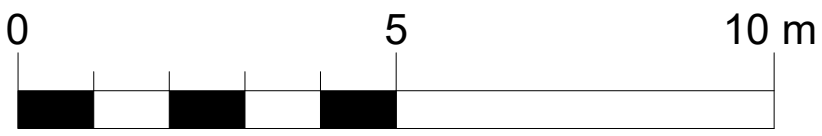


DEVELOPMENT APPLICATION

112 ILUKA ROAD, PALM BEACH NSW - LOT 10 DP 12979

ALTERATIONS & ADDITIONS - CONSTRUCTION OF NEW IN GROUND SWIMMING POOL, BASEMENT STORAGE & INTERNAL RECONFIGURATION WORKS



Walter Barda Design

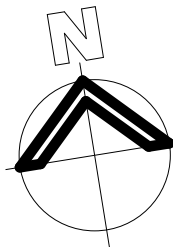
architecture
landscape
interiors

2.04 13-15 Wentworth Avenue Sydney NSW 2000
www.walterbardadesign.com ABN: 48 072 136 513
Office: 02 9360 2340 Facsimile: 02 9360 2324

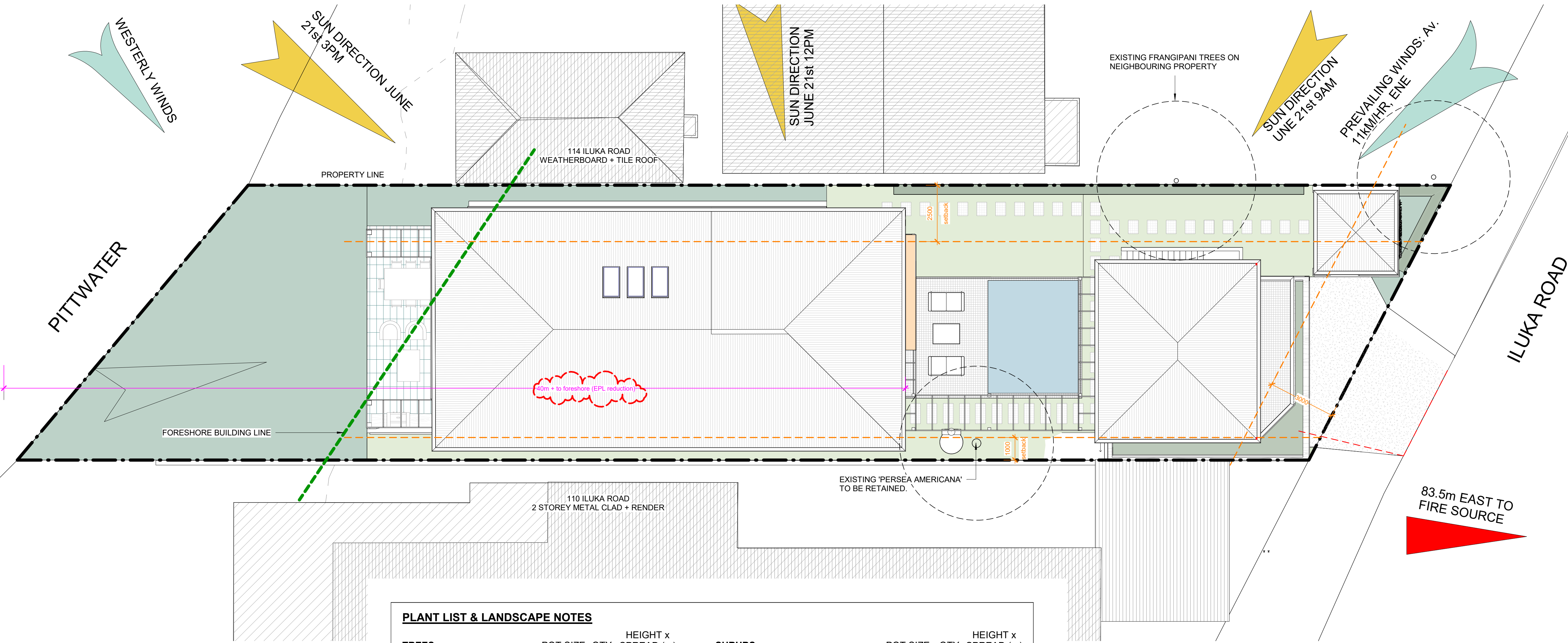
Client

GAZAL

- ADDITIONS
- ALTERATIONS
- EXISTING AREA RETAINED
- EXISTING WALLS RETAINED



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2022/1303



1 Site Plan & Analysis
1 : 100

PLANT LIST & LANDSCAPE NOTES

TREES

		POT SIZE	QTY	HEIGHT x SPREAD (m)
TL	Tristaniopsis Laurina	150L	1	6x3
PR	Plumeria rubra	50L	2	4x2
HF	Howea forsteriana	100L	2	5x3
MP	Murraya paniculata (Hedged to approx 2m)	300mm	20	4x1.5

GROUNDCOVERS

SB	Sapphire buffalo grass
OJ	Ophiopogon japonica mini

Notes: All planted areas to be mulched with 100mm layer of woodchip mulch. Trees above 300mm to be staked for 12 month establishment period. Drip irrigation to be installed connected to water storage tank.

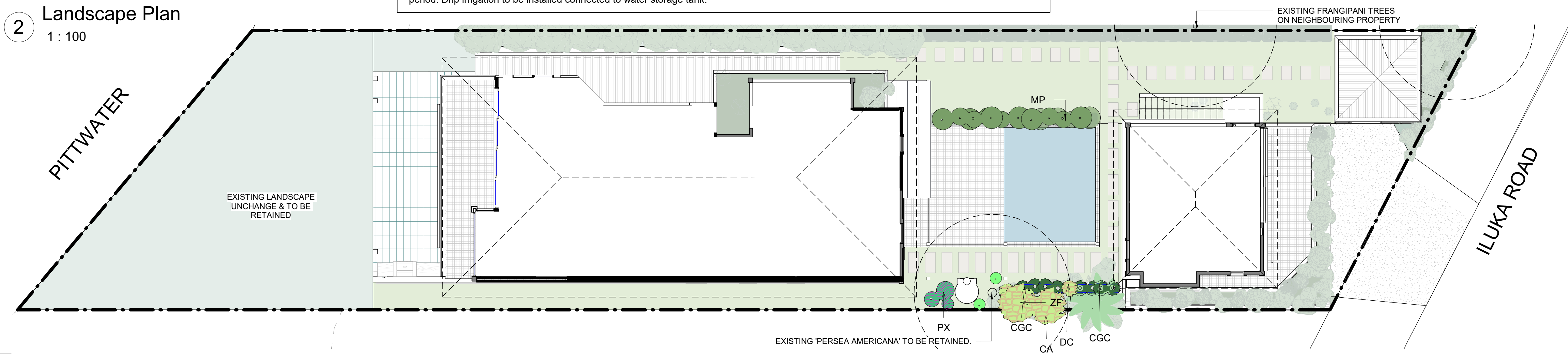
SHRUBS

		POT SIZE	QTY	HEIGHT x SPREAD (m)
ZF	Zamia furfuracea	300mm	4	1x1
PX	Philodendron Xanadu	300mm	15	1x1
AA	Agave attenuata	150mm	15	1x1
DC	Dianella caerulea	200mm	3	0.5x0.5
CGC	Casuarina glauca 'Cousin It'	200mm	6	0.5x0.5
CA	Correa alba	200mm	5	2x2
SS	Senecio serpens	100mm	8	0.3X0.3

CLIMBERS

CG	Carpobrotus glaucescens	150mm	6	3x3
----	-------------------------	-------	---	-----

2 Landscape Plan
1 : 100



B	DA Amendments - include EPL info/req.	31.08.2022
A	DA ISSUE	28.07.2022

No.	Description	Date
-----	-------------	------

Revisions

This Drawing must not be used for Construction unless signed as Approved

© Copyright - This document is and shall remain the property of Walter Barda Design Pty Ltd.

Walter Barda Design Conditions of Use: This Document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

Garage Additions & Alteration Works

Project Number	112 ILUKA RD, PALM BEACH
2014_07	
Project Status	CC

Sheet
Title, Site Plan/Analysis & Landscape Plan

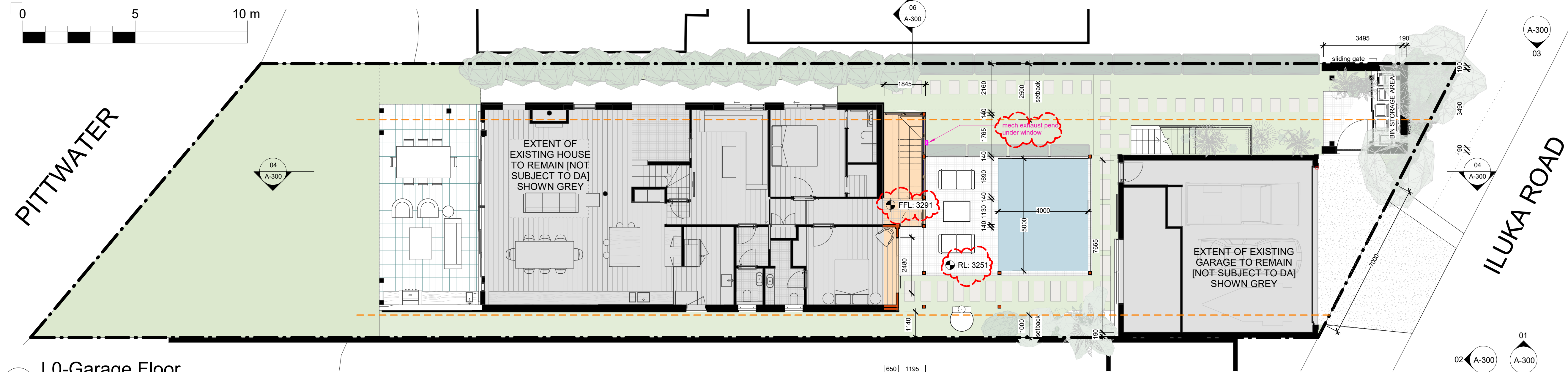
Scale @ A1 1 : 100

Drawing Number	A-100	Issue	B
----------------	-------	-------	---

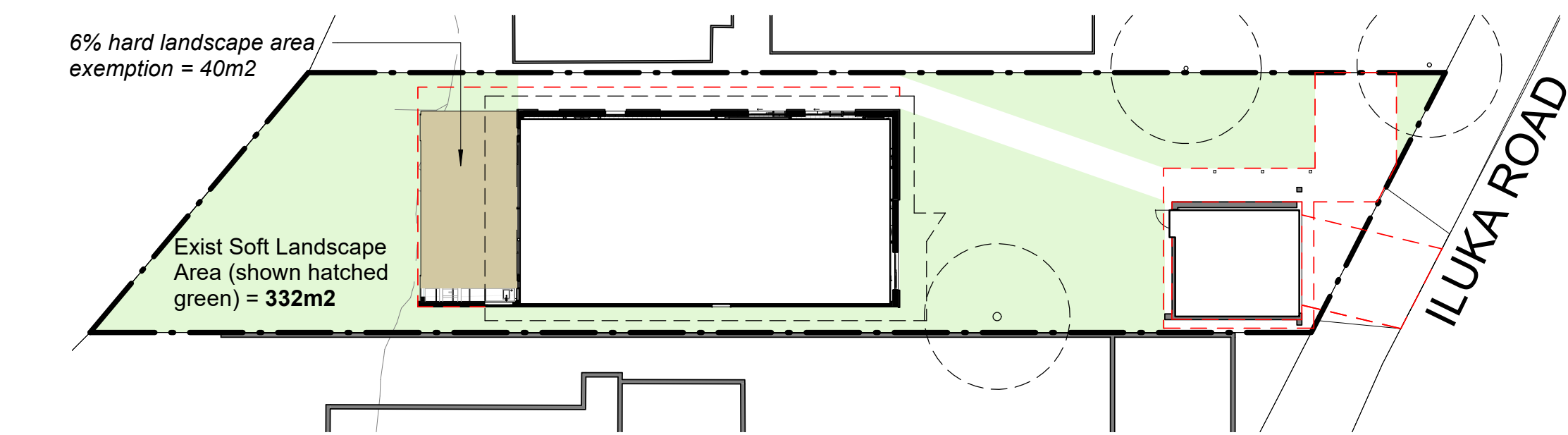
Drawn By	Checked By	Approved By
MM	WB	WB

Print Date & Time 31/08/2022 1:12:12 PM

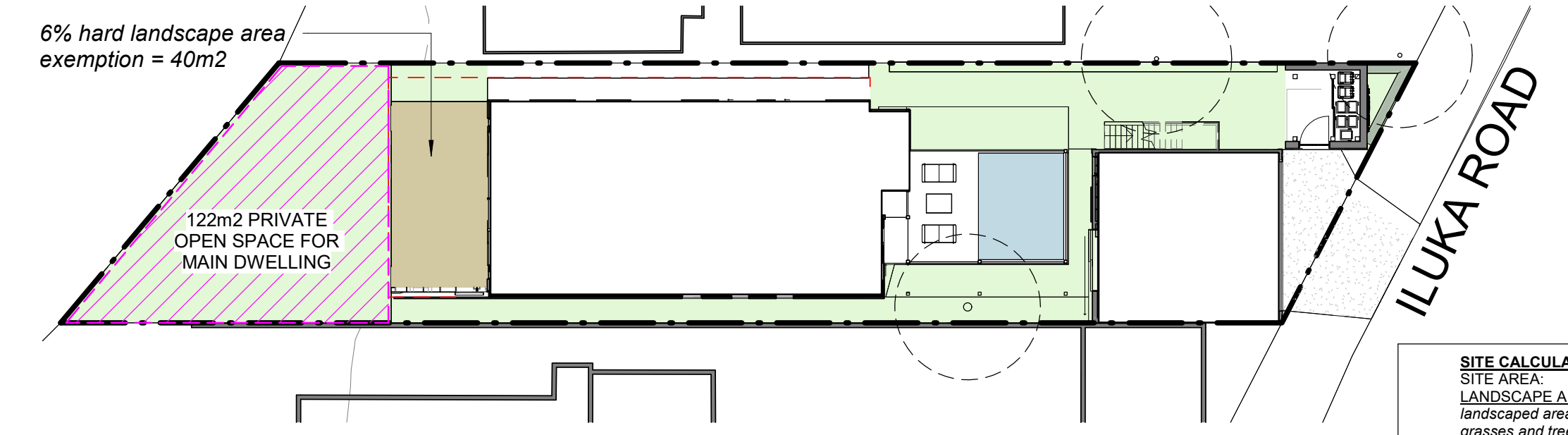
File Path U:\2014_07_Gazal\00 - Architectural Plans\Gazal Pool DA.rvt



1 L0-Garage Floor
1 : 100

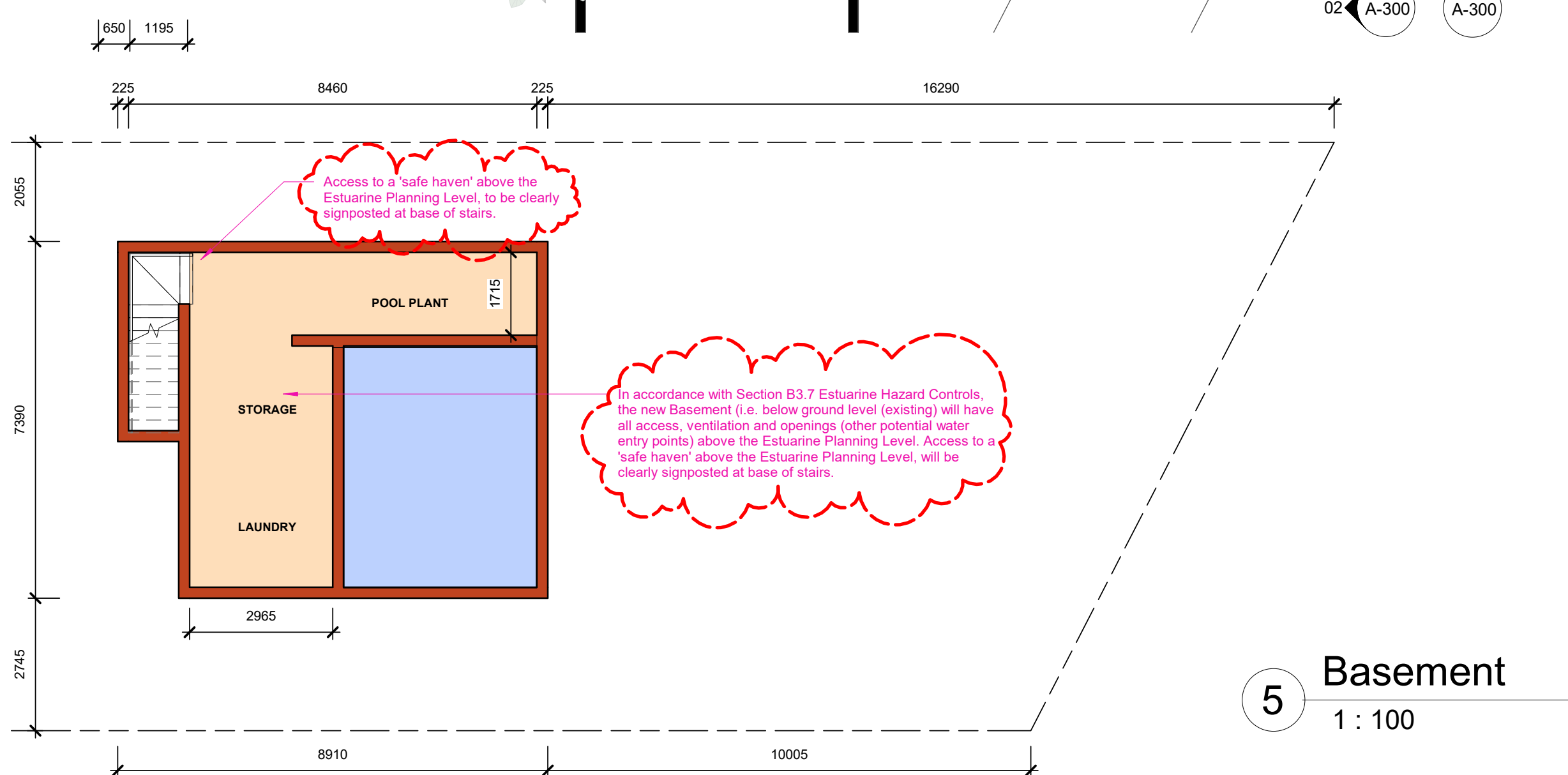
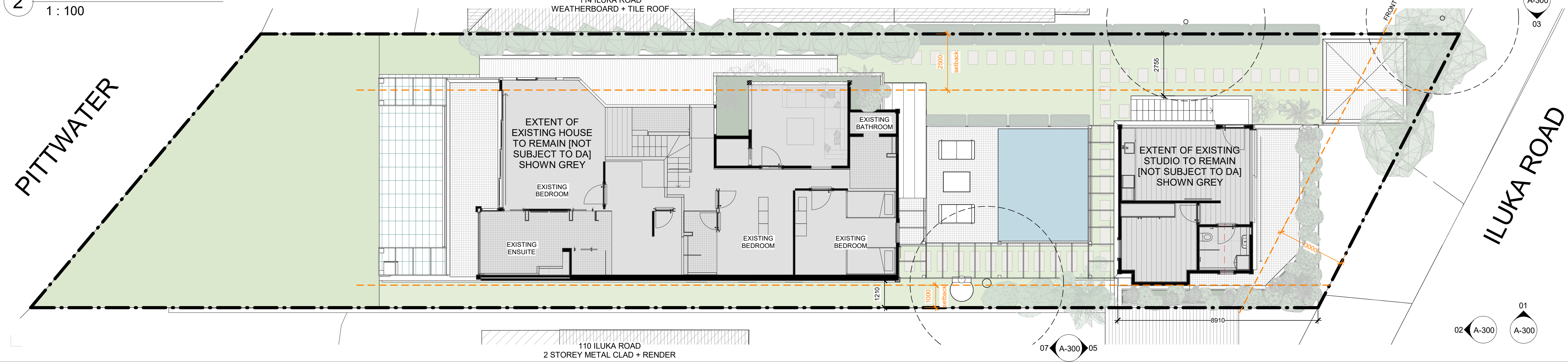


3 Existing Soft Landscape
1 : 250



4 Proposed Soft Landscape
1 : 250

2 L1-Studio Lower Floor
1 : 100



5 Basement
1 : 100

SITE CALCULATIONS:		
SITE AREA:	670.2 m2	
LANDSCAPE AREA REQ [MIN 60% OF SITE AREA]:	402 m2	
<i>landscaped area means a part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area. Pittwater LEP 2014</i>		
PROPOSED TOTAL LANDSCAPE AREA:	47.6%	319m2
PROPOSED SOFT LANDSCAPE AREA:		279m2
PROPOSED 6% HARD LANDSCAPE AREA EXEMPTION:		40 m2
PRIVATE OPEN SPACE REQ [MIN 80m2 OF SITE AREA]:		122m2
PRINCIPAL PRIVATE OPEN SPACE REQ [MIN 16m2]:		122m2

BASIX REQUIREMENTS	
1.	The applicant must install new/alttered showerheads with a min rating of 3 star (flow rate no greater than 9L/ minute)
2.	The applicant must install new/alttered toilet flushing system with a minimum rating of 3 star
3.	The applicant must install new/alttered taps with a minimum rating of 3 star (flow rate no greater than 9L/ minute)
4.	The applicant must ensure that a minimum of 40% of new or altered lights are fluorescent, compact fluorescent or (LED) lighting
5.	The ne hot water system is to be gas instantaneous
6.	All new external framed walls clad with weatherboard to have R1.30 (or R1.70 including construction) insulation
7.	All new flat ceiling with pitched roof is to have ceiling: R2.5 (up) insulation, roof: foil/sarking; medium solar absorptance
8.	All windows/doors are to be aluminium or timber framed as per this report unless otherwise noted on plans. All glazed windows and doors are to comply with overshadowing, shading device, frame and glass type specified in Basix report.

Walter Barda Design

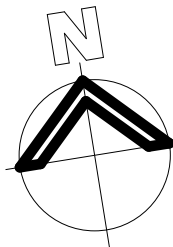
architecture
landscape
interiors

2.04 13-15 Wentworth Avenue Sydney NSW 2000
www.walterbardadesign.com ABN: 48 072 136 513
Office: 02 9360 2340 Facsimile: 02 9360 2324

Client

GAZAL

	ADDITIONS
	ALTERATIONS
	EXISTING AREA RETAINED
	EXISTING WALLS RETAINED



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1303

B	DA Amendments - include EPL info/req.	31.08.2022
A	DA ISSUE	28.07.2022

No.	Description	Date
-----	-------------	------

Revisions		
-----------	--	--

**This Drawing must not be used for Construction
unless signed as Approved**

© Copyright - This document is and shall remain the property of
Walter Barda Design Pty Ltd.

Walter Barda Design Conditions of Use: This Document may only
be used for the purpose for which it was commissioned and in
accordance with the terms of engagement for the commission.

Garage Additions & Alteration Works

Project Number	2014_07	112 ILUKA RD, PALM BEACH
Project Status	CC	

Sheet
Floorplans & LOS Plans

Scale @ A1 As indicated

Drawing Number	A-200	Issue B
-------------------	--------------	-------------------

Drawn By MM	Checked By WB	Approved By WB
-----------------------	-------------------------	--------------------------

Print Date & Time 31/08/2022 1:12:30 PM

File Path U:\2014_07_Gazal\00 - Architectural Plans\Gazal Pool DA.rvt

Client

GAZAL

- ADDITIONS
- ALTERATIONS
- EXISTING AREA RETAINED
- EXISTING WALLS RETAINED



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/1303

B	DA Amendments - include EPL info/req.	31.08.2022
A	DA ISSUE	28.07.2022
No.	Description	Date

Revisions

This Drawing must not be used for Construction unless signed as Approved

© Copyright - This document is and shall remain the property of Walter Barda Design Pty Ltd.

Walter Barda Design Conditions of Use: This Document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission.

Garage Additions & Alteration Works

Project Number	112 ILUKA RD, PALM BEACH
2014_07	
Project Status	CC

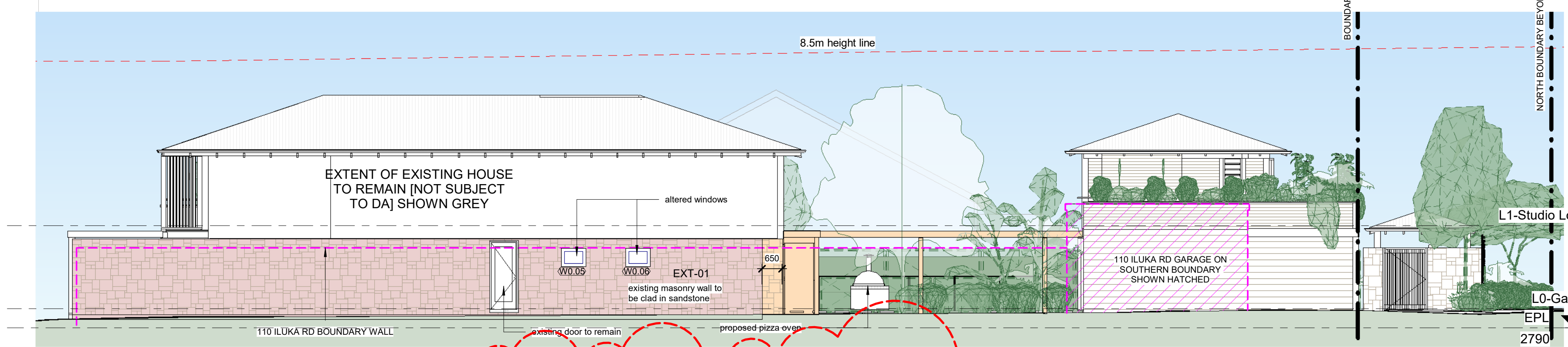
Sheet Elevations & Sections

Scale @ A1 1 : 100

Drawing Number	A-300	Issue	B
Drawn By	MM	Checked By	WB
		Approved By	WB

Print Date & Time 31/08/2022 1:12:36 PM

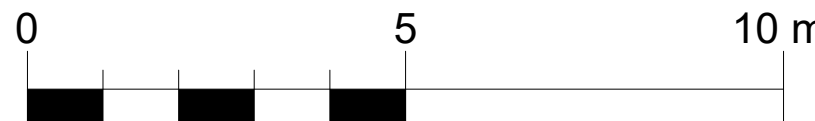
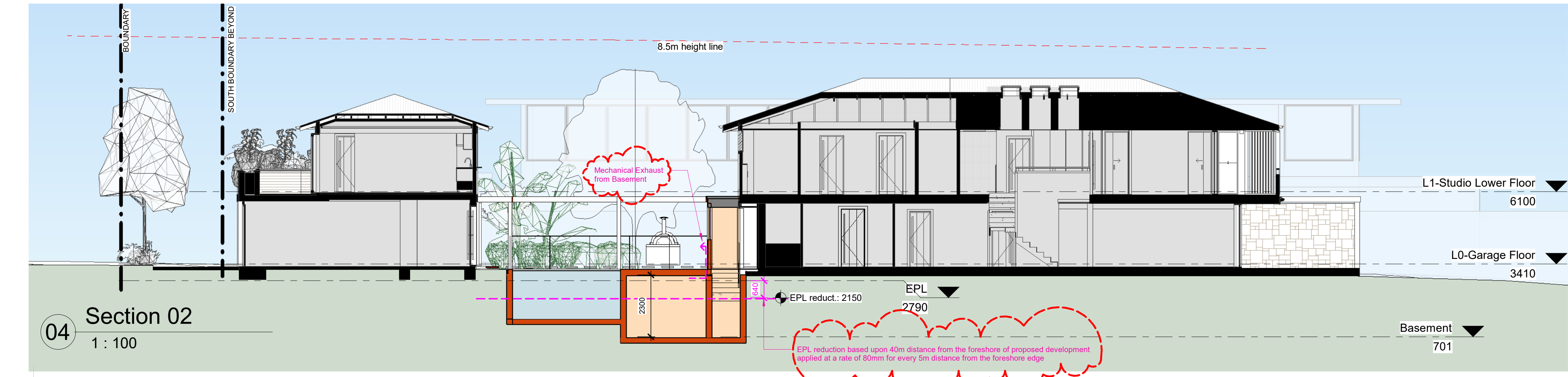
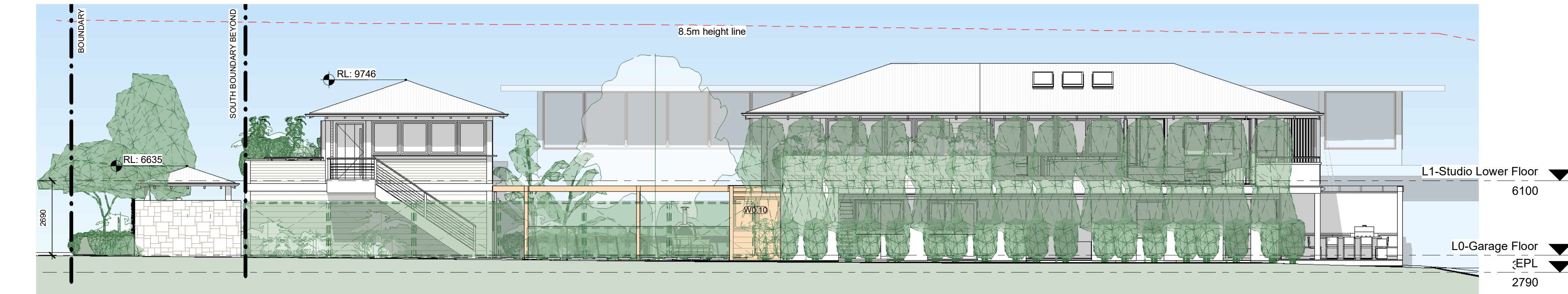
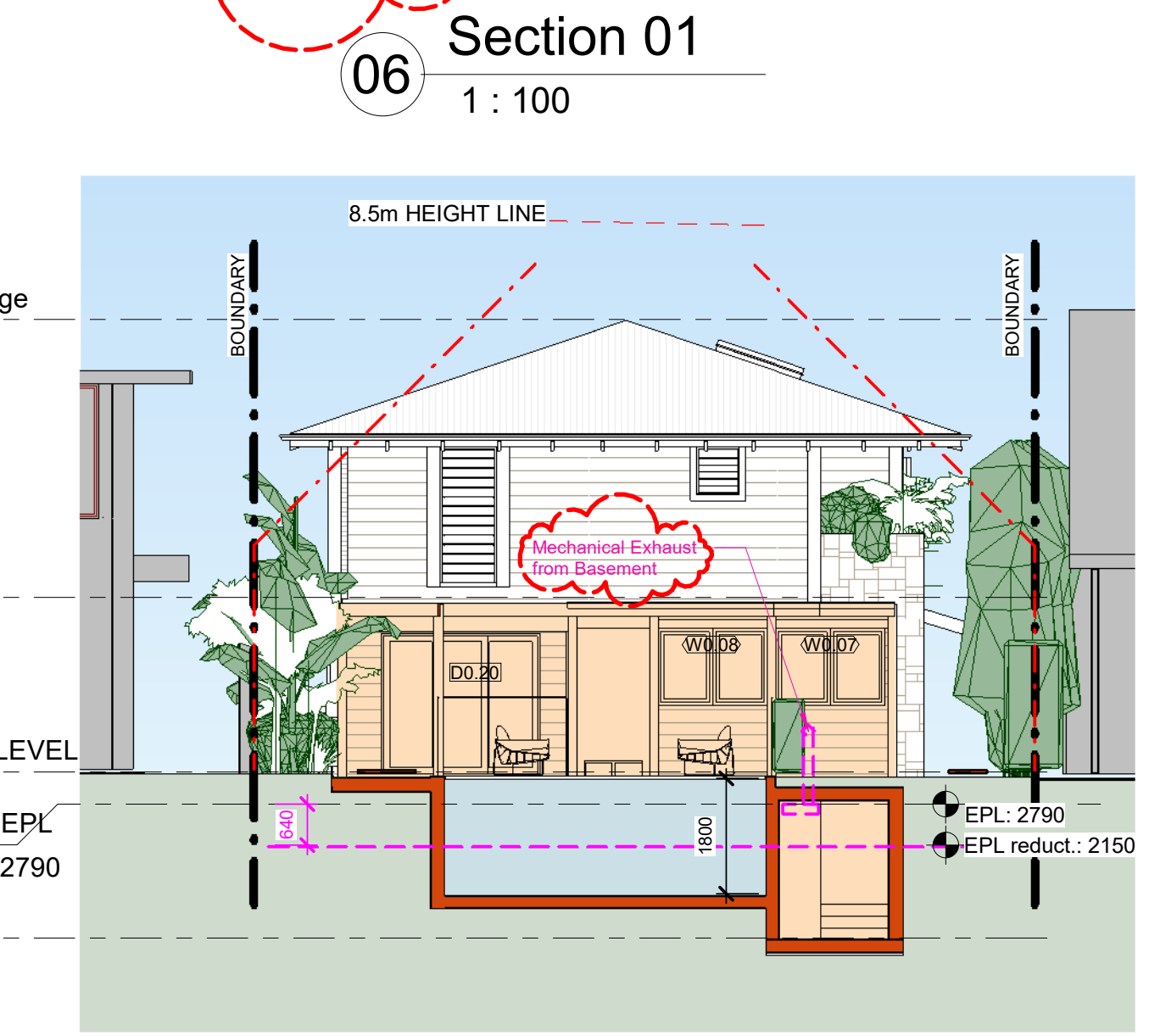
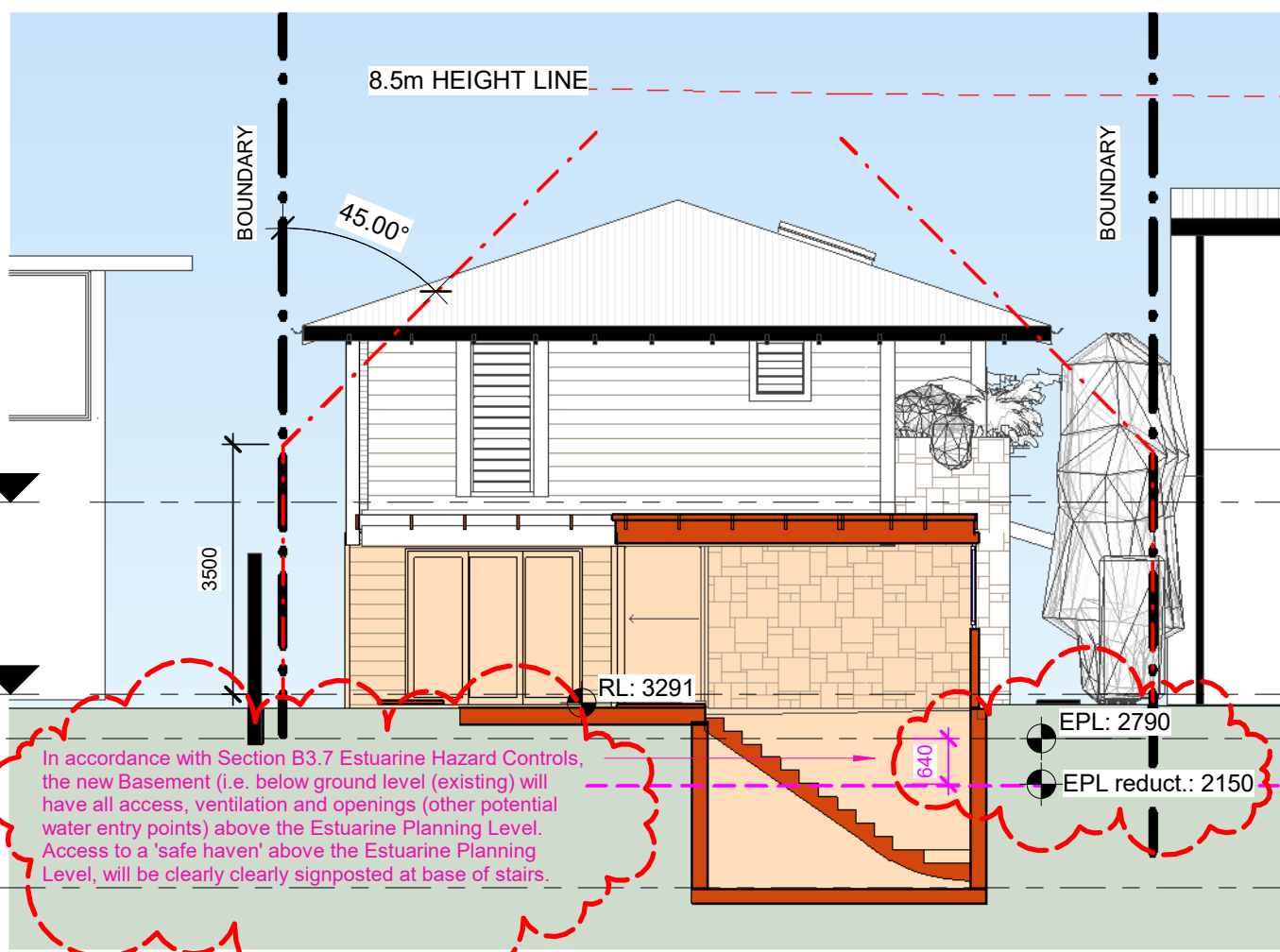
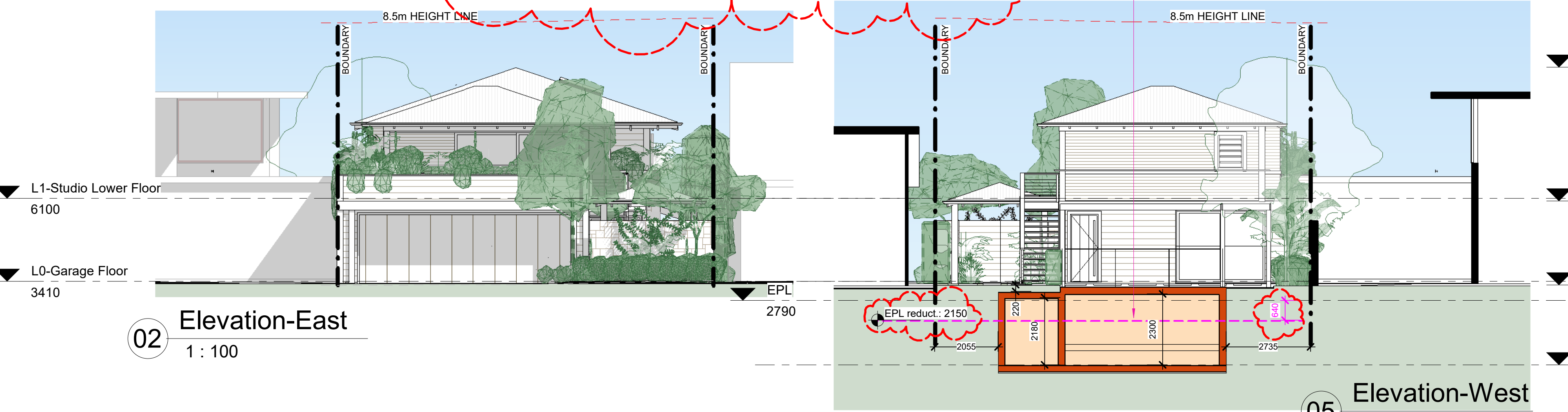
File Path U:\2014_07_Gazal\00 - Architectural Plans\Gazal Pool DA.rvt



Refer to Dewatering Mgmt Plan prepared by JK Geotechnics (JKG) to address NB Council and WaterNSW requirements with regards to temporary dewatering for the proposed development. See also (JKG) 'geotechnical investigation' report Ref: 34989PDpt dated 3 June 2022 along with detailed comments and recommendations for geotechnical aspects of the proposed development, as well as JK Environments (JKE) 'Preliminary Groundwater Screening - Temporary Dewatering' for the proposed development; report Ref: E34989Bprt dated 7 June 2022 [JKE 2022].

As detailed in JKG 2022, secant pile walls are to be installed to support the sandy soil profile and to act as a 'cut-off' wall to reduce the volume of groundwater required to be pumped from the excavation during excavation and construction of the proposed pool and basement. The basement has been designed as a 'tanked' structure.

The Dewatering Mgmt Plan outlines how compliance with NB Council and WaterNSW requirements can be achieved in relation to the proposed dewatering activities at 112 Iluka Rd Palm Beach, based on site investigation findings and outlines site specific measures for the appropriate management of groundwater discharge during basement construction.



GARAGE ADDITIONS AND ALTERATION WORKS

112 ILUKA ROAD, PALM BEACH NSW 2108

DRAWING LIST

HYDRAULIC SERVICES

SHEET	TITLE	SCALE
H000	DRAWING SCHEDULE AND LEGEND	AS SHOWN
H101	LO GARAGE FLOOR AND BASEMENT PLAN DRAINAGE SERVICES	1:100
SW001	SITE SOIL AND WATER MANAGEMENT PLAN	1:100

LEGEND

LINE TYPES

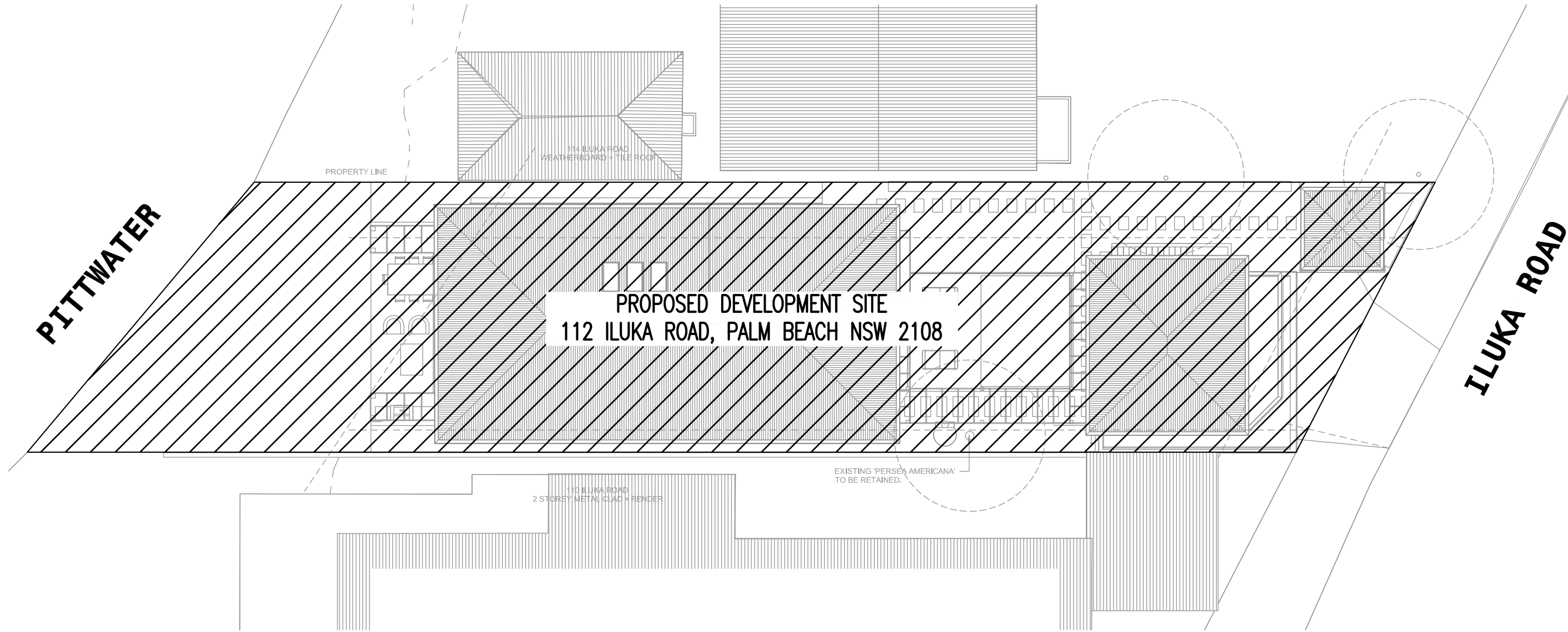
—SW—	STORMWATER (SW)
—XSW—	EX STORMWATER (XSW)

SYMBOLS

—○—	THROUGH DROPPER / RISER
—○—	BEND DOWN
—○—	TEE UP
—○—	TEE DOWN
—□—	STORMWATER PIT
—○—	RAINWATER OUTLET (RWO)
—▶—	CENTRIFUGAL PUMP
—◀—	WATER METER (WM)
—▶—	REDUCER
—◀—	RISER
—○—	SERVICE NAME
—○—	SIZE
—○—	DROPPER
—▶—	FLOW DIRECTION

ABBREVIATIONS

DP	DOWNPIPE
EX.	EXISTING
IL	INVERT LEVEL
PD	PLANTER DRAIN
PVC	POLYVINYL CHLORIDE



LOCATION PLAN

SCALE 1:200

NOTES:

- ALL WORKS TO BE INSTALLED IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS, AS3500 NATIONAL PLUMBING & DRAINAGE CODE.
- THE CONTRACTOR IS TO CONFIRM LOCATION & DEPTH OF EXISTING SERVICES ON SITE PRIOR TO CONSTRUCTION. IF ANY CONFLICT EXISTS NOTIFY BUILDER IMMEDIATELY.
- THE CONTRACTOR IS TO CONFIRM EXISTING & PROPOSED SURFACE LEVELS PRIOR TO INSTALLATION OF PIPEWORK, SUMPS, MANHOLES, PITS, ETC.
- BACKFILLING
BACKFILL SERVICE TRENCHES AS SOON AS POSSIBLE AFTER SERVICE HAS BEEN LAID AND BEDDED. PLACE THE BACKFILL IN LAYERS <150mm THICK AND COMPACT TO THE DENSITY WHICH APPLIES TO THE LOCATION OF THE TRENCHES TO MINIMISE SETTLEMENT.
- BACKFILL MATERIAL
GENERAL FILL WITH NO STONES GREATER THAN 25mm OCCURRING WITHIN 150mm OF THE SERVICE UNDER ROADS AND PAVED AREAS AND WITHIN 4 METRES OF BUILDING: COARSE SAND, CONTROLLED LOW STRENGTH MATERIAL OR FINE CRUSHED ROCK.
- ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING: KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AREAS & ROAD PAVEMENTS.
- CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. EXCAVATE BY HAND IN THESE AREAS.
- THE PLUMBING CONTRACTOR SHALL OBTAIN ALL AUTHORITY APPROVALS AND PAY ALL FEES.
- INVERT LEVELS SHOWN ARE INDICATIVE ONLY. CONFIRM ALL LEVELS ON SITE BEFORE COMMENCING CONSTRUCTION.



DEVELOPMENT
APPLICATION /
CONCEPT DESIGN
DOCUMENTATION

THIS DRAWING REPRESENTS A 'CONCEPT DESIGN' ONLY OF THE PROPOSED STORMWATER DRAINAGE FOR THIS PROJECT. IT IS NOT A CONSTRUCTION DRAWING. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO UNDERTAKE DETAILED DESIGN PRIOR TO CONSTRUCTION. ENSURE DESIGN COMPLIES WITH ALL APPLICABLE CODES AND STANDARDS.

27.02.22	1	ISSUE FOR COUNCIL APPROVAL	A
DATE	No.	AMENDMENT	ISSUE

THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF GLENN HAIG & PARTNERS

ARCHITECT :
WALTER BARDA DESIGN

PROJECT :
GARAGE ADDITIONS & ALTERATIONS WORKS
112 ILUKA ROAD
PALM BEACH NSW 2108



**GLENN HAIG
& PARTNERS**
HYDRAULIC + FIRE CONSULTANTS

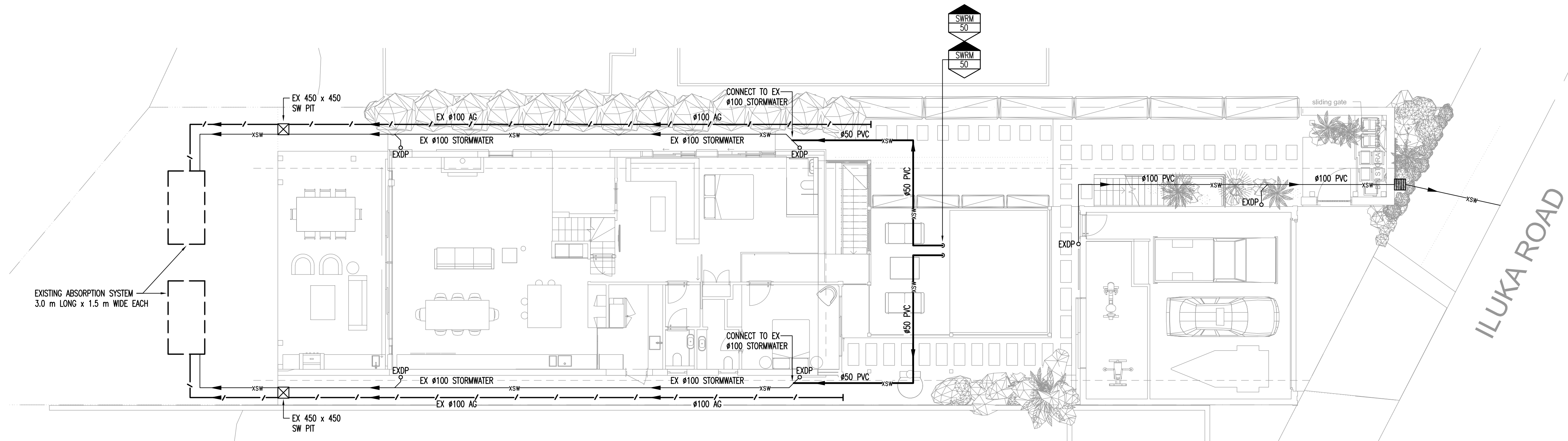
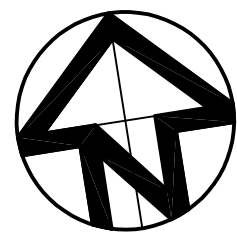
Coffs Harbour
P: 02 6658 2444
PO Box 192
SAWTELL, NSW, 2452

Sydney
P: 02 9310 1352
PO Box 689
SURRY HILLS, NSW, 2010

office@glennhaig.com.au

TITLE :
HYDRAULIC SERVICES
DRAWING SCHEDULE AND LEGEND

Date :	JULY 22	Drawn :	DM
Scales :	AS SHOWN @ A1	Checked :	GH
Job No. :	223626	Cad File No. :	223626H000
		Drawing No. :	H000

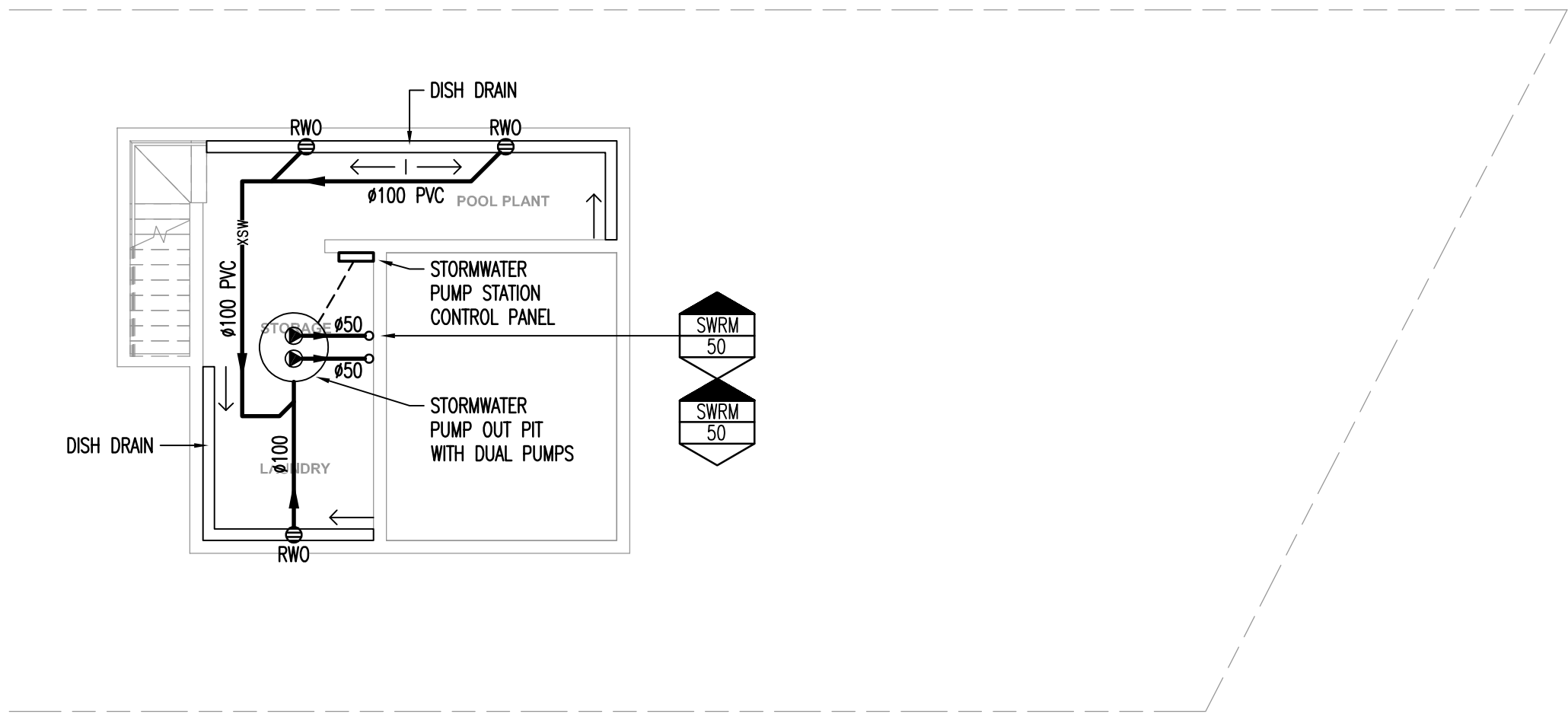


LO GARAGE FLOOR PLAN – DRAINAGE SERVICES
SCALE 1:100

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1303



BASEMENT PLAN – DRAINAGE SERVICES
SCALE 1:100

DEVELOPMENT
APPLICATION /
CONCEPT DESIGN
DOCUMENTATION

DOCUMENTATION

THIS DRAWING REPRESENTS A "CONCEPT DESIGN" ONLY OF
THE PROPOSED STORMWATER DRAINAGE FOR THIS PROJECT.
IT IS NOT A CONSTRUCTION DRAWING. IT REMAINS THE
RESPONSIBILITY OF THE CONTRACTOR TO UNDERTAKE
DETAILED DESIGN PRIOR TO CONSTRUCTION. ENSURE DESIGN
COMPLIES WITH ALL APPLICABLE CODES AND STANDARDS

27.02.22	1	ISSUE FOR COUNCIL APPROVAL	A
DATE	No.	AMENDMENT	ISSUE

THIS DRAWING IS COPYRIGHT AND THE PROPERTY
OF GLENN HAIG & PARTNERS

ARCHITECT :
WALTER BARDA DESIGN

PROJECT :
GARAGE ADDITIONS & ALTERATIONS WORKS
112 ILUKA ROAD
PALM BEACH NSW 2108

 **GLENN HAIG
& PARTNERS**
HYDRAULIC + FIRE CONSULTANTS

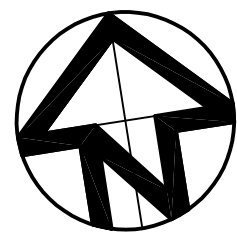
Coffs Harbour
P: 02 6658 2444
PO Box 192
SAWTELL, NSW, 2452

Sydney
P: 02 9310 1352
PO Box 689
SURRY HILLS, NSW, 2010

office@glennhaig.com.au

TITLE : HYDRAULIC SERVICES
**LO GARAGE FLOOR AND BASEMENT
PLAN DRAINAGE SERVICES**

Date :	JULY 22	Drawn :	DM
Scales :	1:100 @ A1	Checked :	GH
Job No. :	223626	Cod File No. :	223626H101
		Drawing No. :	H101



LEGEND

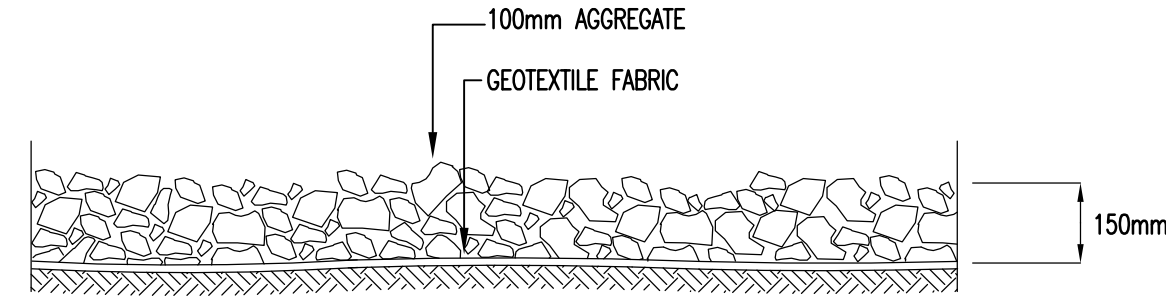
- II — SILT FENCE
- ▨ STABILISED CONSTRUCTION ENTRANCE
- ▨ DISTURBED AREA
- C — CATCHMENT AREA

PROCEDURE FOR SILTATION CONTROL DURING CONSTRUCTION

1. CONSTRUCT SILT TRAP FENCE WHERE INDICATED ON PLAN. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES. CONSTRUCT SEDIMENT CATCHMENT BASIN.
2. COMMENCE CONSTRUCTION PROVIDING DRAINAGE FROM TRENCH EXCAVATION TO SEDIMENT CATCHMENT BASIN.
3. SHOULD S.C.B. FILL TO WITHIN 60% OF CAPACITY, REMOVE SILT FROM SITE TO APPROVED DISPOSAL SITE.
4. CARRY OUT DAILY SITE INSPECTION OF SILT FENCES FOR STRUCTURAL DAMAGE.
5. PROVIDE SITE WATERING SHOULD WIND EROSION OCCUR.
6. REMOVE SILT FENCES AFTER LANDSCAPE IS COMPLETED & LAWN IS FULLY ESTABLISHED.

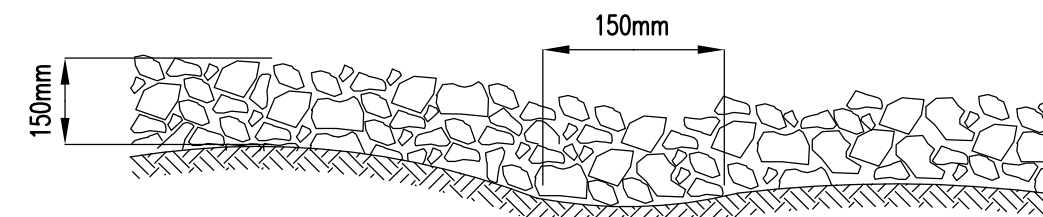
SEDIMENT CONTROL

1. ALL PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PREVENT THE TRANSPORTATION OF MATERIAL FROM THE AREA OF THE WORKS BY WINDS, STORMWATERS OR ARTIFICIAL MEANS.
2. THE SITE SHALL BE WATERED IN DRY PERIODS & SHOULD CLEARED AREAS BECOME BARREN, THEY SHALL BE SEEDED & WATERED TO PROMOTE VEGETATION COVER OF GRASS.
3. THE SEDIMENT CONTROL FABRIC OF FENCES INDICATED ON THE DRAWING SHALL BE TAKEN AS A MINIMUM PROTECTION MEASURE ONLY. EXTRA CONTROLS SHALL BE ESTABLISHED TO PROVIDE AN EFFECTIVE PROTECTION.
4. SUPPORT MEASURES SUCH AS HAY BALES SHALL BE USED IN AREAS OF STEEP SLOPES OR WHERE STREAM FLOW MAY OCCUR.



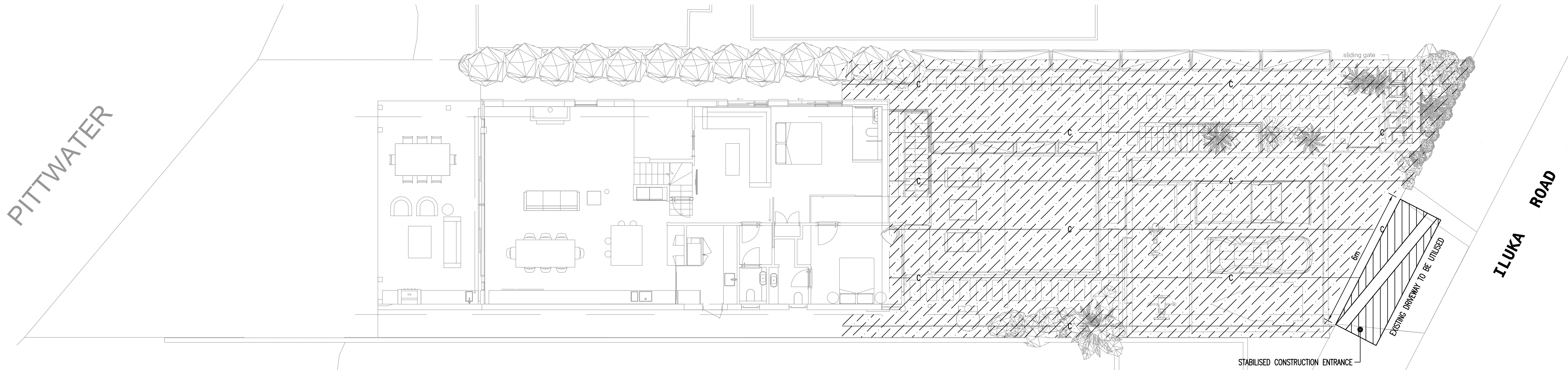
STABILISED CONSTRUCTION ENTRANCE

N.T.S.



SECTION A-A

N.T.S.



SITE SOIL AND WATER MANAGEMENT PLAN

SCALE 1:100

DATE	No.	AMENDMENT	ISSUE

THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF GLENN HAIG & PARTNERS

ARCHITECT :

WALTER BARDA DESIGN

PROJECT :

GARAGE ADDITIONS & ALTERATIONS WORKS
112 ILUKA ROAD
PALM BEACH NSW 2108



TITLE : HYDRAULIC SERVICES
SITE SOIL AND WATER
MANAGEMENT PLAN

Date :	JULY 22	Drawn :	DM
Scales :	1:100 @ A1	Checked :	GH
Job No. :	223626	Cod File No. :	223626H000
		Drawing No. :	SW001