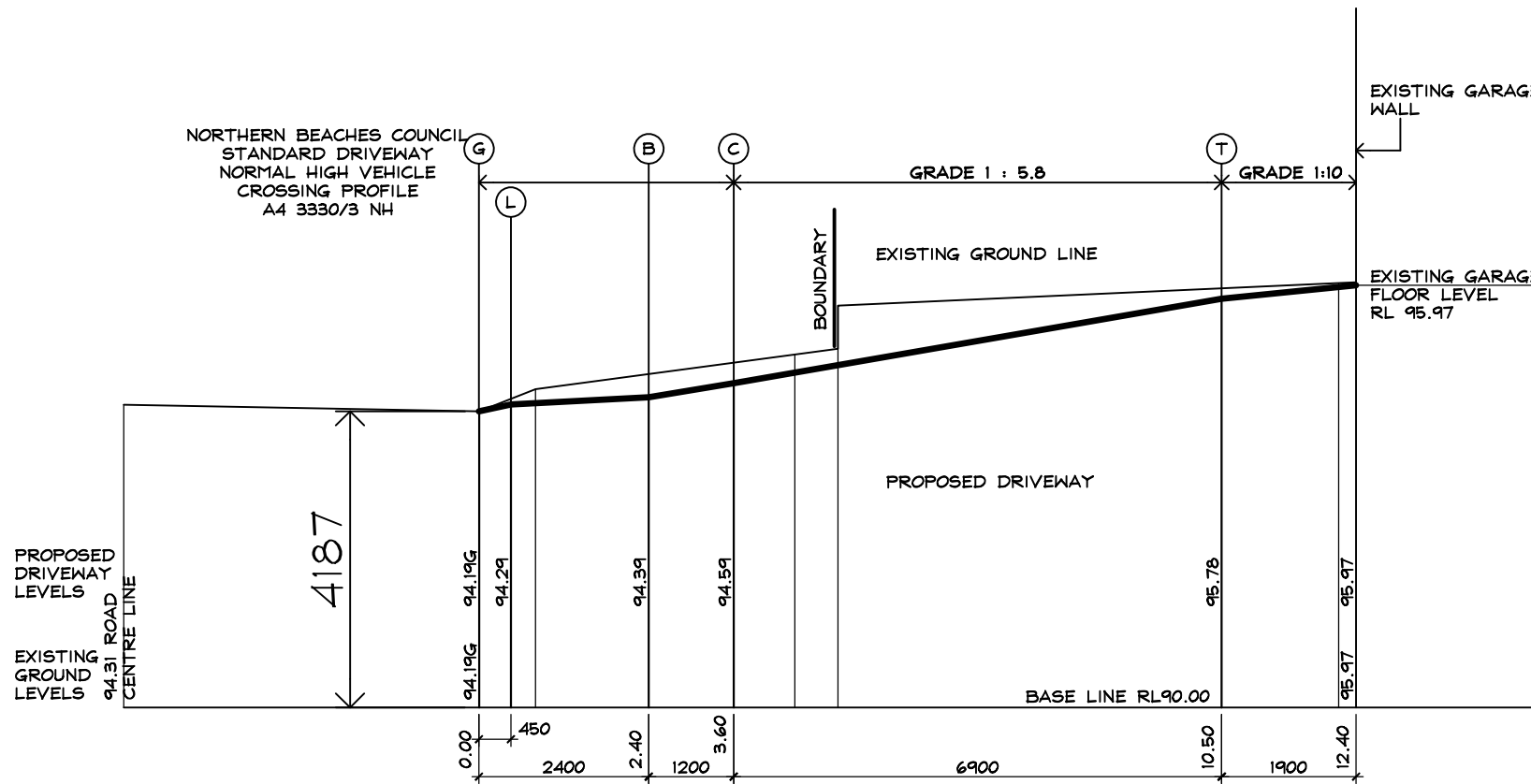
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Job No.181201-7A

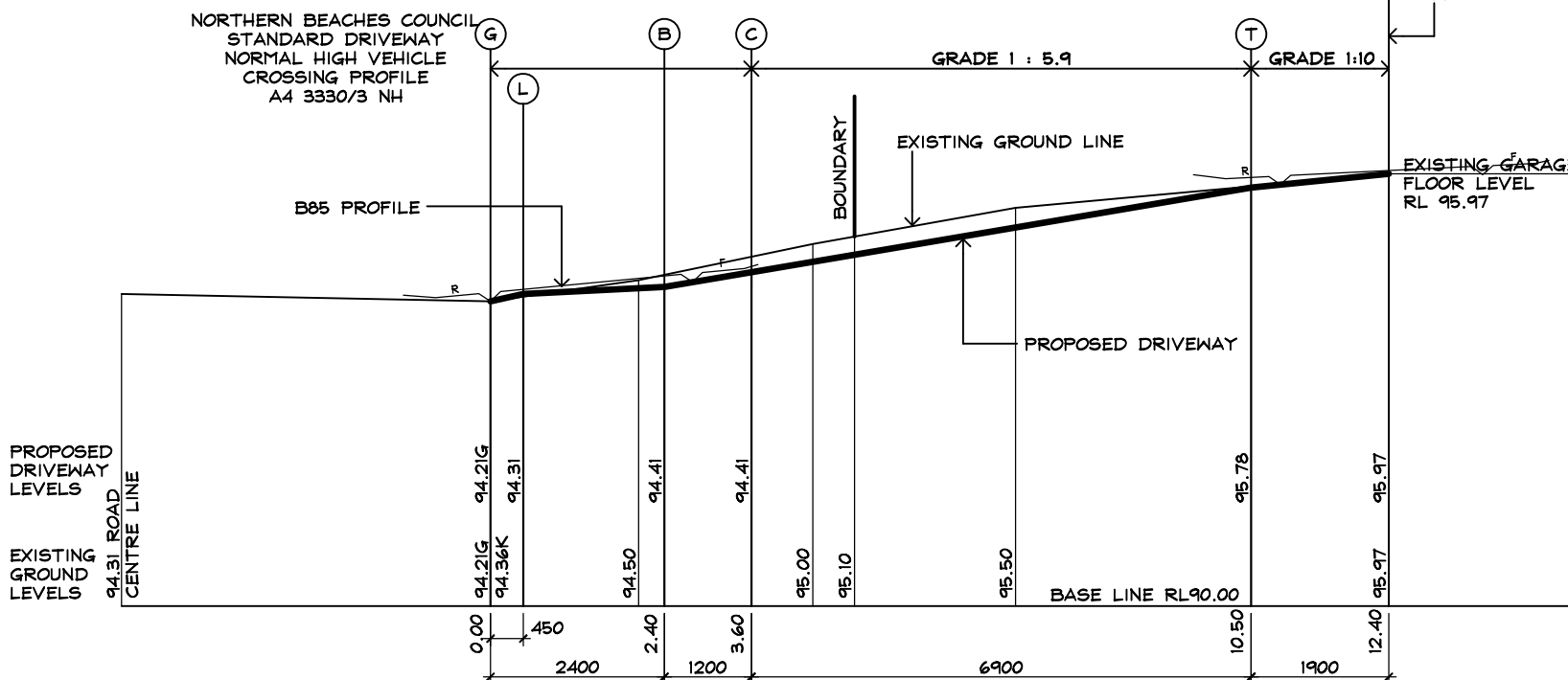
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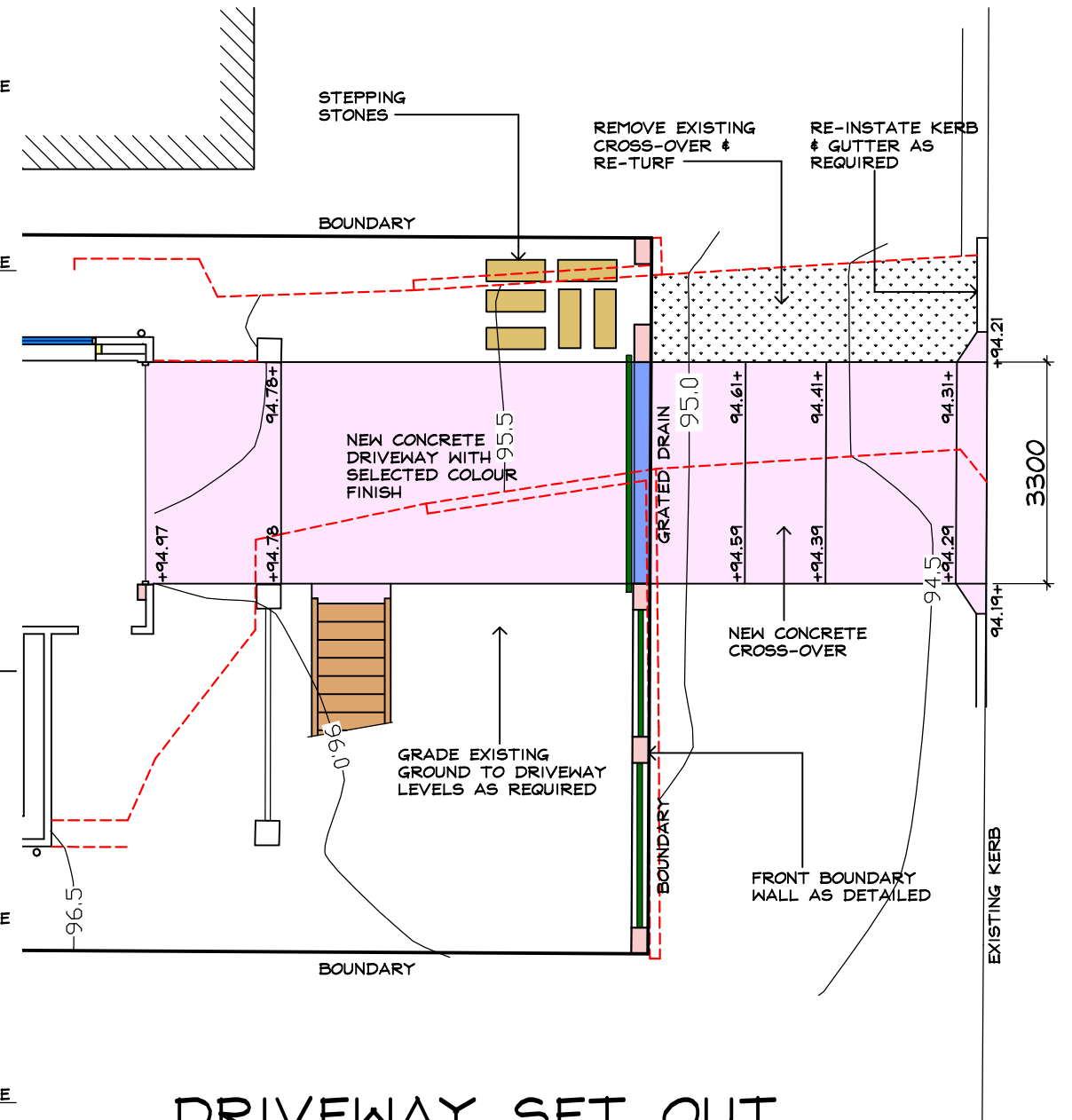
Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
FOR **ARENA FAMILY**



**LONGITUDINAL SECTION
ON SOUTHERN EDGE**



**LONGITUDINAL SECTION
ON NORTHERN EDGE**



**DRIVEWAY SET OUT
PLAN**

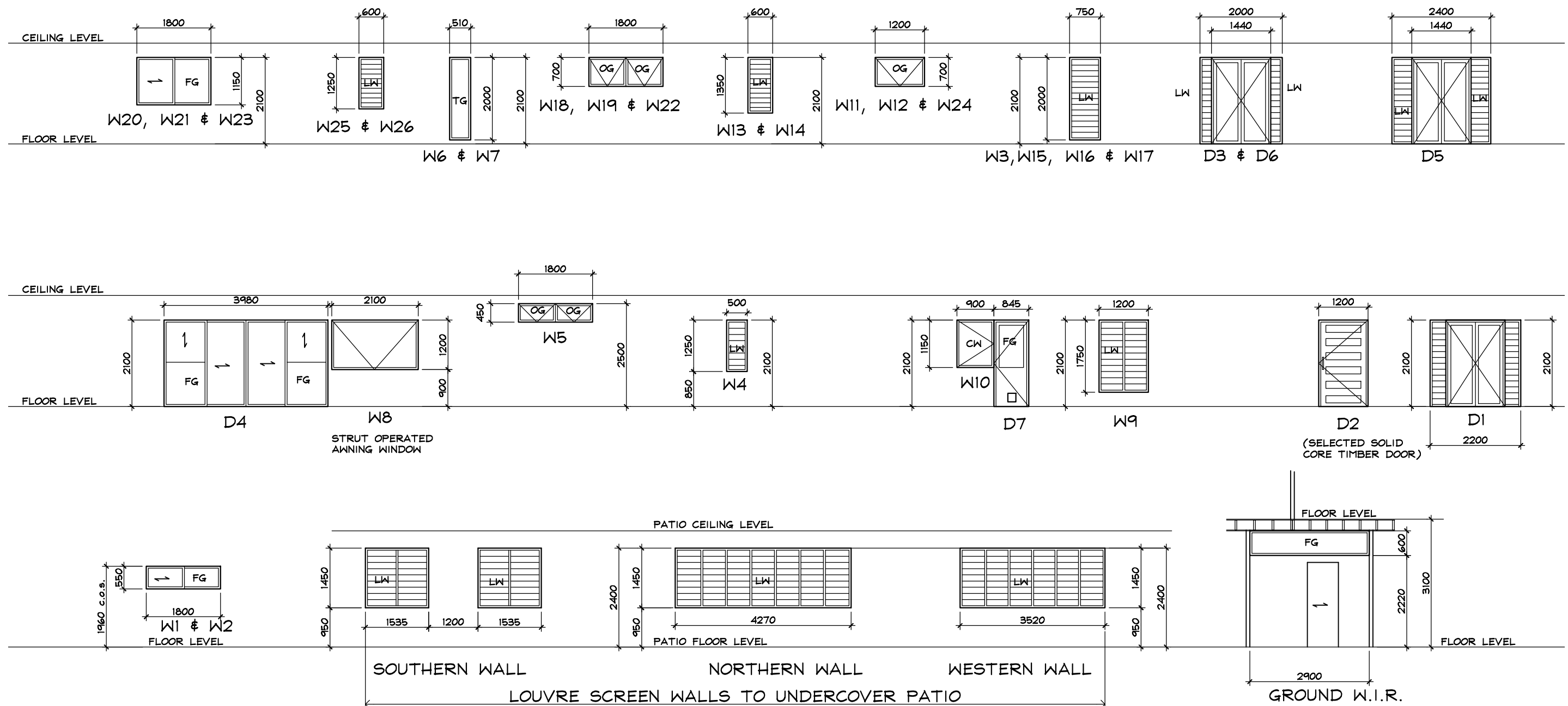
NOTE:-
DRIVEWAY & CROSS-OVER HAS BEEN DESIGNED TO BE IN ACCORDANCE WITH THE COUNCIL'S EXTRA HIGH STANDARD VEHICLE CROSSING PROFILE A4 - 3330/4

NOTE:-
DRIVEWAY CROSS-OVER TO BE IN ACCORDANCE WITH THE COUNCIL'S SPECIFICATION AND AUSTRALIAN STANDARD AS1428.1:2001-DESIGN FOR ACCESS AND MOBILITY.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0335

**DEVELOPEMENT APPLICATION
ISSUE**



northern beaches council

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DA2019/0335

WINDOW & DOOR SCHEDULE

NOTE:- DIMENSIONS SHOWN ARE STUD OPENING SIZE & VIEWED FROM THE OUTSIDE
SIZES TO BE VERIFIED PRIOR TO ORDER AND SUPPLIED WITH FLYSCREENS EXCEPT UNDERCOVER PATIO
ALL GLAZING TO WINDOWS AND DOORS TO BE IN ACCORDANCE WITH THE BASIX REPORT.
ALL WINDOWS AND DOORS TO BE ALUMINUM FRAMED EXCEPT DOOR D2.

DEVELOPEMENT APPLICATION

ISSUE

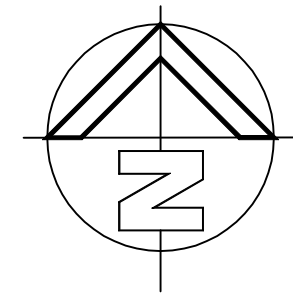
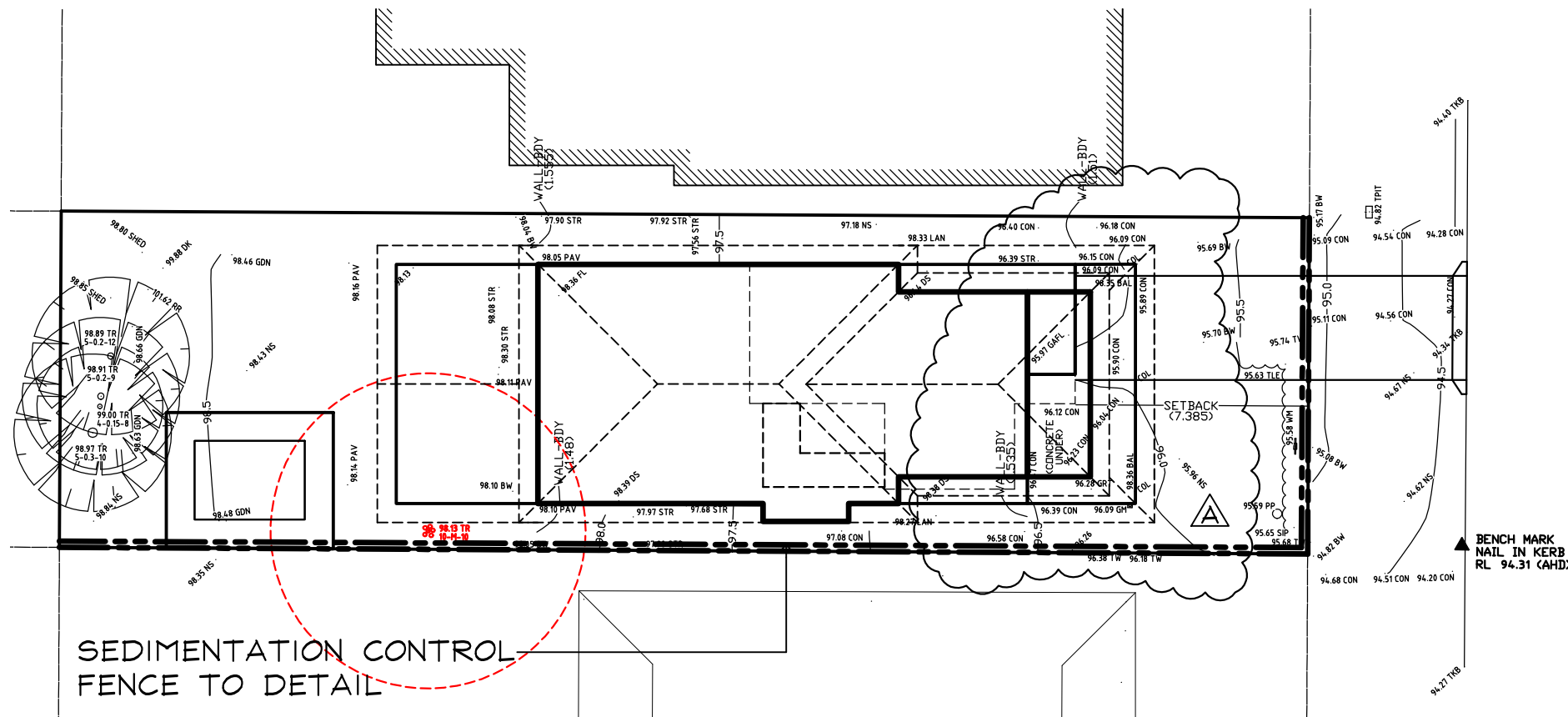
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PHONE (02) 9944-0830
A.C.N. 002079192

Date JAN. 2019
Drawn **HENK.**
Scale 1:100
Job No. 181201-9

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Project **PROPOSED ADDITIONS & ATERAIONS**
84 HILMA STREET COLLAROY PLATEAU
FOR **ARENA FAMILY**

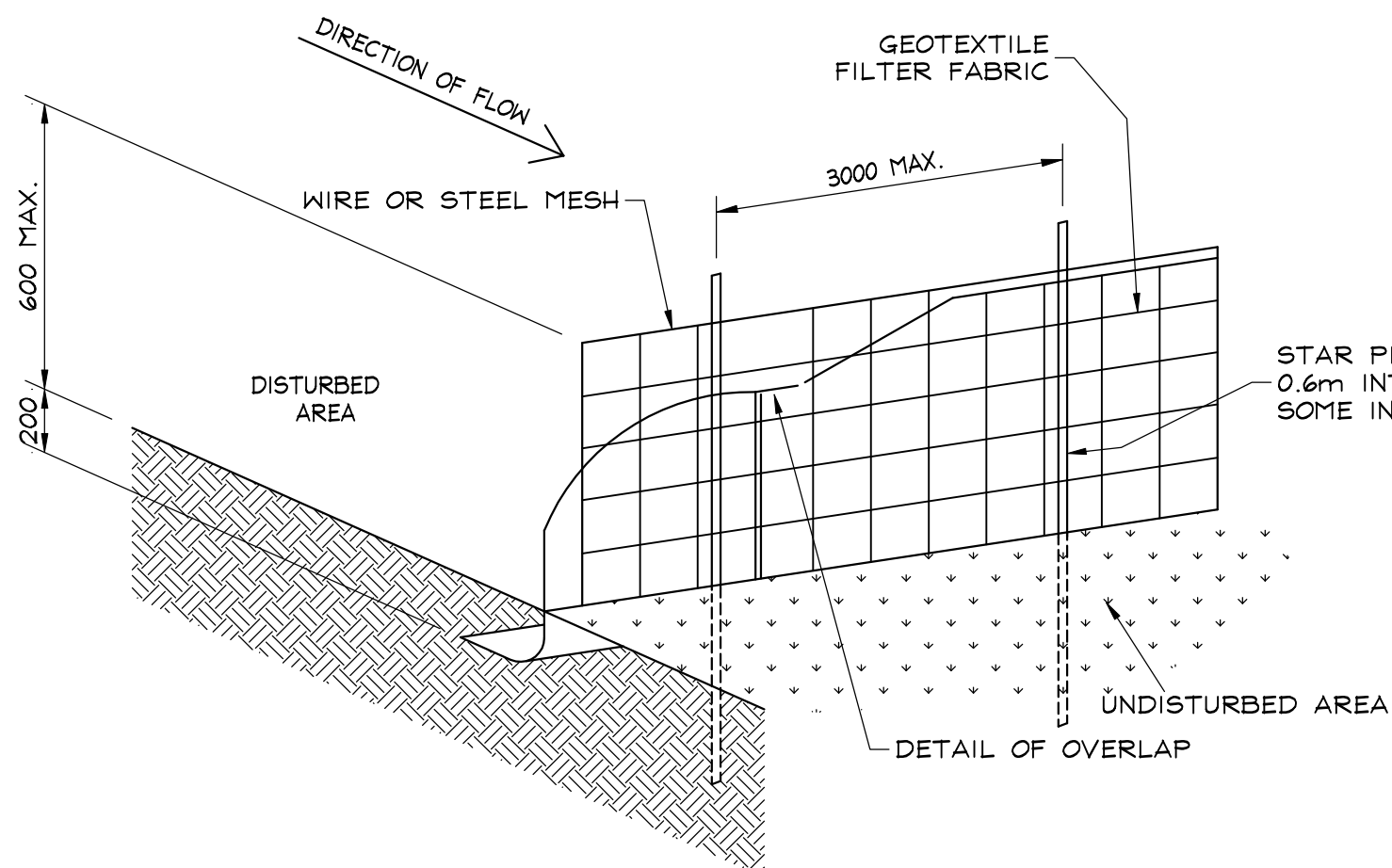


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DA2019/0335

SEDIMENTATION CONTROL FENCE PLAN



SEDIMENTATION CONTROL FENCE DETAIL

SCALE = N.T.S.

DEVELOPEMENT APPLICATION ISSUE

REVISION A - DATE 19-06-2019
ROOF PROFILE AND RIDGE LEVEL
AMENDED

SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.

**IF IN
DOUBT
ASK**

Prepared by

H&C DESIGN PTY. LTD.

50 FULLER STREET COLLAROY PLATEAU

PHONE (02) 9944-0830

A.C.N. 002079192

Date JAN. 2019

Drawn **HENK.**

Scale 1:200

Job No.181201-10A

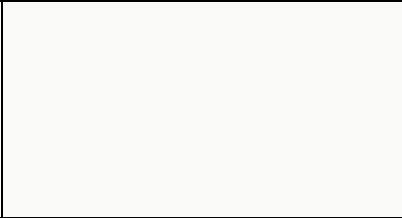
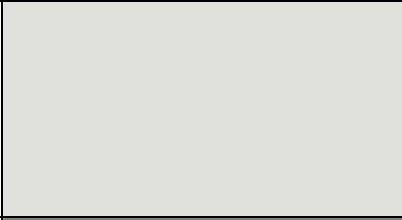
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Project

**PROPOSED ADDITIONS & ATERAIONS
84 HILMA STREET COLLAROY PLATEAU
ARENA FAMILY**

FOR

84 Hilma Street, Collaroy Plateau		
Area	Material	Sample
Garage Door	Colourbond - Surfmist	
Balustrading	Painted Timber – Dulux Vivid White	
Cladding	Painted – Dulux Terrace White	
Roof	Colour Bond – Windspray	
Front Fence	Sandstone Blocks	



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DA2019/0335