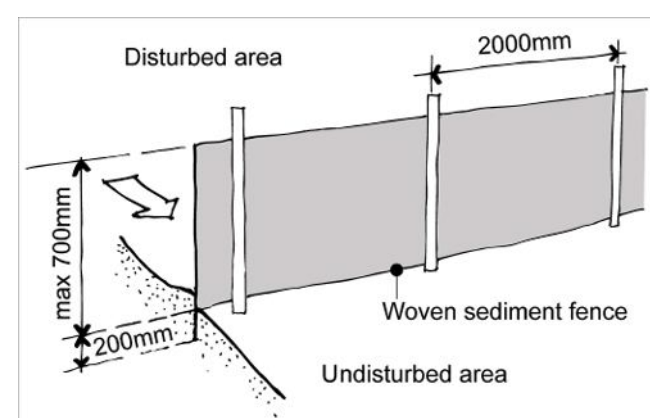


1:100@A1 1:200@A3. Do not scale off plan

4.55 - additional landscape area

| AREA CALCULATION           |           |            |
|----------------------------|-----------|------------|
|                            |           |            |
|                            | AREA (m2) | PERCENTAGE |
| Site                       | 1878,00   |            |
|                            |           |            |
| Landscape total as per DCP | 652,55    | 34,75%     |



Sedimentation Control Fence  
Not to scale.

Source: [www.yourhome.gov.au](http://www.yourhome.gov.au)

Green shaded area  
indicates compliant  
landscape area

Yellow dashed line indicates sedimentation control fence to be implemented throughout construction to appropriate standard

Red dashed line indicates existing structure to be demolished

See Detail Plan Sht-105

See Detail Plan Sht-104

Boundary 34.225m

### Legend

- |  |                         |
|--|-------------------------|
|  | MULCH AREA              |
|  | TURF AREA               |
|  | TIMBER DECKING          |
|  | CONCRETE PAVING         |
|  | UNIT PAVING             |
|  | STAIRS                  |
|  | PEBBLE                  |
|  | GRAVEL                  |
|  | COBBLESTONE             |
|  | TIMBER                  |
|  | WATER                   |
|  | MASONRY RETAINING WALL  |
|  | STONE RETAINING WALL    |
|  | TIMBER RETAINING WALL   |
|  | BOULDER RETAINING WALL  |
|  | SITE OR WORKS BOUNDARY  |
|  | PROPOSED LEVEL          |
|  | TOP OF WALL LEVEL       |
|  | MATERIAL NAME           |
|  | SURFACE FALL DIRECTION  |
|  | SURFACE DRAINS          |
|  | SURVEY (50% GREY LINES) |
|  | EXISTING TREE TO RETAIN |
|  | EXISTING TREE TO REMOVE |
|  | EXISTING ROCK OUTCROP   |

#### 4.55 ITEMS IN RED

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|   |          |                        |                                                                                                                                                                                                                                                                                                                                   |  |  |
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| E | 07/03/22 | Issue E for DA         |                                                                                                                                                                                                                                                                                                                                   |  |  |
| D | 16/12/21 | Issue D for DA         |                                                                                                                                                                                                                                                                                                                                   |  |  |
| C | 01/11/21 | Issue C for DA         |                                                                                                                                                                                                                                                                                                                                   |  |  |
| B | 27/01/21 | Issue B                |                                                                                                                                                                                                                                                                                                                                   |  |  |
| A | 18/03/20 | DRAFT issue for review |                                                                                                                                                                                                                                                                                                                                   |  |  |

| ISSUE   | DATE                         | REVISION |  |           |             |
|---------|------------------------------|----------|--|-----------|-------------|
| PROJECT | 282 Barrenjoey Road, Newport |          |  | PROJECT # | 2063        |
| CLIENT  | Robert Albers                |          |  | DATE #    | See above   |
|         |                              |          |  | SCALE @#1 | See Plan    |
| DWG     | Areas and Demolition Plan    |          |  | DRAWN     | SA          |
|         |                              |          |  | CHKD      | JK REVISION |

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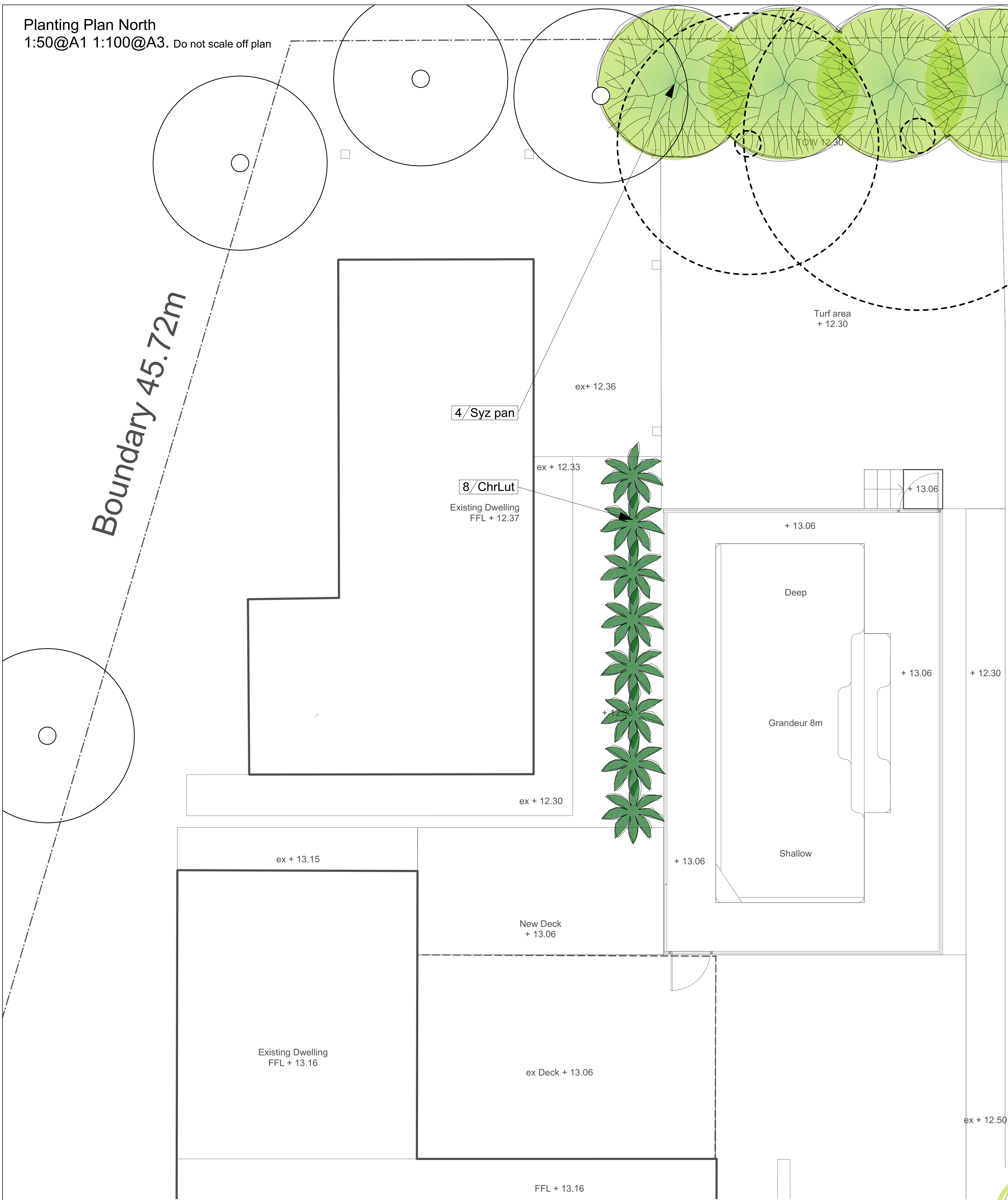
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Boundary 45.72m



Remove coral trees

Turf area  
+ 12.30

ex+ 12.36

4/Syz pan

ex + 12.33

8/ChrLut

Existing Dwelling  
FFL + 12.37

+ 13.06

+ 13.06

Deep

+ 13.06

+ 12.30

Grandeur 8m

+ 13.06

Shallow

ex + 12.30

ex + 13.15

New Deck  
+ 13.06

Existing Dwelling  
FFL + 13.16

ex Deck + 13.06

FFL + 13.16

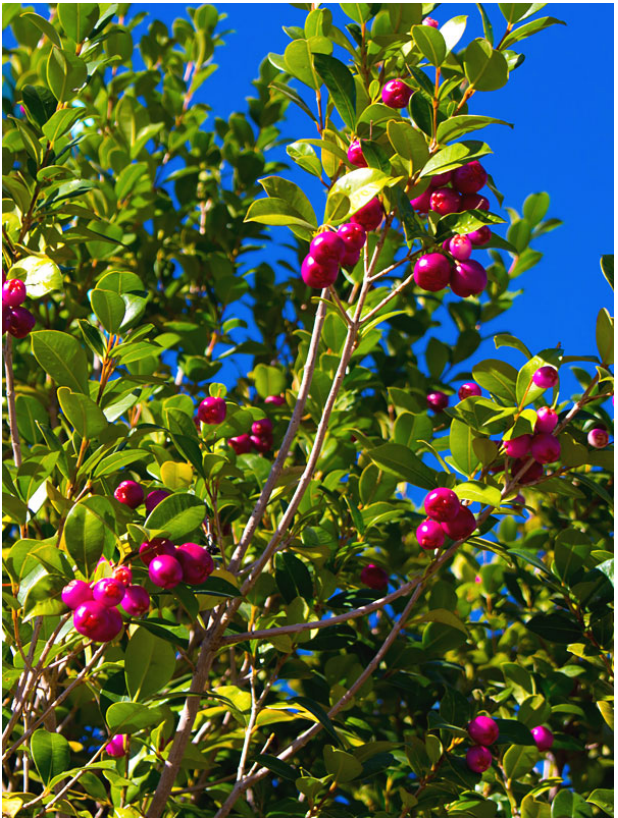
ex + 12.50

4.55 - no change

| ID      | Quantity | Latin Name                 | Common Name        | Scheduled Size | Mature Height | Mature Spread |
|---------|----------|----------------------------|--------------------|----------------|---------------|---------------|
| ChrLut  | 8        | Chrysalidocarpus lutescens | Golden Cane Palm   | 25lt           | 5 - 10m       | 3.5 - 6m      |
| Syz pan | 4        | Syzygium paniculatum       | Magenta Lillypilly | 25lt           | Max. 15m      | 6 - 10m       |



CHRYSLIDOCARPUS



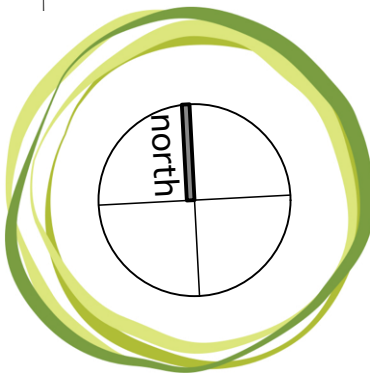
SYZYGium

4.55 ITEMS IN RED

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|   |          |                        |
|---|----------|------------------------|
| F | 14/06/22 | Issue F for 4.55       |
| E | 07/03/22 | Issue E for DA         |
| D | 16/12/21 | Issue D for DA         |
| C | 01/11/21 | Issue C for DA         |
| B | 27/01/21 | Issue B                |
| A | 18/03/20 | DRAFT issue for review |

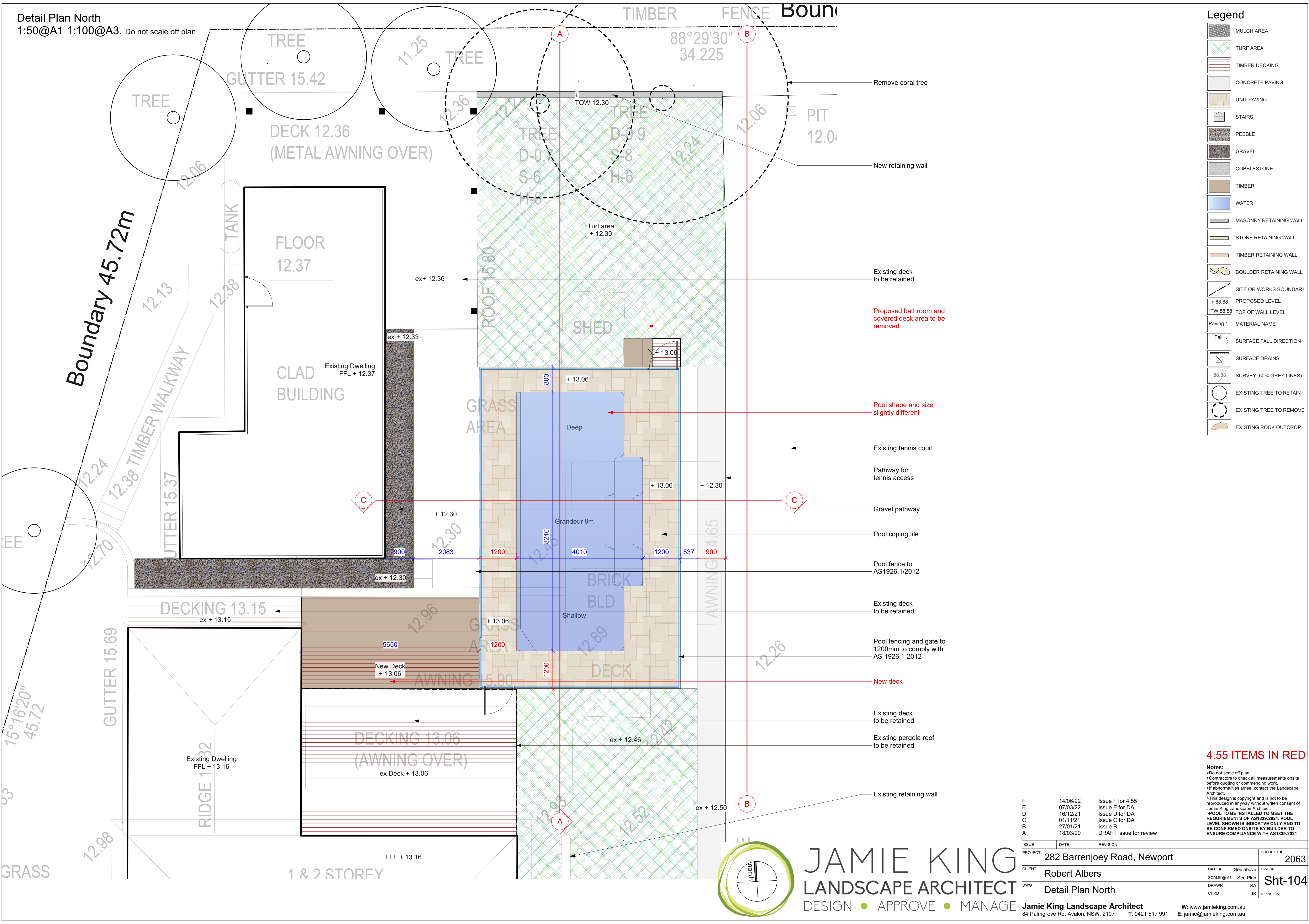
| ISSUE   | DATE                         | REVISION                                | PROJECT #     |
|---------|------------------------------|-----------------------------------------|---------------|
| PROJECT | 282 Barrenjoey Road, Newport |                                         | 2063          |
| CLIENT  | Robert Albers                | DATE # See above<br>SCALE @ A1 See Plan | DWG # Sht-103 |
| DWG     | Planting Plan North          | DRAWN SA<br>CHKD JK                     | REVISION      |



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Detail Plan North  
1:50@A1 1:100@A3. Do not scale off plan



Legend

- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

4.55 ITEMS IN RED

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| D | 16/12/21 | Issue D for DA         |
| C | 01/11/21 | Issue C for DA         |
| B | 27/01/21 | Issue B                |
| A | 18/03/20 | DRAFT issue for review |

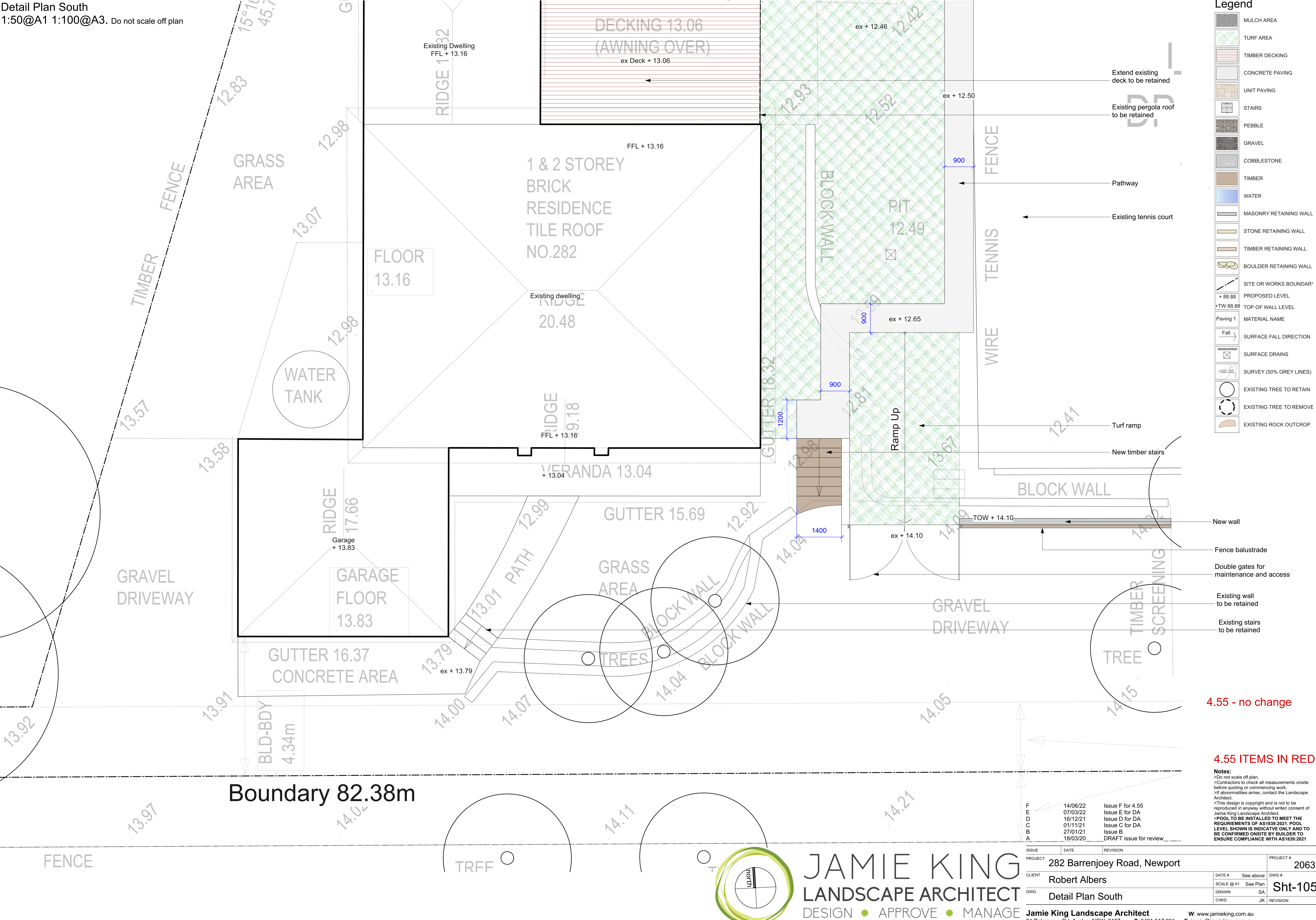
| ISSUE   | DATE                         | REVISION                                | PROJECT #     |
|---------|------------------------------|-----------------------------------------|---------------|
| PROJECT | 282 Barrenjoey Road, Newport |                                         | 2063          |
| CLIENT  | Robert Albers                | DATE # See above<br>SCALE @ A1 See Plan | DWG # Sht-104 |
| DWG     | Detail Plan North            | DRAWN SA<br>CHKD JK                     | REVISION      |

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Detail Plan South  
1:50@A1 1:100@A3. Do not scale off plan

Legend

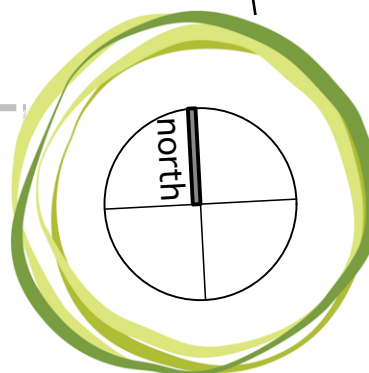
- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
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- EXISTING ROCK OUTCROP



4.55 - no change

4.55 ITEMS IN RED

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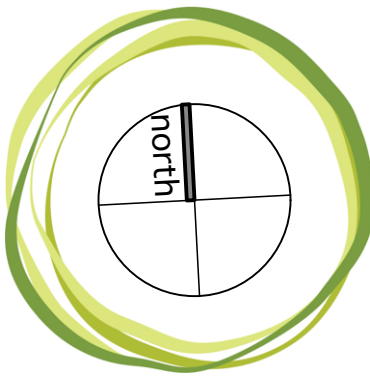
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| B | 27/01/21 | Issue B                |
| A | 18/03/20 | DRAFT issue for review |

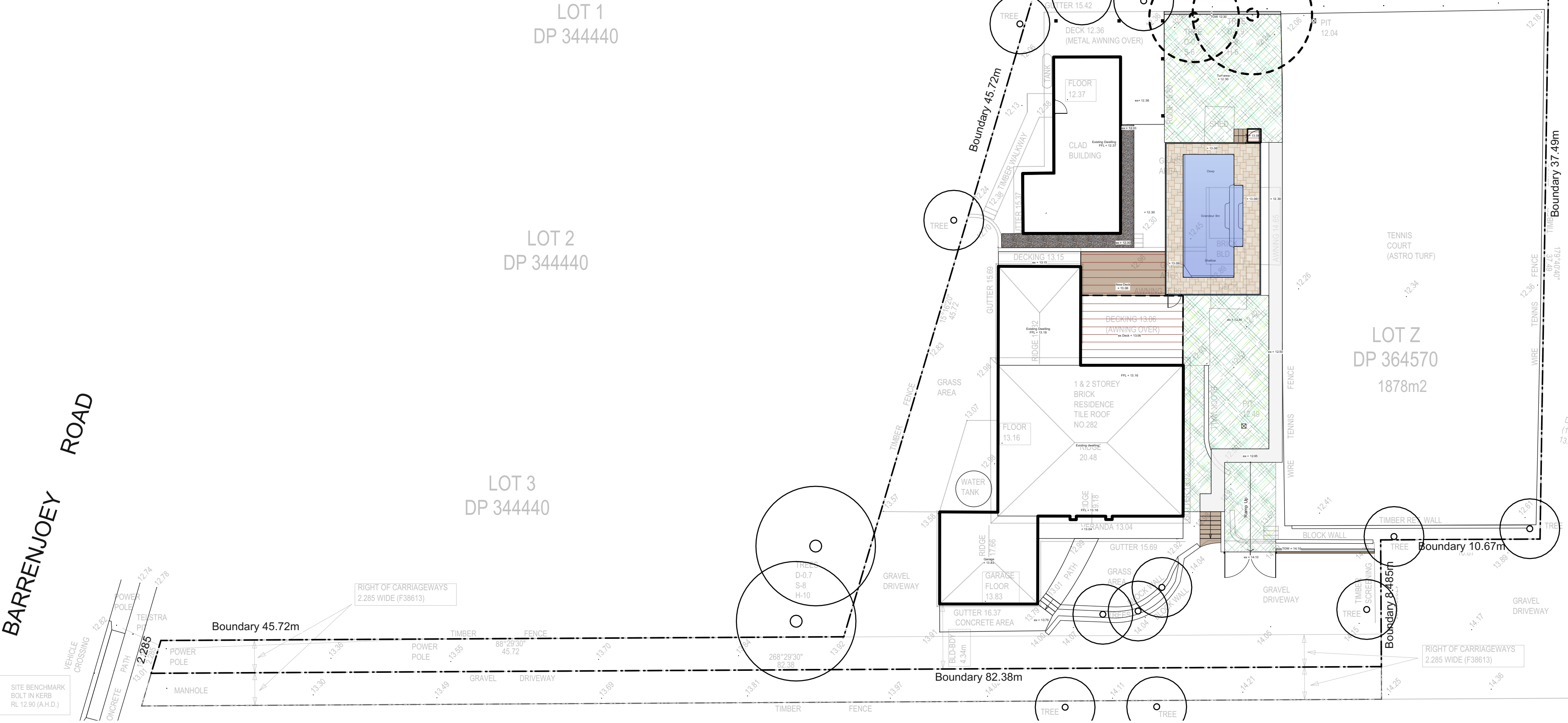
| ISSUE   | DATE                         | REVISION                                | PROJECT #     |
|---------|------------------------------|-----------------------------------------|---------------|
| PROJECT | 282 Barrenjoey Road, Newport |                                         | 2063          |
| CLIENT  | Robert Albers                | DATE # See above<br>SCALE @ A1 See Plan | DWG # Sht-107 |
| DWG     | Inspiration Photos           | DRAWN SA<br>CHKD JK                     | REVISION      |

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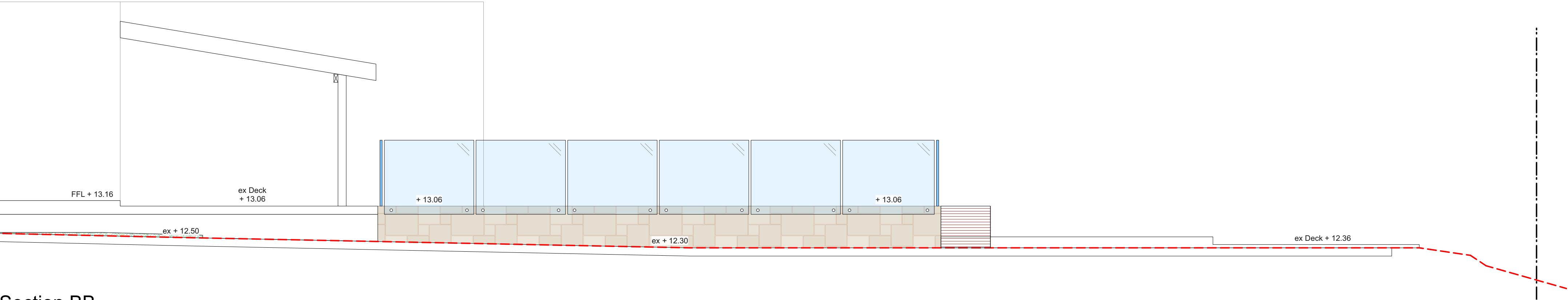
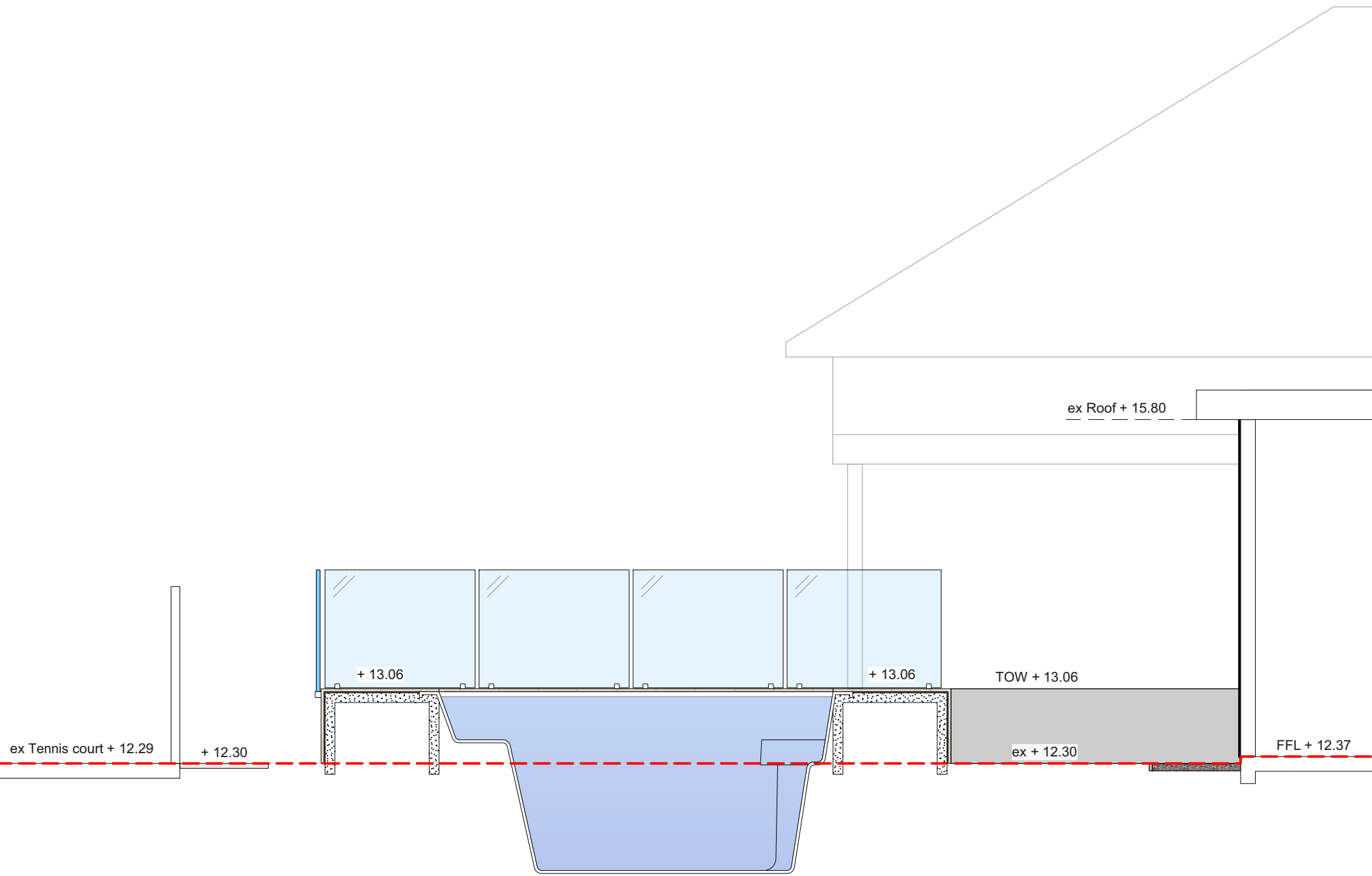


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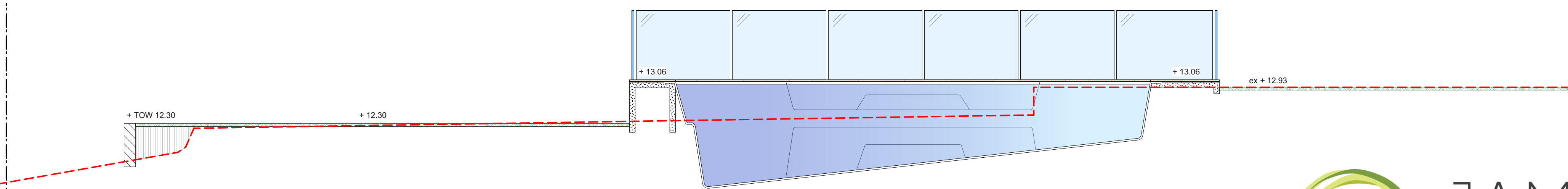
Notification Plan  
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Section CC  
1:50@A1 1:100@A3. Do not scale off plan



Section BB  
1:50@A1 1:100@A3. Do not scale off plan



Section AA  
1:50@A1 1:100@A3. Do not scale off plan

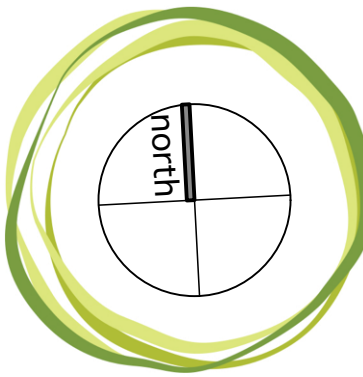
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| B | 27/01/21 | Issue B                |
| A | 18/03/20 | DRAFT issue for review |

| ISSUE   | DATE                         | REVISION                                | PROJECT #     |
|---------|------------------------------|-----------------------------------------|---------------|
| PROJECT | 282 Barrenjoey Road, Newport |                                         | 2063          |
| CLIENT  | Robert Albers                | DATE # See above<br>SCALE @ A1 See Plan | DWG # Sht-201 |
| DWG     | Notification Plan            | DRAWN SA<br>CHKD JK                     | REVISION      |

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