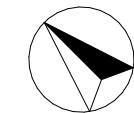


DEVELOPMENT APPLICATION

15 RHONDA AVENUE - FRENCHS FOREST



ARTIST IMPRESSION ONLY



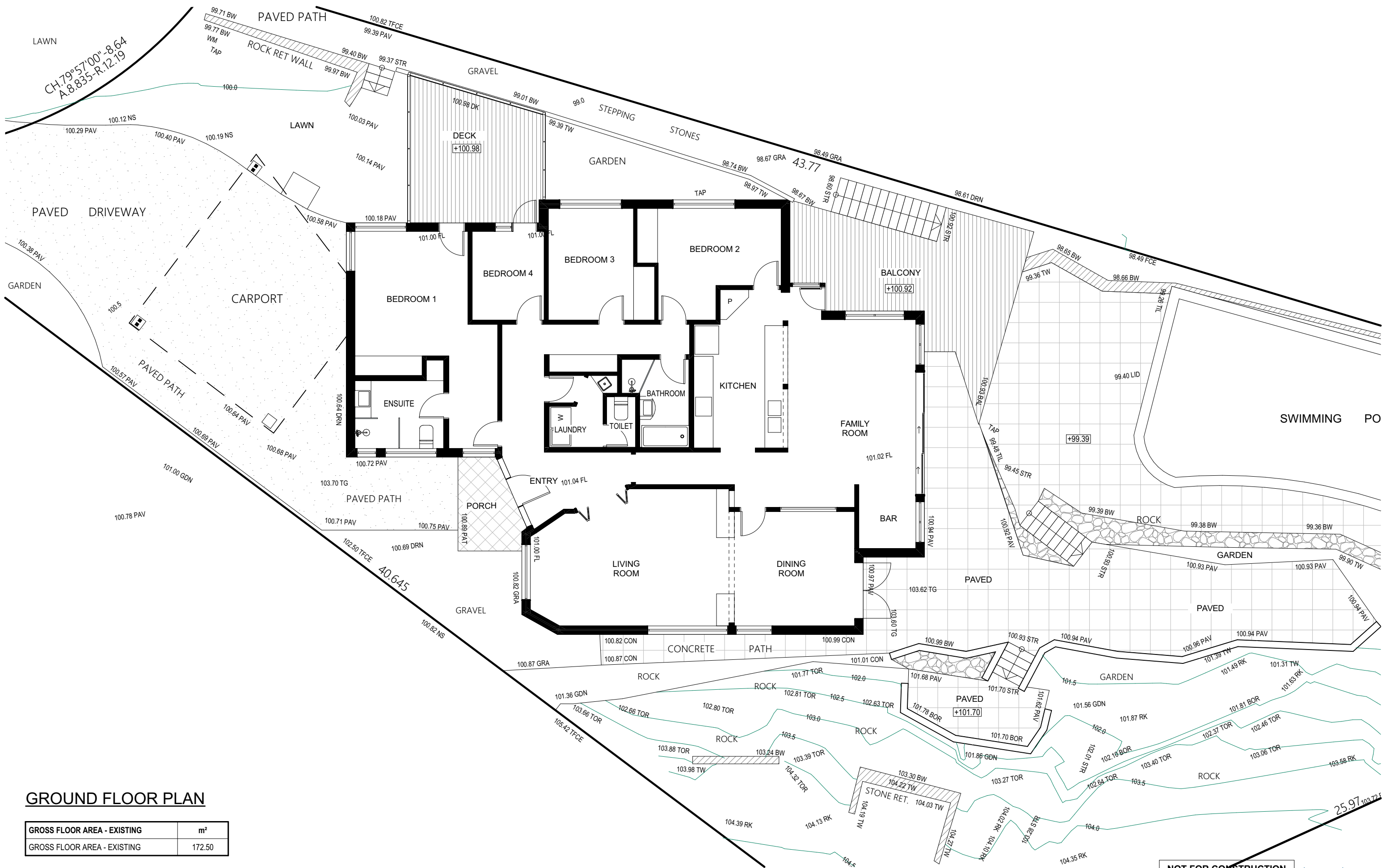
CONTENTS

PAGE	DRAWING TITLE
DA.00	COVER PAGE
DA.01	SITE ANALYSIS PLAN
DA.02	EXISTING SUB FLOOR
DA.03	EXISTING GROUND FLOOR PLAN
DA.04	EXISTING ELEVATIONS SHEET 1
DA.05	EXISTING ELEVATIONS SHEET 2
DA.06	SUB-FLOOR
DA.07	GROUND FLOOR PLAN
DA.08	PROPOSED FIRST FLOOR PLAN
DA.09	NORTH WEST & NORTH EAST ELEVATIONS
DA.10	SOUTH EAST & SOUTH WEST ELEVATIONS
DA.11	SECTION / SPECIFICATIONS / BASIX
DA.12	LANDSCAPED AREA CALCULATION PLAN
DA.13	ROOF & STORMWATER CONCEPT PLAN
DA.14	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.15	SHADOW DIAGRAM JUNE 21 9:00 am
DA.16	SHADOW DIAGRAM JUNE 21 12 noon
DA.17	SHADOW DIAGRAM JUNE 21 3:00 pm
DA.18	8.5m MAX. BUILDING HEIGHT 'BLANKET'



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GROUND FLOOR PLAN

GROSS FLOOR AREA - EXISTING	m²
GROSS FLOOR AREA - EXISTING	172.50

TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
EXISTING GROUND FLOOR PLAN

JOB No:
1311/24

DRAWN BY:
LB

DATE:
November/24

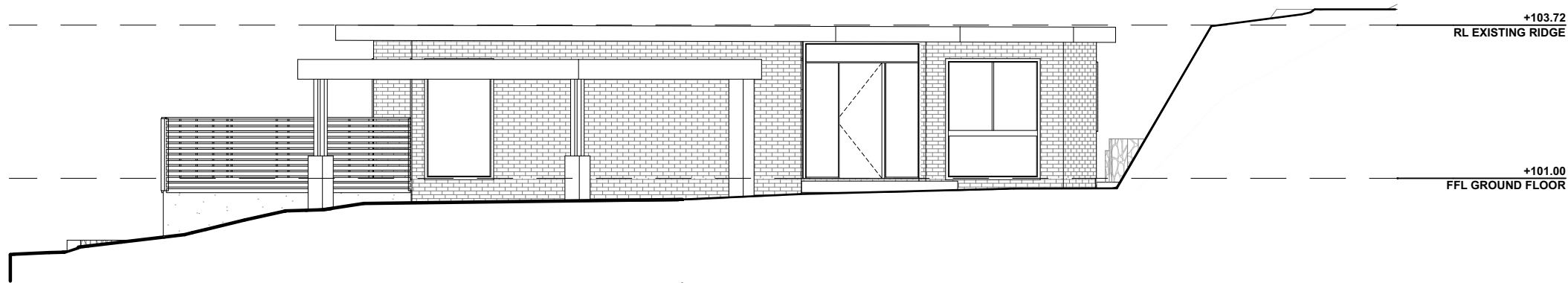
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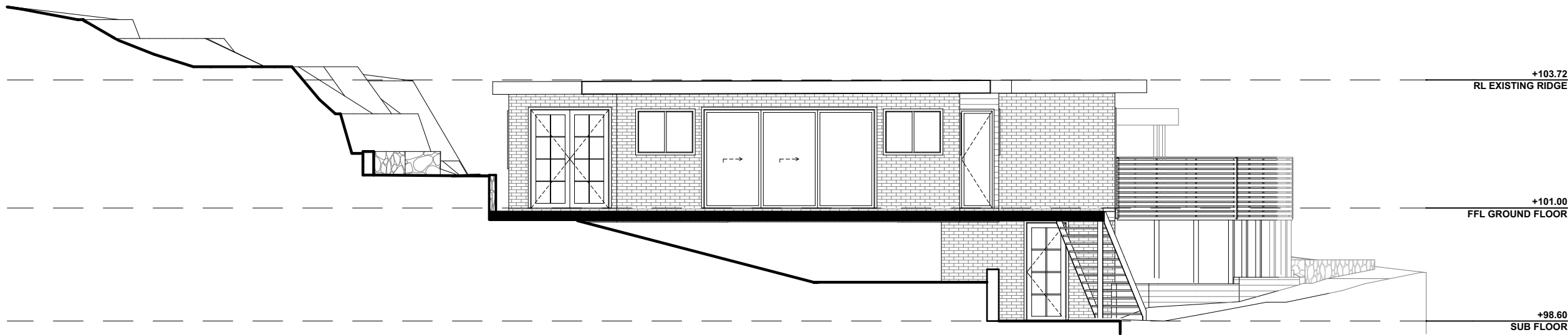
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BUILDING DESIGNER

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NORTH WEST ELEVATION



SOUTH EAST ELEVATION

NOT FOR CONSTRUCTION

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
EXISTING ELEVATIONS SHEET 1

JOB No:
1311/24

DRAWN BY:
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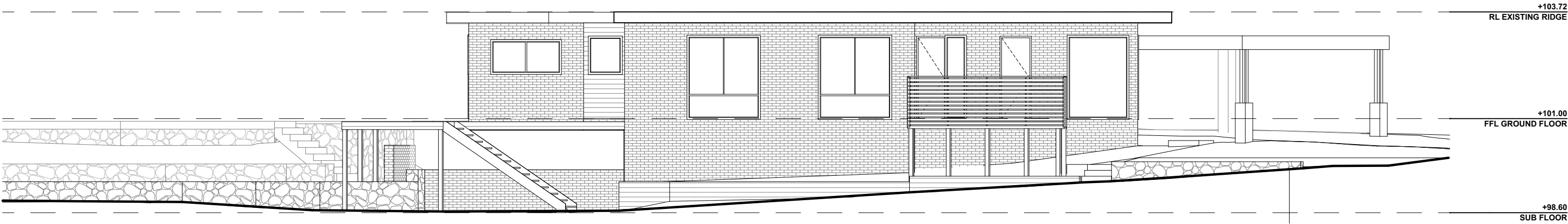
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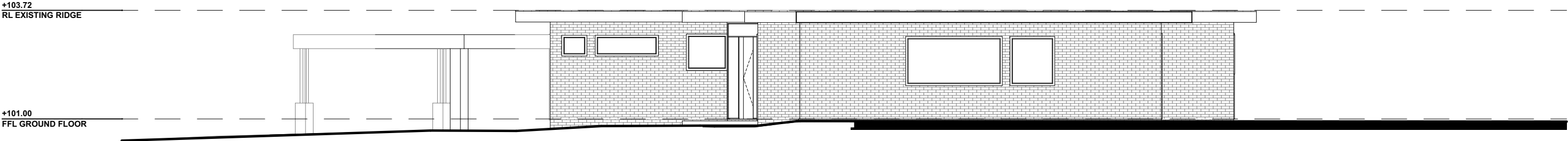
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NORTH EAST ELEVATION



SOUTH WEST ELEVATION

NOT FOR CONSTRUCTION

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
EXISTING ELEVATIONS SHEET 2

JOB No:
1311/24

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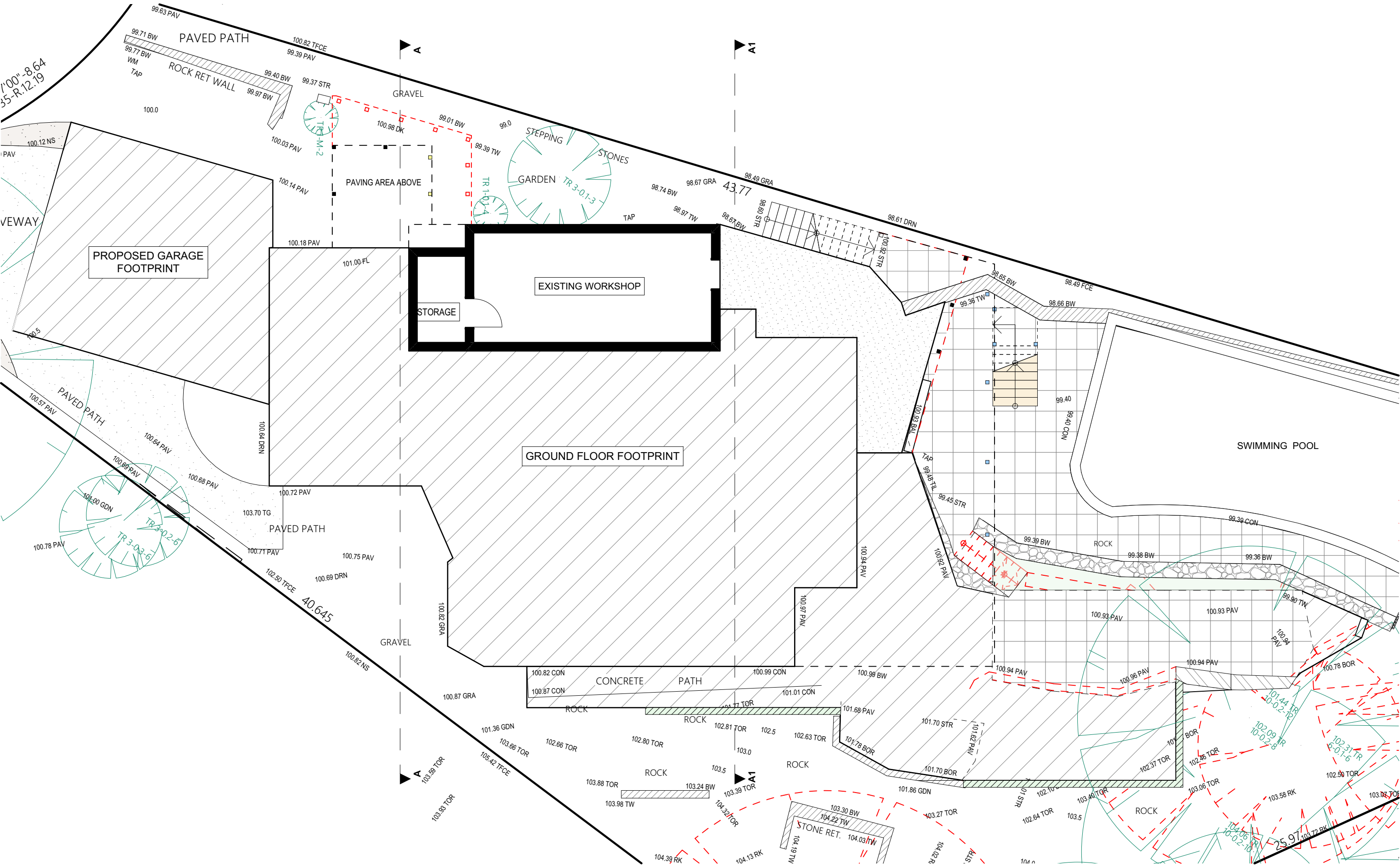
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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
SUB-FLOOR

JOB No:
1311/24

DRAWN BY:
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DATE:
November/24

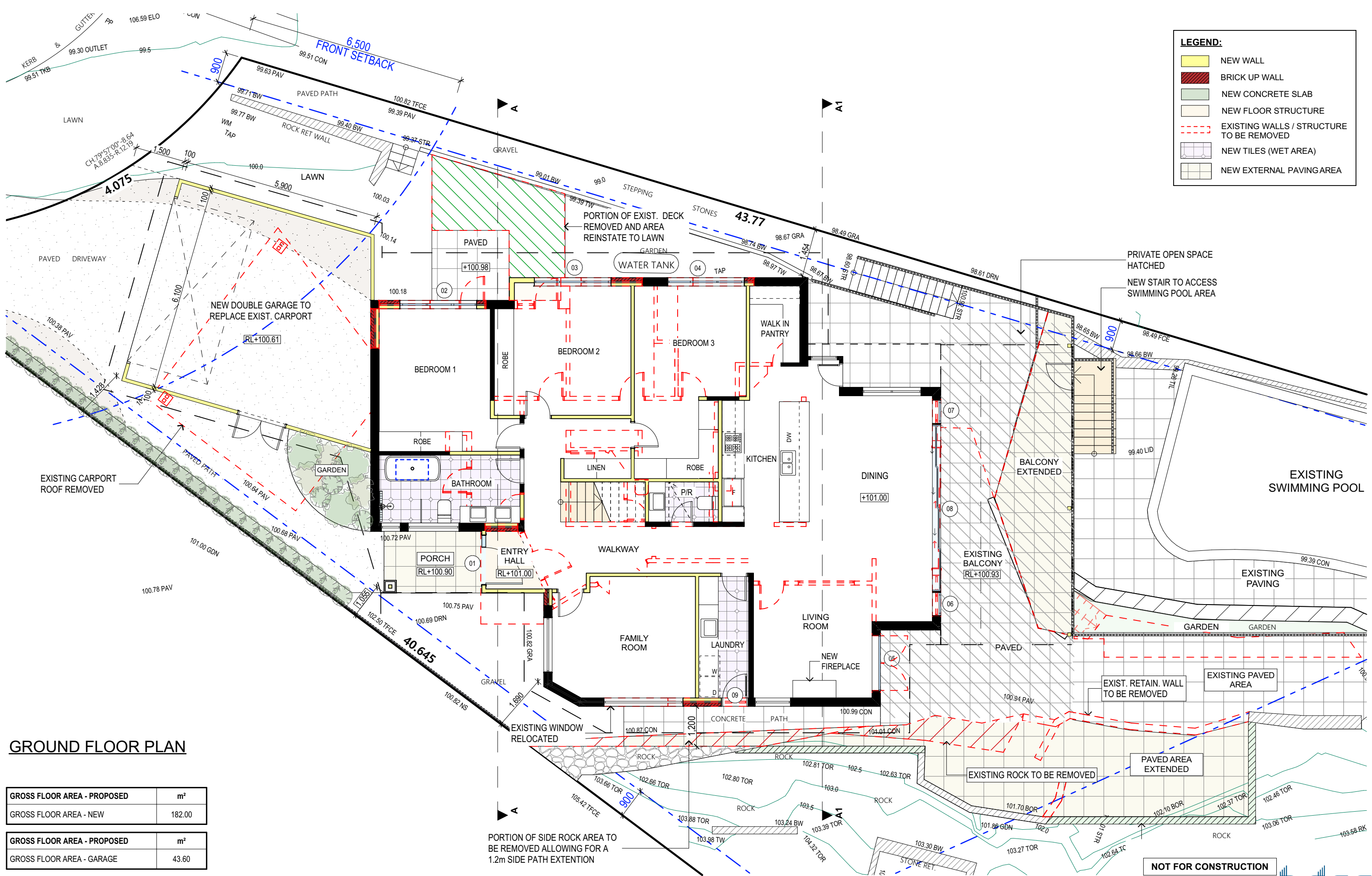
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DA.06

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GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	182.00
GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - GARAGE	43.60

TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
GROUND FLOOR PLAN

JOB No:
1311/24

DRAWN BY:
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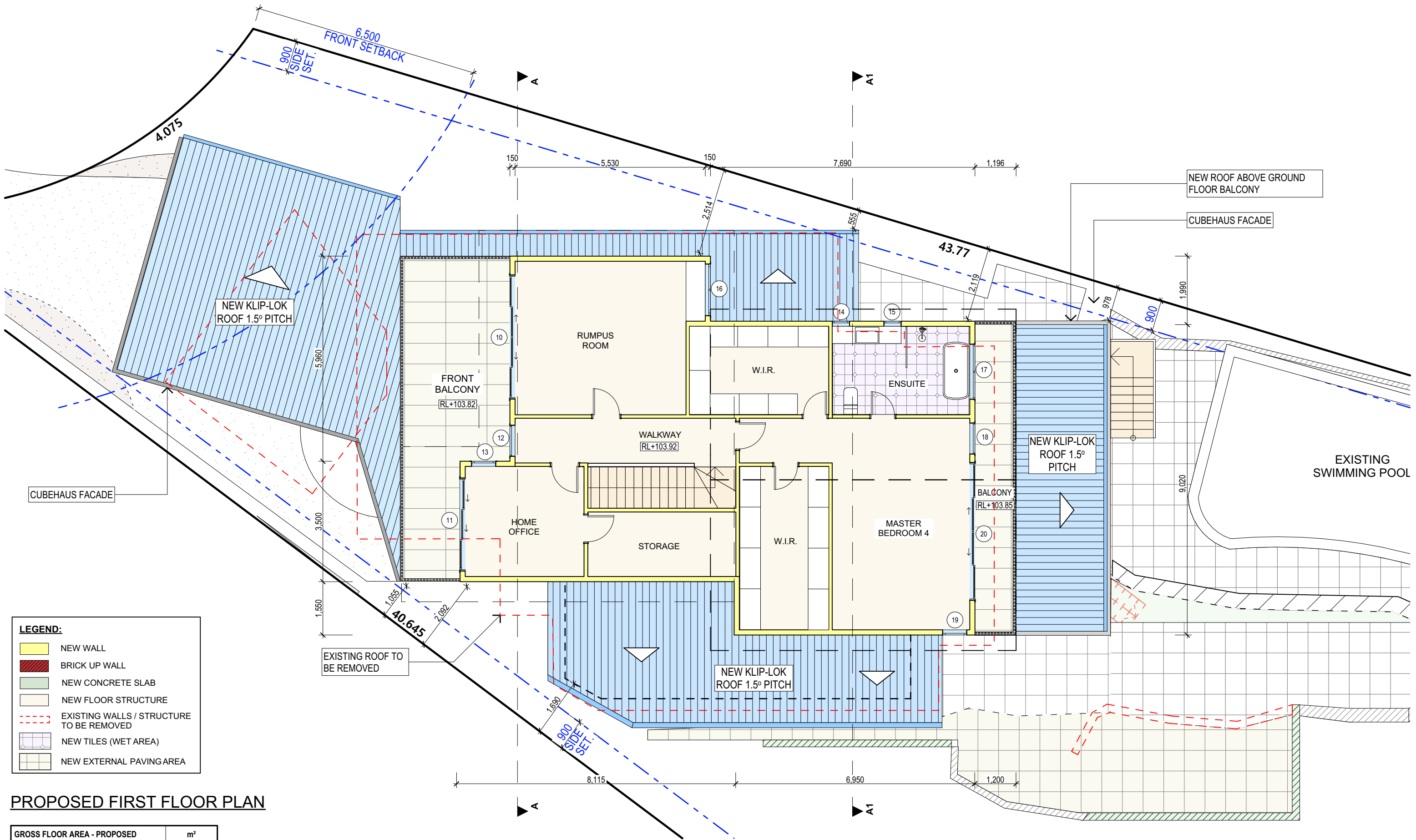
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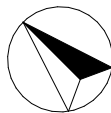
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PROPOSED FIRST FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	128.40

TRUE NORTH:



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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

JOB No:
1311/24

DRAWN BY:
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DATE:
November/24

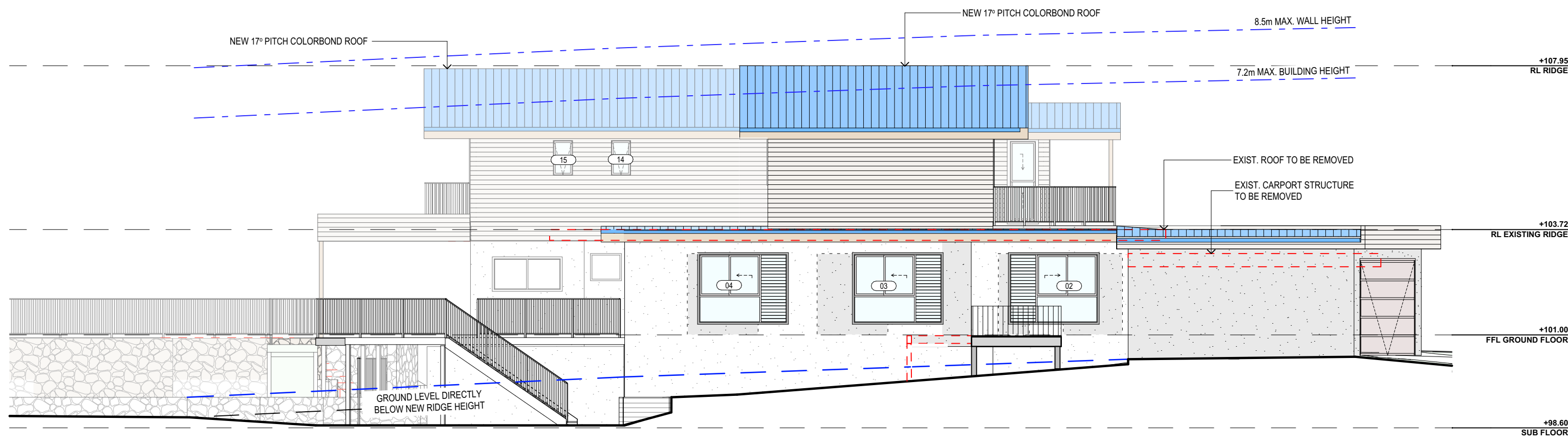
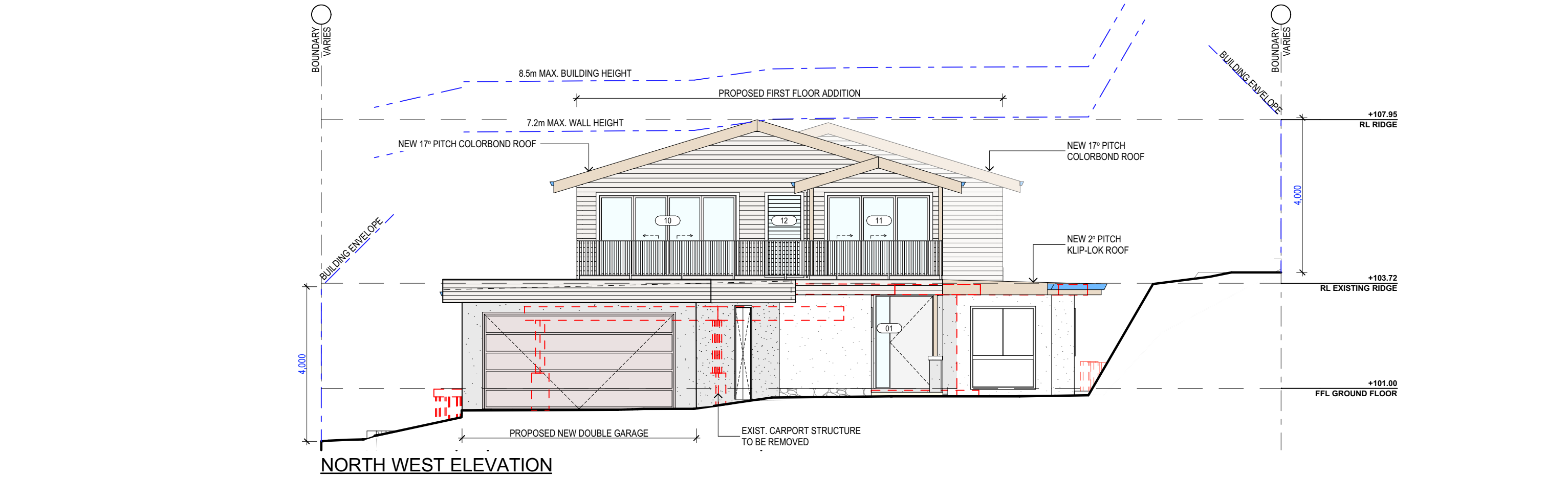
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DA.08

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BUILDING DESIGNER

CHECKED BY:
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NORTH EAST ELEVATION

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PROPOSED ALTERATIONS AND ADDITIONS

15 Rhonda Avenue Frenchs Forest NSW 2086

CLIENT:

Thomas Clay & Ashleigh Clay

DRAWING TITLE:

NORTH WEST & NORTH EAST ELEVATIONS

JOB No:

1311/24

DRAWN BY:

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DATE:

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DRAWING No:

DA.09

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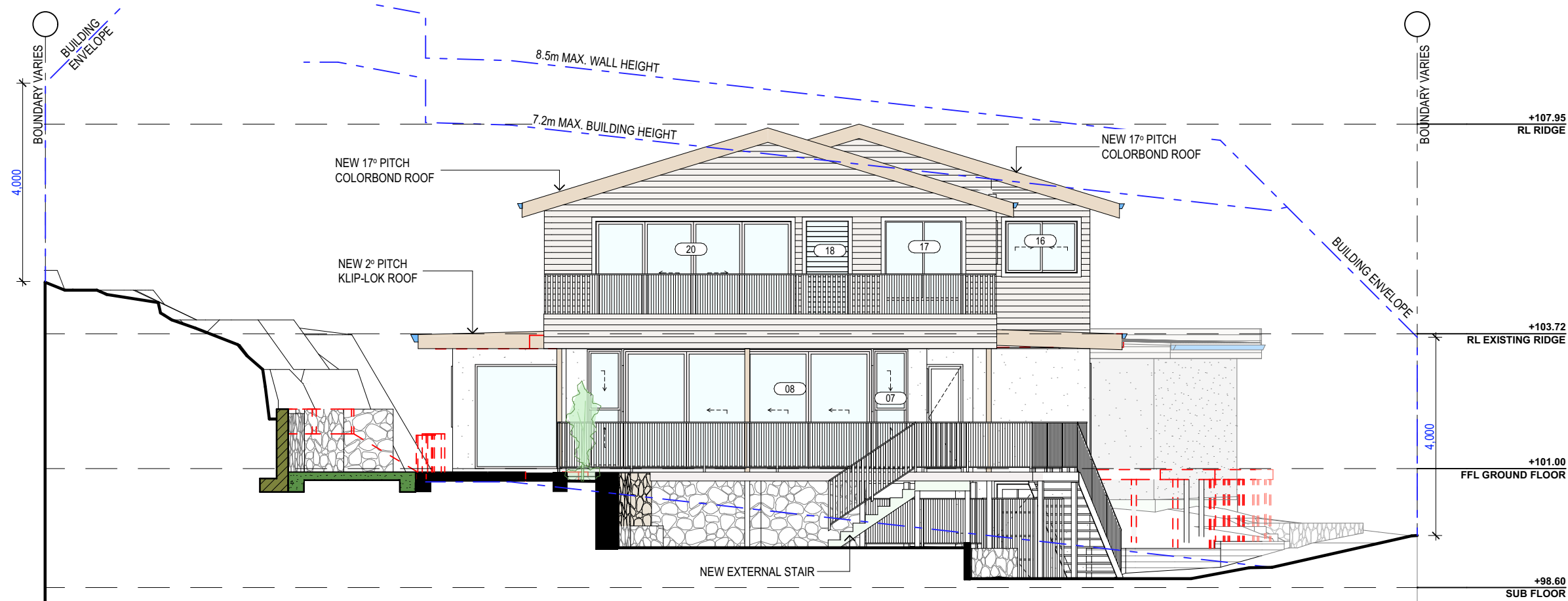
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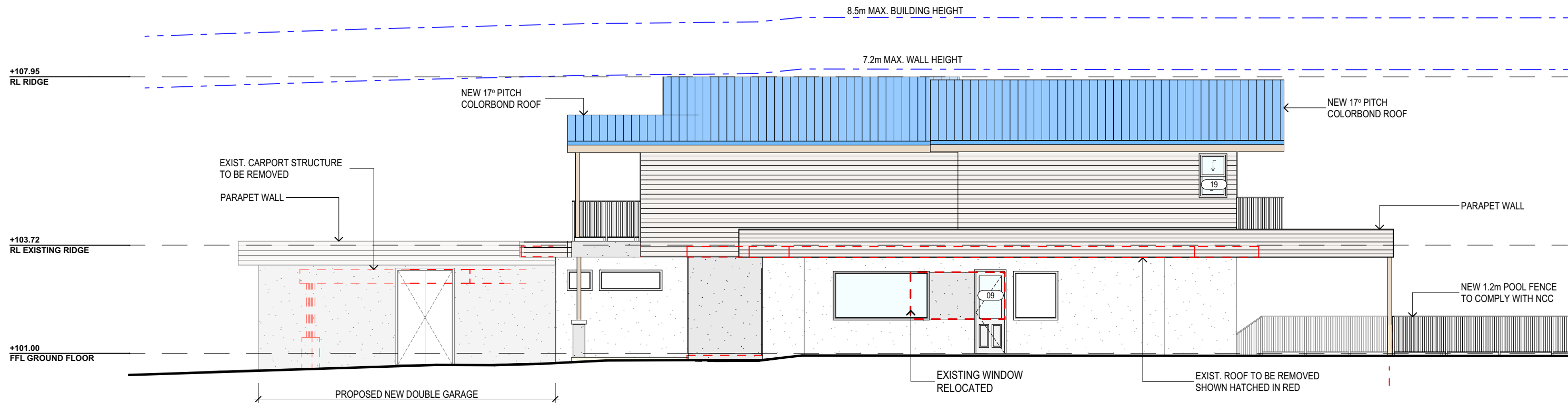
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BUILDING DESIGNER



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
SOUTH EAST & SOUTH WEST ELEVATIONS

JOB No:
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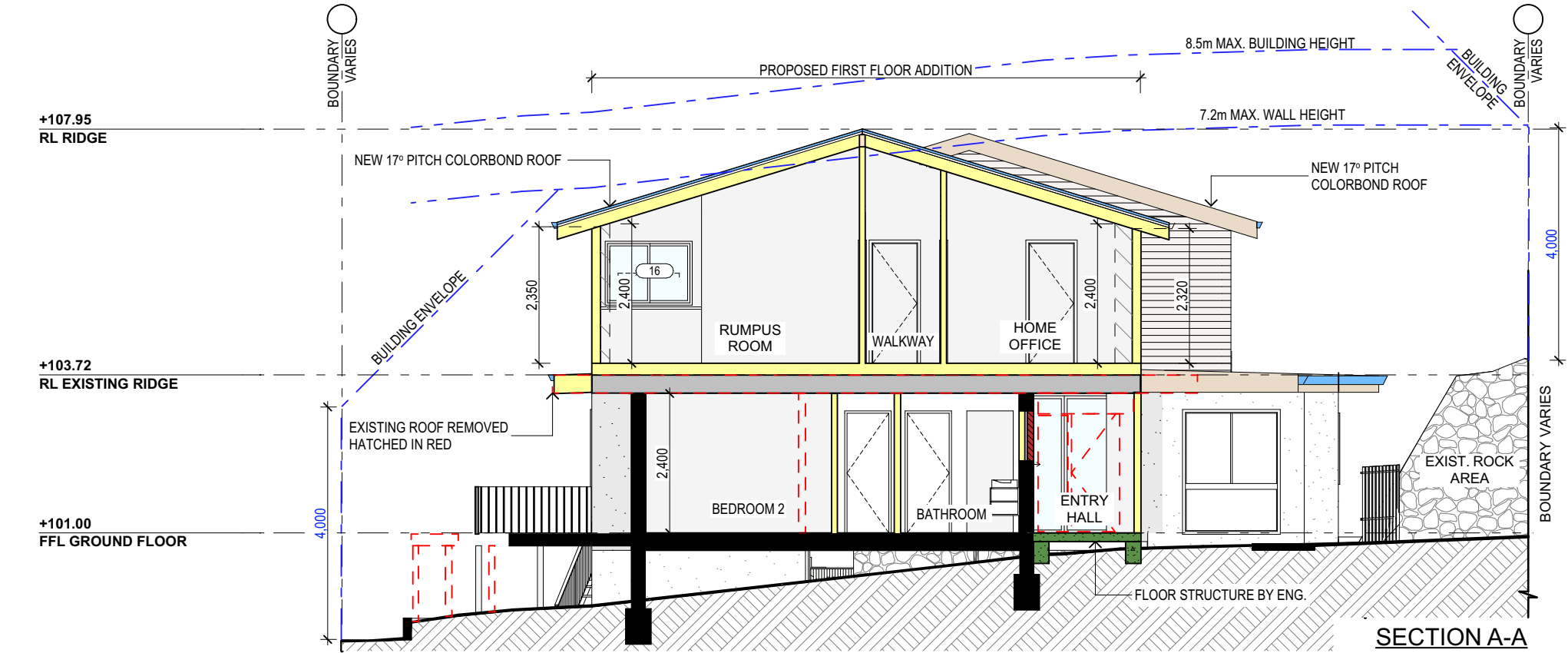
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DA.10

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BUILDING DESIGNER



BASIX REQUIREMENT:

BASIX Inclusions for 15 Rhonda Avenue - Frenchs Forest

LIGHTING REQUIREMENTS

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

WATER

- SHOWER RATING _____ MINIMUM 3 STAR
- TAP RATING _____ MINIMUM 3 STAR
- WC'S RATING _____ MINIMUM 3 STAR

INSULATION REQUIREMENTS

CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
CONCRETE SLAB ON GROUND FLOOR	NIL
SUSPENDED FLOOR ABOVE GARAGE: FRAMED (R0.7)	R 0.60 (OR R 1.30 INCLUDING CONSTRUCTION)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
INTERNAL WALL SHARED WITH GARAGE: CAVITY BRICK WALL	NIL
RAKED CEILING, PITCHED/SKILLION ROOF:FRAMED	Ceiling: R2.24 (up), roof: foil backed blanket (55 mm) Medium solar absorptance 0.475 - 0.70)

GLAZING DOORS / WINDOWS

- STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75) GLAZING No. - 01, 02, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 16, 17, 18, 19, 20
- STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E, (or U-value: 5.70, SHGC: 0.47) GLAZING No. - 03, 04, 15

SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:

- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 H1D7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:

- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8.

FLOOR:

- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:

- NCC 2022 -ABCB HOUSING PROVISIONS PART 7.3.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 4 .2.10.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:

- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS H1D4
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:

- ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE IN ACCORDANCE WITH NCC VOL.2 PART H1D6 . INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- TIMBER FRAMING INSTALLATION TO NCC 2022 - VOL.2 PART HAD6(4), AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC 2022 - ABCB HOUSING PRIVIONS PART 6.2
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:

- ALL STEEL FRAMING TO NCC 2022 - VOL.2 PARTH1D6(3), AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISION PART 3.4

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - VOL.2 PART H2 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:

- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:

- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:

- NCC VOL2 PART H1D8, ABCB HOUSING PROVISIONS PART 8 .3
- ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH AS4654
- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS

FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 & PART 10.7, AS 1530 ALL PARTS.
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM..

SWIMMING POOLS & SAFETY:

- POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 - 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS 1926.2 - 20007 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, AS 1170 STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH AS 1288 - 2021 GLASS IN BUILDINGS, AS/NZS 2208 - SAFETY GLASS,
- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

NOT FOR CONSTRUCTION



NOTES (E & OE)

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- Do not obtain dimensions by scaling drawings.
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*JJ Drafting
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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086

CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
SECTION / SPECIFICATIONS / BASIX

JOB No:

1311/24

DRAWN BY:

LB

DATE:

November/24

SCALE:

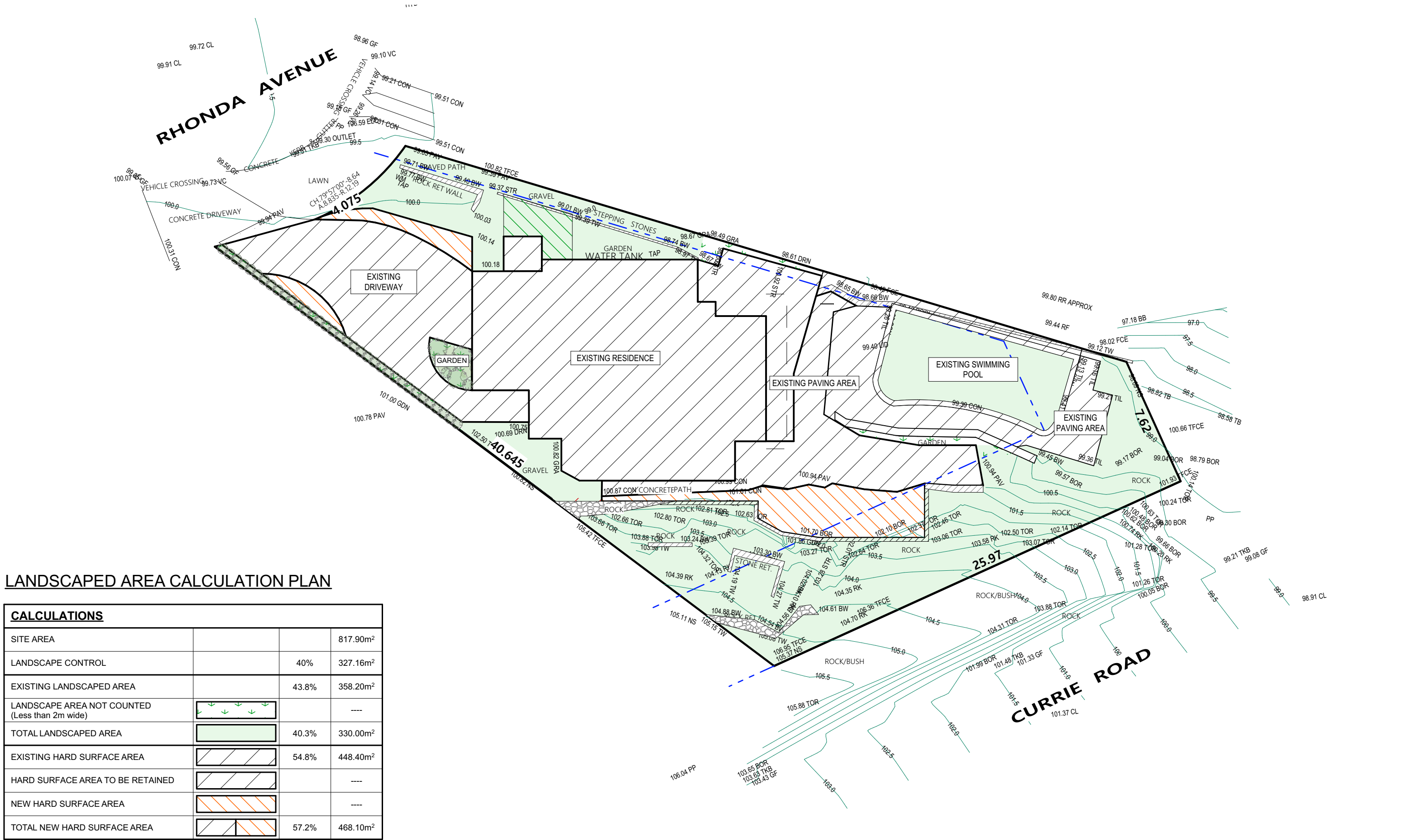
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DRAWING No:

DA.11

CHECKED BY:

JJ



TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT: Thomas Clay & Ashleigh Clay

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

JOB No:
1311/24

DRAWN BY:
LB

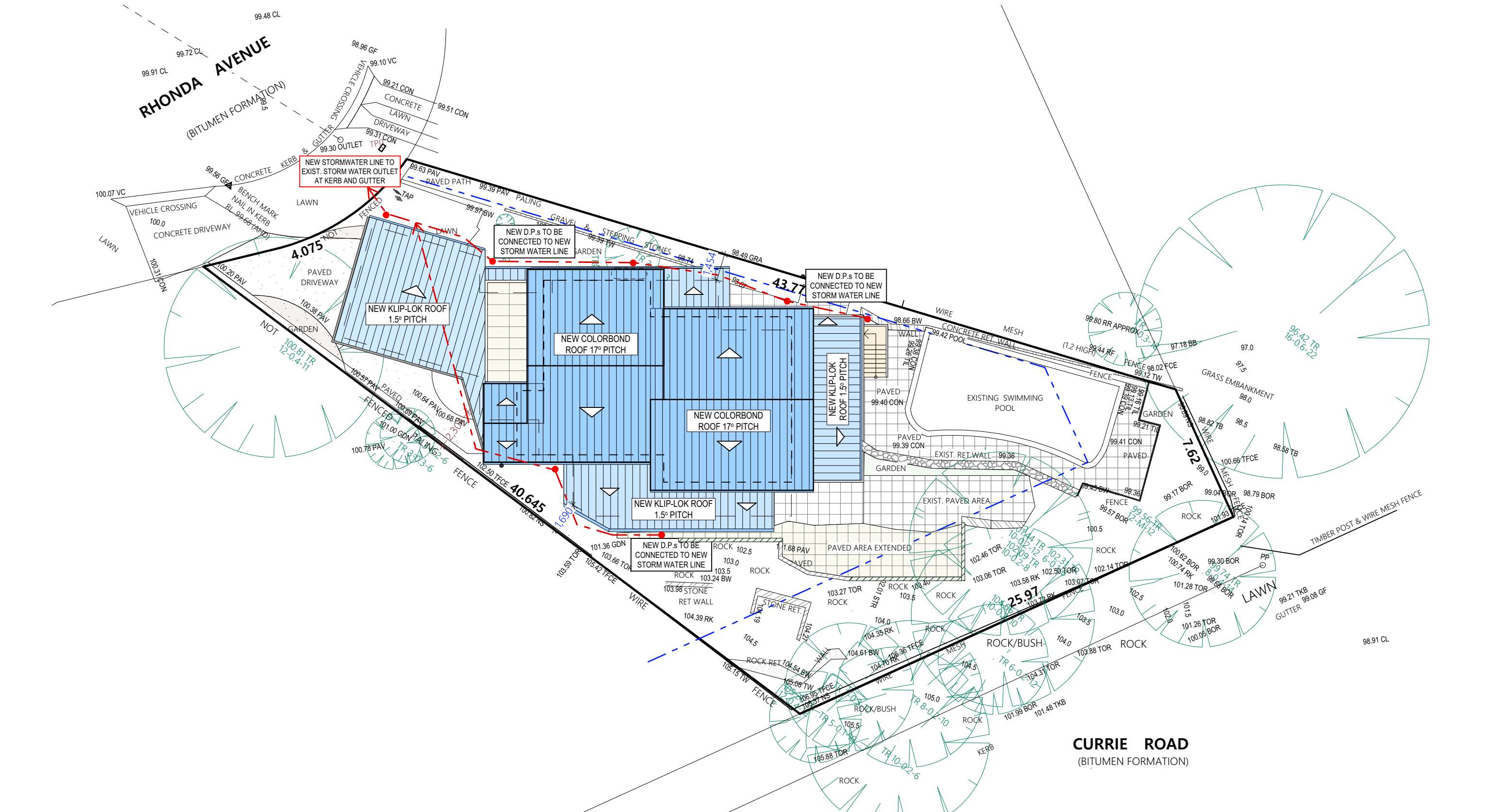
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November/24

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DRAWING No:
DA.12

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JJ





STORMWATER CONCEPT LEGEND

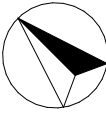
EXISTING DOWNPIPES ●

NEW DOWNPIPES ●

EXISTING STORMWATER LINE - - - - -

NEW STORMWATER LINE - - - - -

TRUE NORTH:



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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
ROOF & STORMWATER CONCEPT PLAN

JOB No:
1311/24

DRAWN BY:
LB

DATE:
November/24

SCALE:
1:200 @ A3

DRAWING No:
DA.13

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NOT FOR CONSTRUCTION



DESIGNATED SITE MANAGER/BUILDER

TOPSOIL MANAGEMENT

BUILDING MATERIAL STOCKPILING

SEDIMENT FENCES

DUST CONTROL

EROSION & SEDIMENT CONTROLS

SEDIMENT TRAPS

DIVERSION CHANNELS

VEHICLE MOVEMENTS

[illegible]

EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

WIRE MESH 800mm HIGH MAX.

PROVIDE HAYBAILS WHERE SLOPE IS TOO STEEP TO SLOW FLOW

DISTURBED AREA

DIRECTION OF FLOW

CHANNEL MINIMUM 200mm DEEP

FABRIC OVERLAP

STAR PICKET POSTS DRIVEN 600mm INTO GRAOUND @ 3000cts. MAX.

GEOTEXTILE FILTER FABRIC

UNDISTURBED AREA

Diagram illustrating the cross-section of a rockcheck dam. The diagram shows water flowing from the left towards the dam structure. Key features labeled include:

- DRAINAGE AREA 4ha MAX. HEIGHT 0.6m MAX. SPILLWAY AT LEAST 0.15m BELOW SIDES.** (Top left)
- BATTER SLOPE 1:2 OR LESS** (Sloping side of the dam)
- DIRECTION OF FLOW** (Arrow pointing towards the dam)
- COURSE AGGREGATE WRAPPED IN GEOTEXTILE FABRIC** (Bottom left, pointing to the dam structure)
- ROCKCHECK DAM** (Bottom right, pointing to the dam structure)

A circle with a shaded sector. The sector is formed by two radii and an arc. The angle between the two radii is labeled as θ .

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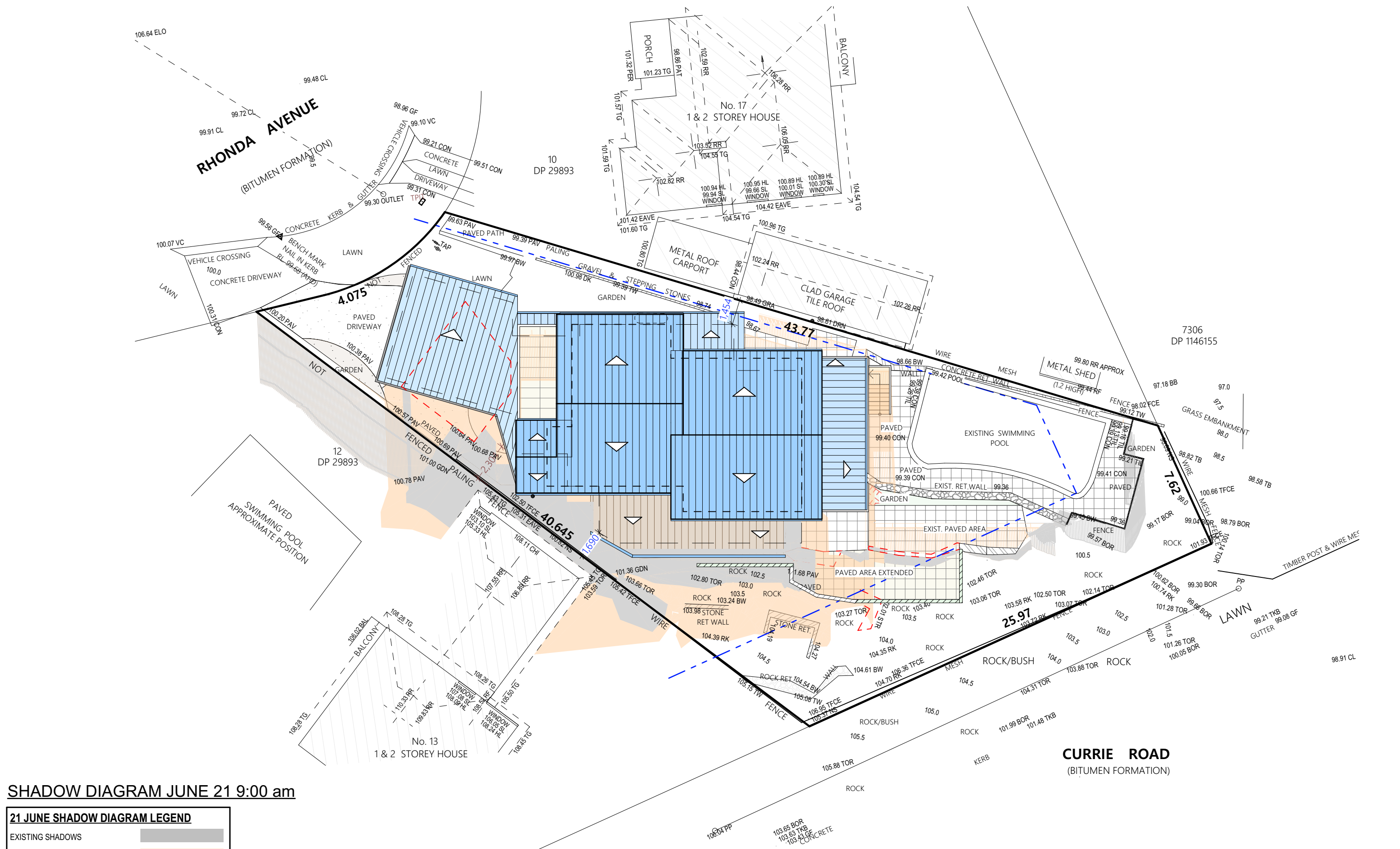
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DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

DRAWING No. **DA.14**



CHECKED BY:
JJ



SHADOW DIAGRAM JUNE 21 9:00 am

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 9:00 am

JOB No:
1311/24

DRAWN BY:
LB

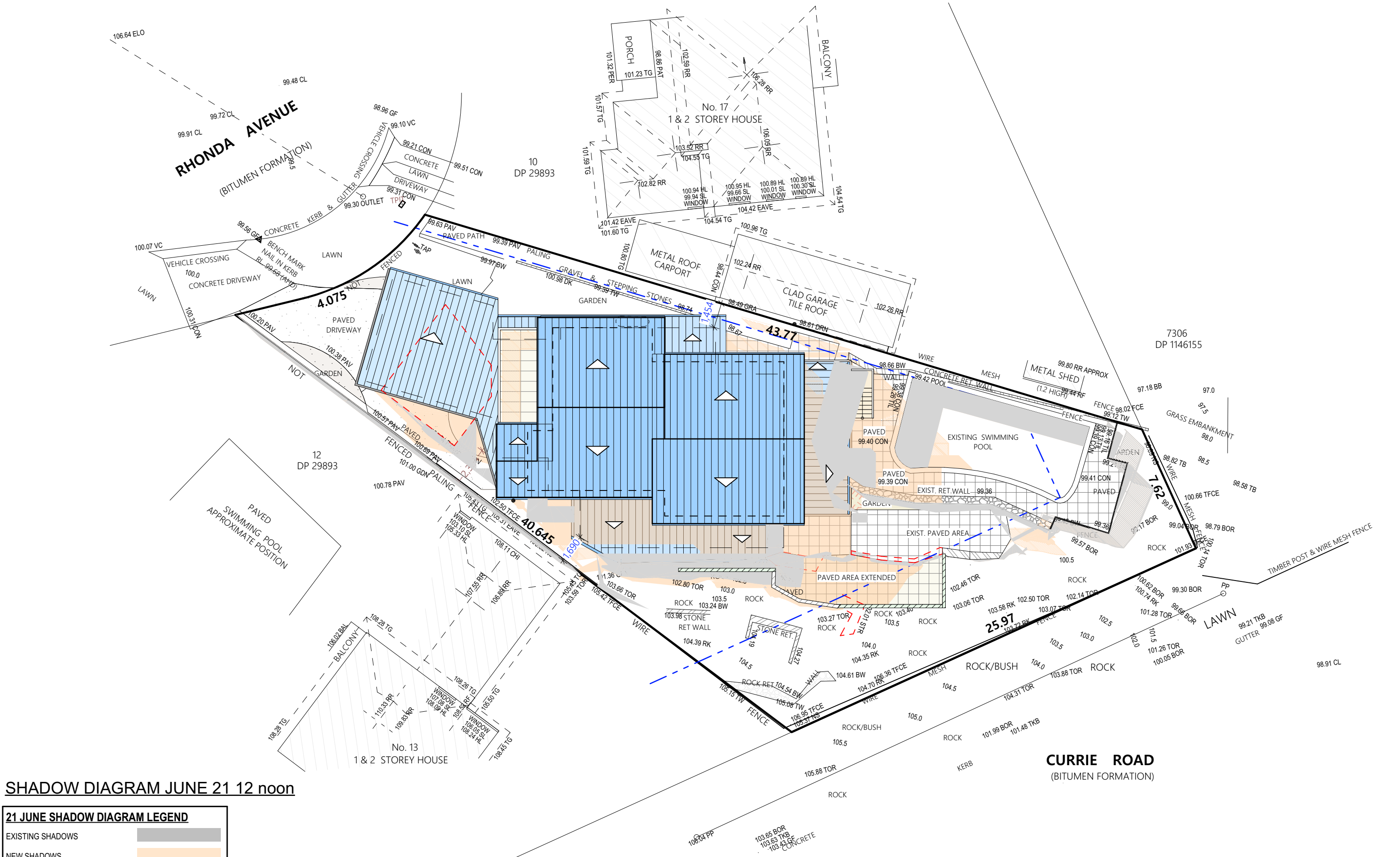
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November/24

SCALE:
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DRAWING No:
DA.15

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CHECKED BY:
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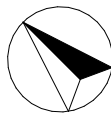
SHADOW DIAGRAM JUNE 21 12 noon

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086

CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 12 noon

JOB No:
1311/24

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LB

DATE:
November/24

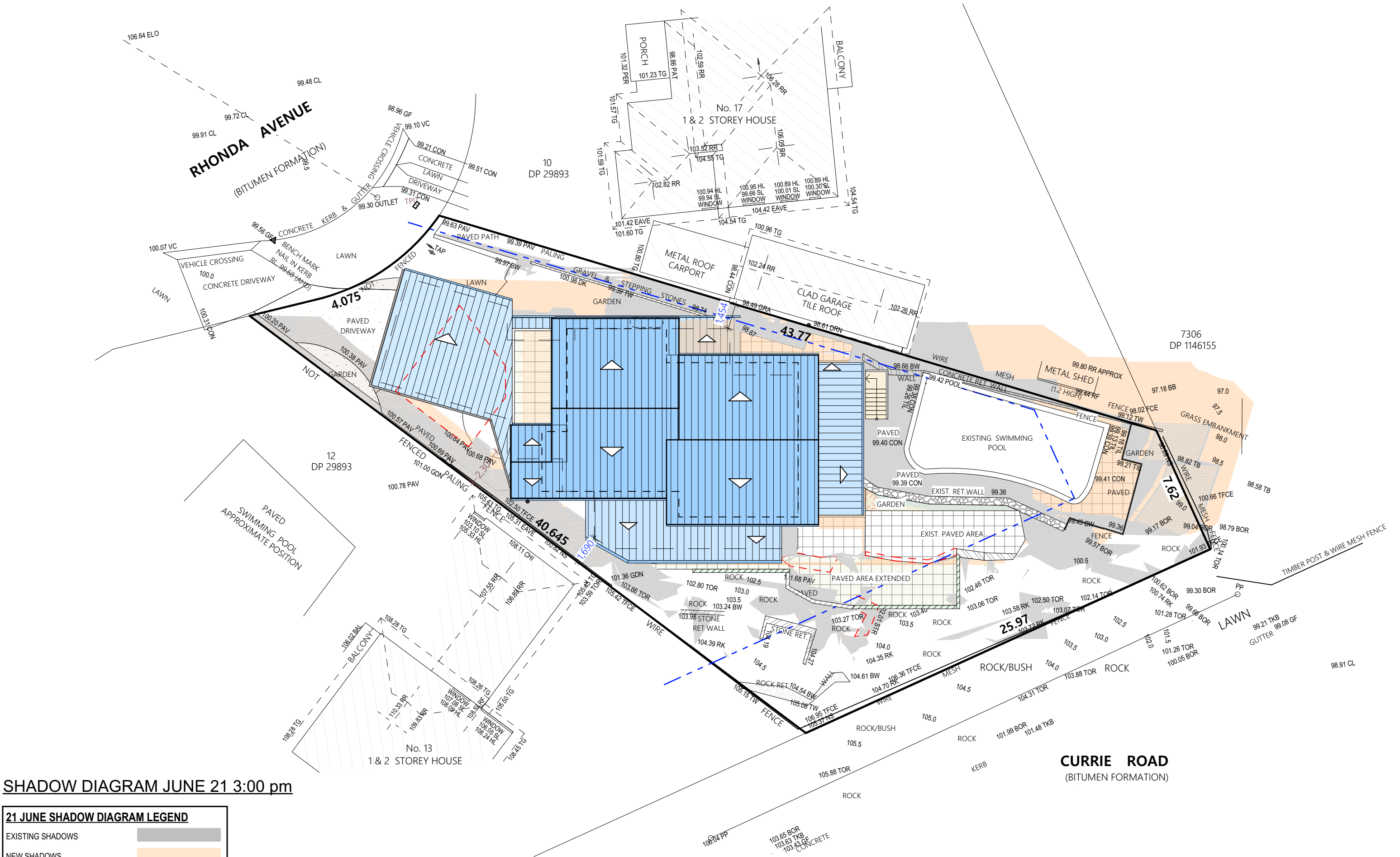
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DRAWING No:
DA.16

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NOT FOR CONSTRUCTION

bdaa
ACCREDITED
BUILDING DESIGNER



SHADOW DIAGRAM JUNE 21 3:00 pm

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS

15 Rhonda Avenue Frenchs Forest NSW 2086

CLIENT:

Thomas Clay & Ashleigh Clay

DRAWING TITLE:

SHADOW DIAGRAM JUNE 21 3:00 pm

JOB No:

1311/24

DRAWN BY:

LB

DATE:

November/24

SCALE:

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DRAWING No:

DA.17

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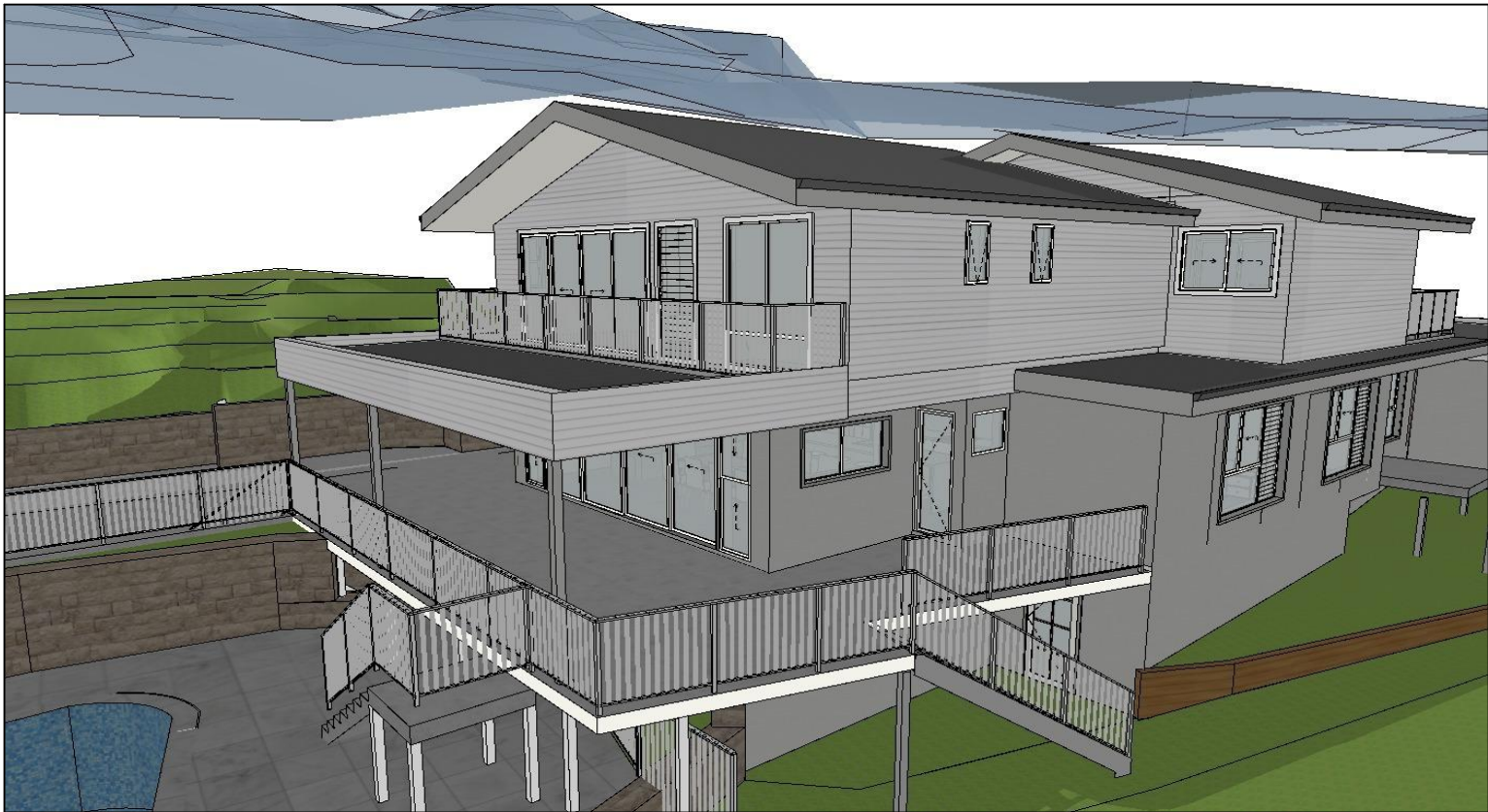
JJ

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ACCREDITED
BUILDING DESIGNER



8.5m HEIGHT 'BLAKET TO SHOW THAT THE PROPOSED ADDITION COMPLIES WITH THE 8.5m MAXIMUM BUILDING HEIGHT



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PROPOSED ALTERATIONS AND ADDITIONS
15 Rhonda Avenue Frenchs Forest NSW 2086
CLIENT:
Thomas Clay & Ashleigh Clay

DRAWING TITLE:
8.5m MAX. BUILDING HEIGHT 'BLANKET'

JOB No:
1311/24

DRAWN BY:
LB

DATE:
November/24

SCALE:
@ A3

DRAWING No:
DA.18

NOT FOR CONSTRUCTION

bdac
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BUILDING DESIGNER

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