

Pittwater Council

OFFICIAL RECEIPT

22/02/2005 Receipt No: 162249

TO URBAN APPROVALS P/L

PRIVATE BOX 39
SOUTHLANDS CENTRE
PENRITH NSW 2750

Applic.	Reference	Amount
GL Recei	PRVC-Priv Iss	\$30.00
	1 X N0185/04	

Total: \$30.00

Amounts Tendered

Cash	\$0.00
Cheque	\$30.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 22/02/2005 12:44:04 PM

Cashier: CLummas



162249
NO 185/04

Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

1. Location and Title Description of the Property/Land:

Street No & Street: 19 Grevillea Avenue
Suburb: WARRIEWOOD
Lot(s): 3006
Section:
Deposited Plan(s): 1065726
Strata Plan:
Other:

2. Applicant:

Family/Company Name: Maincom Pty Ltd
Given Names/ACN:
Postal Address: 6/119 Coreen Ave
PENRITH 2750

3. Principal Certifying Authority:

Name: Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.: # 6328
Accreditation Body: Department of Infrastructure Planning and Natural Resources (NSW)

PCA's Signature: W B Norris

Certification Details

4. Particulars

Determination: ☒ Approved ☐ Refused

Construction Certificate

Determination Date: 17th February 2005

Construction Certificate No.: PC02805

Building Code of Australia 1a & 10a

Classifications:

DA Consent No. and Date: N0185/04 20th May 2004

Building Details: Two storey dwelling

5. **PCA's Certification Statement**

I, Warrick Norris, certify, that building work completed in accordance with the documentation accompanying the Construction Certificate Application made by the Applicant named in this certificate (with such modifications verified by me and Urban Approvals as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Act Regulation 2000, as required by section 81A (5) of the Environmental Planning and Assessment Act 1979.

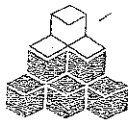
PCA's Signature & Date:

W Norris

17/2/05

6. **Construction Certificate Attachments**

- ☐ Structural Engineer's Plans by Palitha S Wijesena & Associates Pty Ltd 6915/35a-39
- ☐ ACE Hydraulic Engineer's Plans drawing number 0405-37 A1 (Sheets 1-2)
- ☐ Signed Urban Approvals Pty Ltd Application Forms
- ☐ Photographic Survey by Maincom Pty Ltd
- ☐ Plans by Maincom Pty Ltd A101/3006- A202/3006 Issue A dated 13/12/04



LONG
SERVICE
PAYMENTS
CORPORATION

Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250
Telephone: 13 14 41 Facsimile: (02) 9287 5685
All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FOR

0233610

PLEASE PRINT ALL DETAILS USING CAPITAL

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE TO PAY LEVY

Surname (if person) or Company/Organisation Name **MAINCOMP/L**
Given Names (if person)
ABN (if applicable) **23090619174**
POSTAL ADDRESS
No. and Street or P.O. Box **LOCKED BAG 89**
Town/Suburb **PENKITH**
State **NSW** Postcode **2750** Business Hours Phone No. **47225900**

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street **19 GREVILLEA AVENUE**
Town / Suburb **WARRIEWOOD**
State **NSW** Postcode **2102**
Estimated Start Date **14/02/2005** Estimated Finish Date **15/10/2005**

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **PITWATER**
D.A./C.C./C.D.C. No. (circle which) **P** **C02805**
Estimated value of work \$ **381,611:00** Levy Payable \$ **763:00**

Signature of Officer/Private Certifier *W. Norris*

Date: **15/2/05**

Name of Officer/Private Certifier *Warrick Norris*

Business Hours Phone No. (Private Certifier) **1500304420**

NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept/authority where applicable - see reverse

Dept./Authority
Contract No. Contract Amount: \$
Levy Payable \$

Contact Person (Print)

Signature:

Contact Phone Number

Date: **/ /**

Part E - DECLARATION - (To be signed by person liable to pay levy - or authorised officer if Company)

I declare that the information provided on this form is true and correct to the best of my knowledge

Signature: *Jimmy Daabol*

Date: **10/2/05**

NOTE: Any false or misleading information provided on this form may result in prosecution under Section 58A

Print name: **JIMMY DAABOL**

Part F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No.



Certificate of Insurance

Maincom Pty Ltd
Locked Bag 89
PENRITH NEW SOUTH WALES 2751

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: November 04, 2004
Declared Building Contract Value: \$381,611.60

(Refer policy for indemnity limit)

Carried Out By: Maincom Pty Ltd
ABN: 23080619174
Licence No: 51707C
For: Stockland Development Pty Ltd

In Respect Of: Single Dwelling
At: House No. 19
Grevillea Avenue
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

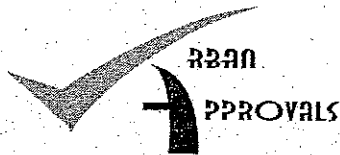
Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N 1AJ4Y9SJL62X

Printed 18/11/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807



Construction Certificate Application

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

Receipt of Application

Date:

14/2/05

Delivery by:

☒ Hand

☐ Post

☐ Electronic Transmission

(Must not be by facsimile)

Signed by Urban Approvals:

WBNers

Application & Site Details

1. DA, Consent Details:

(You may only make this application if you already have development consent)

DA No.:

NO 145 / 04

Consent No.:

Consent Date:

Building Code of Australia

Classification:

(As specified on the Consent)

2. Applicant:

Family/Company Name:

MAIN COM P/L

Given Names/ACN:

Postal Address:

LOCKED BAG 89 PENRITH
2750

Phone:

4722 5900

Facsimile:

4722 3200

Contact Person:

JIMMY DAABOL

3. Owner(s) of Property:

Family/Company Name:

STOCKLANDS

Given Names/ACN:

Postal Address:

177 LIVERPOOL ST. SYDNEY

Phone:

9020 8240

4. Location and Title Description of the Property/Land:

Street No & Street:

19 GREVILLEA AVE.

Suburb:

WARRIEWOOD.

Lot(s):

3006

Section:

Deposited Plan(s):

1065726

Strata Plan:

Other:

5. Description of Building Work:

Detailed Description:

TWO STOREY BRICK VENEER HOME.

6. If required, have you provided:

4 copies of the detailed building plans

2 copies of any compliance certificates to be relied upon

4 copies of the specifications

proposed/existing fire safety measures

2 copies of certified engineering details

design verification statement (certain residential flat buildings)

Other.....

7. Estimated Cost of the Development

\$ 361,611.00

8. Builder/Owner Builder

Name:

MAINCOM P/L

Contact Phone No.:

4722 5100

Contractor Licence No.:

OR

Owner Builder Permit No.:

(Required for residential building over
exceeding \$5,000)

9. Do you need:

(If YES, please attach proof of payment and/or compliance)

(a) to pay the Building Industry Long Service Levy?

(Required if development involves building work which exceeds \$24,999)

Yes

Not Applicable

(b) Home Building Act Insurance?

(Required if using builder for residential building work which exceeds \$12,000. A certificate of insurance must be provided with this Application)

Yes

Not Applicable

(c) to register with the Australian Taxation Office under the prescribed payments scheme?

Yes

Not Applicable

10. Have you complied with all the conditions of development consent that require specific matters to be completed or satisfied before a construction certificate may be issued?

(eg. Landscape & drainage plans, drainage calculations, section 94 contributions)

Yes

Not Applicable

11. List of documents accompanying this Application:

ARCHITECTURAL
STRUCTURAL
HYDRAULIC
LANDSCAPE

12. Schedule

(The attached schedule is to be completed for the purpose of providing information to the Australian Bureau of Statistics.)

Payment of Fees

1. Fees and Charges:

The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule, as updated and/or amended from time to time.

Execution

14. Owner's Consent:

(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s: REFER TO LETTER. Date:

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence (eg power of attorney, executor, trustee, director).

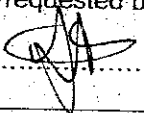
Signature on behalf of Owner/s: Date:

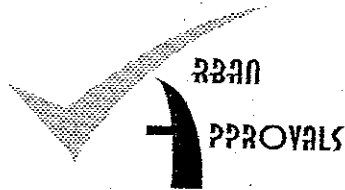
15. Applicant's Declaration

DECLARATION

I apply for a Construction Certificate to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- (a) If incomplete, the application may be delayed or rejected, and
- (b) More information may be requested by Urban Approvals prior to determination.

Signature of Applicant: 



Building Schedule

Area of Subject Property (m ²) 330m²	Gross Area of Existing Building (m ²) N/A
Gross Floor area of Proposed Addition / Building (m ²)	Current use(s) of the Buildings / Land VACANT
Proposed use(s) of the building / Land RESIDENTIAL	Does the Site Contain or Propose a Dual Occupancy NO
Number of Pre Existing Dwellings N/A	Number of Buildings to be Demolished N/A
Number of Buildings Proposed ONE	Number of Storeys Proposed TWO

Please tick the Relevant Description of Materials Proposed for Construction

Walls	Roof	Floor	Frame	
Brick Veneer (12)	Aluminium (70)	Concrete (20)	Timber (40)	
Full Brick (11)	Concrete (20)	Timber (10)	Steel (60)	
Single Brick	Concrete Tile(10)	Other (80)	Other (80)	
Concrete Block (11)	Fibrous Cement (30)	Unknown (90)	Unknown (90)	
Concrete / Masonry (20)	Fibre Glass (80)			
Steel (60)	Masonry Shingle Tiles (10)			
Fibrous Cement (30)	Terracotta Shingle Tiles (10)			
Hardi-Plank (30)	Tiles (10)			
Timber (40)	Slate (20)			
Weatherboard (40)	Steel (80)			
Aluminium Cladding (70)	Terracotta Tiles (10)			
Curtain Glass (50)	Other (80) (Specify)			
Other (80) (Specify)				

Notes for Construction Certificate Applications

In accordance with Schedule 1 Part 3 of the Environmental Planning and Assessment Regulation 2000 ("Regulations"), the following documents must accompany ALL applications for a construction certificate.

(1) An application for a construction certificate must be accompanied by the following documents:

- (a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house):
 - (i) a detailed description of the development, and
 - (ii) appropriate building work plans and specifications,
- (b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion):
 - (i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
 - (ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work,
- (c) if the development involves subdivision work, appropriate subdivision work plans and specifications,
- (d) in the case of development to which clause 6A of Schedule 1 to the Regulations applies, such other documents as any BASIX certificate for the development requires to accompany the application.

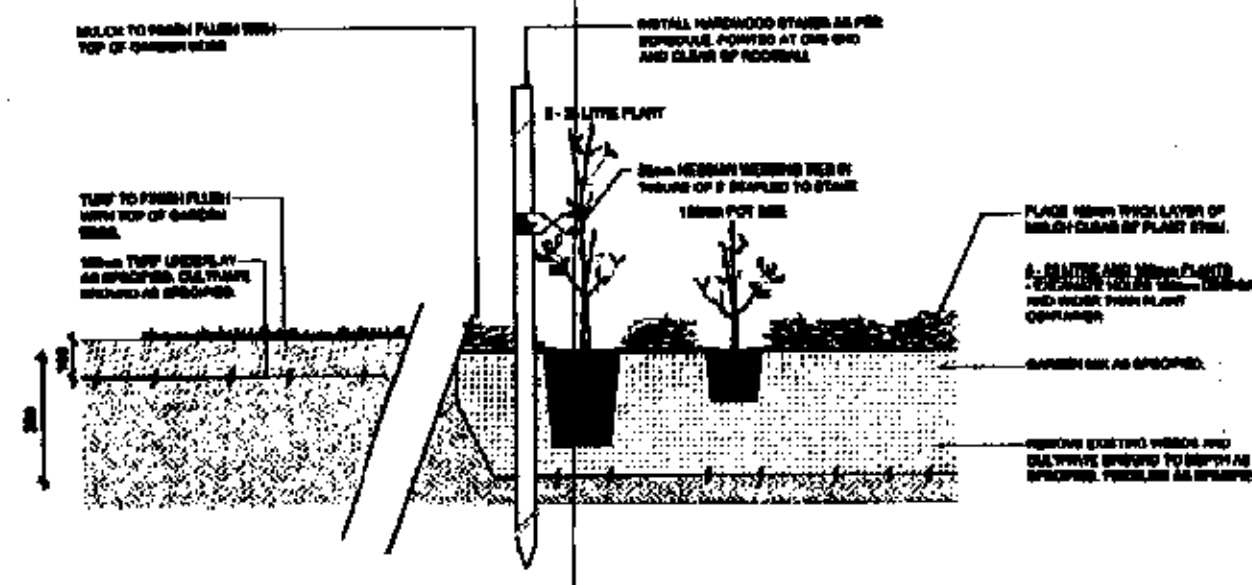
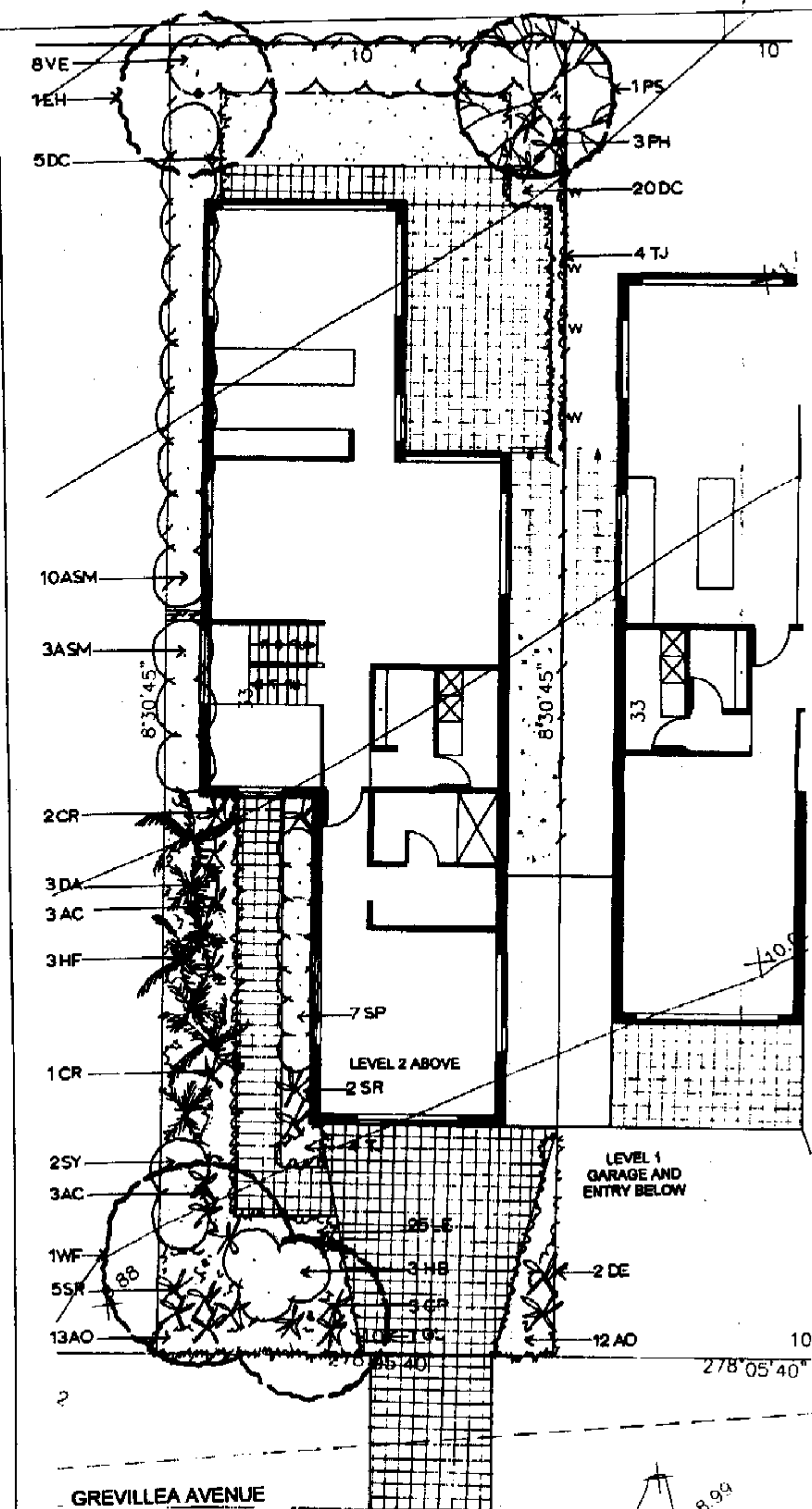
(2) A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters:

- (a) for each proposed new building:
 - (i) the number of storeys (including underground storeys) in the building,
 - (ii) the gross floor area of the building (in square metres),
 - (iii) the gross site area of the land on which the building is to be erected (in square metres),
- (b) for each proposed new residential building:
 - (i) the number of existing dwellings on the land on which the new building is to be erected,
 - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building,
 - (iii) the number of dwellings to be included in the new building,
 - (iv) whether the new building is to be attached to any existing building,
 - (v) whether the new building is to be attached to any other new building,
 - (vi) whether the land contains a dual occupancy,
 - (vii) the materials to be used in the construction of the new building (using the abbreviations set out in clause 7 of Schedule 1 of the Regulations).

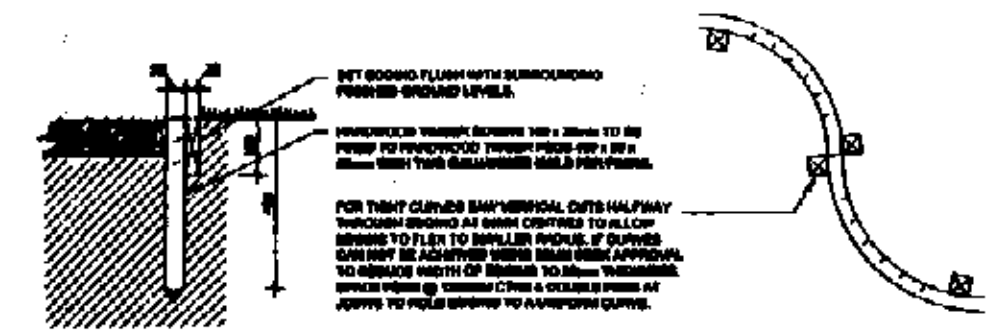
3) Appropriate building work plans and specifications referred to in subclause (1) (a) (ii) include the following:

- (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
 - (i) a plan of each floor section, and

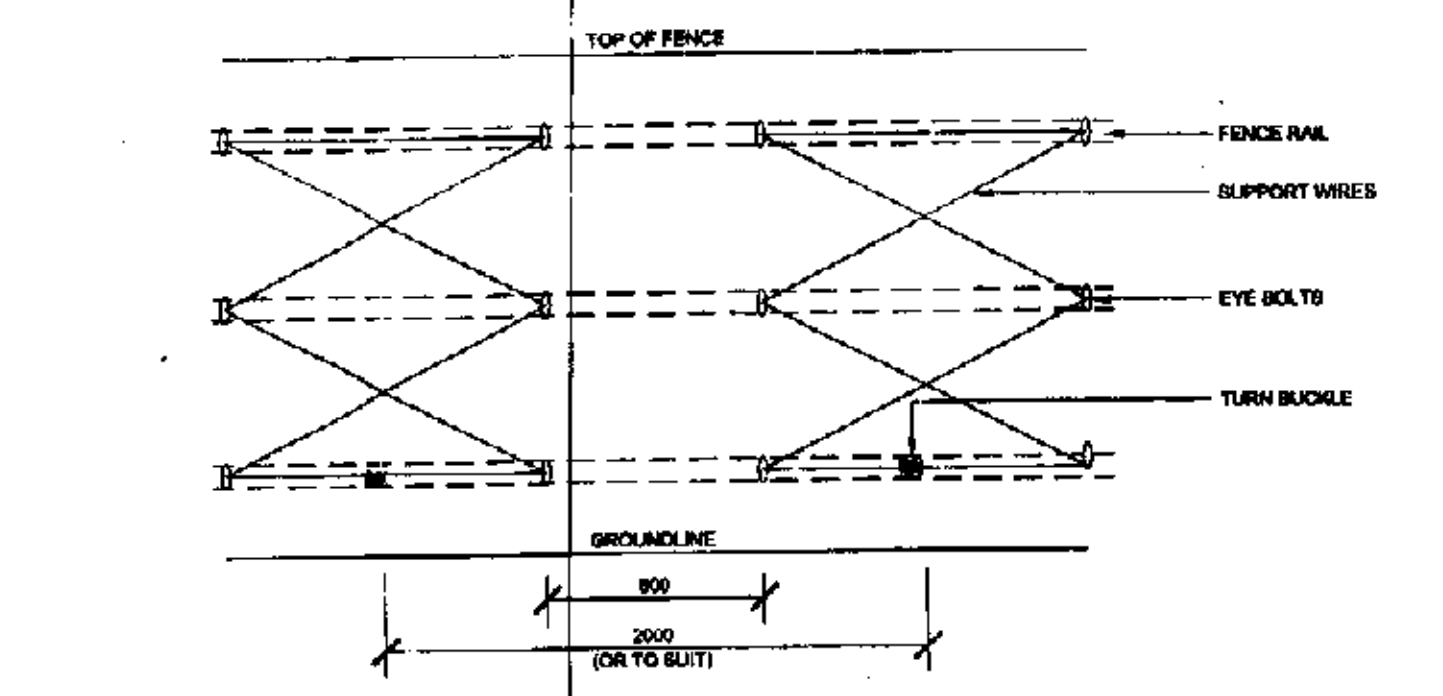
- (ii) a plan of each elevation of the building, and
- (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
- (iv) the height, design, construction and provision for fire safety and fire resistance (if any),
- (b) specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
- (c) a statement as to how the performance requirements of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
- (d) a description of any accredited components, processes or design sought to be relied on,
- (e) copies of any compliance certificate to be relied on,
- (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,
- (g) in the case of development to which clause 6A applies, such other matters as any BASIX certificate for the development requires to be included in the plans and specifications.
- (3A) An application for a construction certificate that relates only to fire link conversion need only be accompanied by a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.**
- (4) Appropriate subdivision work plans and specifications referred to in subclause (1) (c) include the following:**
 - (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),
 - (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,
 - (c) detailed engineering plans as to the following matters:
 - (i) earthworks,
 - (ii) roadworks,
 - (iii) road pavement,
 - (iv) road furnishings,
 - (v) stormwater drainage,
 - (vi) water supply works,
 - (vii) sewerage works,
 - (viii) landscaping works,
 - (ix) erosion control works,
 - (d) copies of any compliance certificates to be relied on.



1 MASS PLANTING AND TURFING



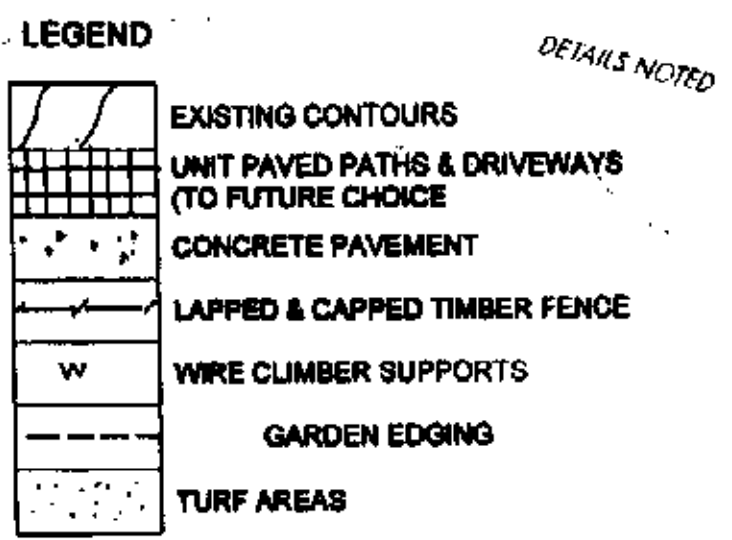
3 TIMBER EDGE



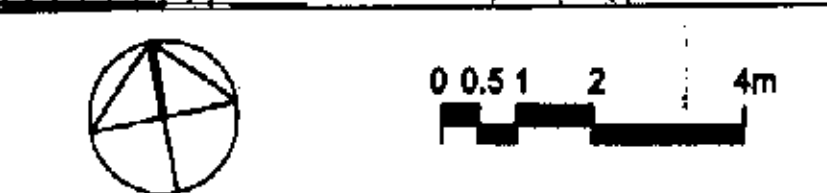
2 CLIMBER WIRE SUPPORTS

Sym	Species	Common Name	Mature Height	Qty	Pot Size	Spacing	Staking
TREE SPECIES							
EH	Eucalyptus haemastoma	Scribbly Gum	15.0m	1	45 litre	As shown	2 x 50 x 60 x 1800
OL	Glochidion lindenianum	Cheese Tree	8.0m	1	45 litre	As shown	1 x 38 x 38 x 1500
PS	Pterocarya alba	Chinese Pistacia	10.0m	1	45 litre	As shown	1 x 38 x 38 x 1500
WF	Wisteria floribunda	Giant Water Gum	15.0m	1	45 litre	As shown	1 x 38 x 38 x 1500
SHRUBS & HEDGES							
ASM	Acmena smithii 'Minor'	Lily Pilly	3.0m	13	25 litre	1.5m	1 x 38 x 38 x 1500
HB	Hibiscus 'Delight'	Hibiscus	2.0m	3	5 litre	1.5m	-
SY	Syzygium 'Cascade'	Lily Pilly	1.5m	2	5 litre	1.2m	-
SP	Syzygium 'Pathfinder'	Dwarf Lily Pilly	1.0m	7	5 litre	1.0m	-
VE	Viburnum 'Emerald Lustre'	Sweet Viburnum	2.0m	8	25 litre	1.5m	-
DETAIL PLANTS							
AC	Alpinia caerulea	Native Ginger	1.0m	6	5 litre	1.0m	-
OP	Crinum pedunculatum	Swamp Lily	1.0m	3	5 litre	1.2m	-
CR	Cordyline 'Rubra'	Red Cordyline	1.0m	3	5 litre	1.0m	-
DA	Dicksonia antarctica	Soft Tree Fern	1.5m	3	Var.	2.0m	-
PALMS							
DE	Doryanthea excelsa	Gymea Lily	1.5m	2	5 litre	1.5m	-
PH	Phormium 'Maori Maiden'	NZ Flax	1.2m	3	5 litre	1.2m	-
SR	Streitizia reginae	Bird of Paradise	1.2m	7	5 litre	1.0m	-
GROUNDCOVERS							
AD	Agapanthus orientalis	Agapanthus	0.8m	25	5 litre	0.75m	-
DC	Dianella caerulea	Flax Lily	0.5m	25	150mm	0.6m	-
LE	Liriope 'Evergreen Giant'	Lily Turf	0.4m	25	180mm	0.4m	-
CLIMBERS							
TJ	Trachelospermum jasminoides	Star Jasmine	3.0m spread	8	5 litre	As shown	Wire Climber supports (4 only)

NOTE:
1. *DENOTES DECIDUOUS TREES. PISTACIA, A DECIDUOUS TREE, HAS BEEN USED TO PROVIDE SOLAR ACCESS TO NORTH FACING REAR COURTYARD
2. ONLY ONE CANOPY TREE GREATER THAN 8.5M CAN BE PLANTED IN SOUTH FACING FRONT YARD, DUE TO LIMITED PLANTING AREA AVAILABLE



Issue	Comments	Date
1	FOR D.A. APPROVAL	18/12/04
2	CANOPY TREE AMENDMENTS - CANCEL COMMENTS	21/11/04

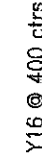
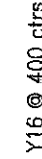


Stockland

Landscape Architects
MATHES & ASSOCIATES
LANDSCAPE ARCHITECTS
111 CATHERINE STREET
SYDNEY NSW 2000
TEL: (02) 9550 1100 FAX: (02) 9550 1105
EMAIL: mathes@mathes.com.au

Client: STOCKLAND TRUST GROUP
Project: FERNBROOK, STAGES WARRENWOOD
Title: LANDSCAPE PLAN - LOT 3006

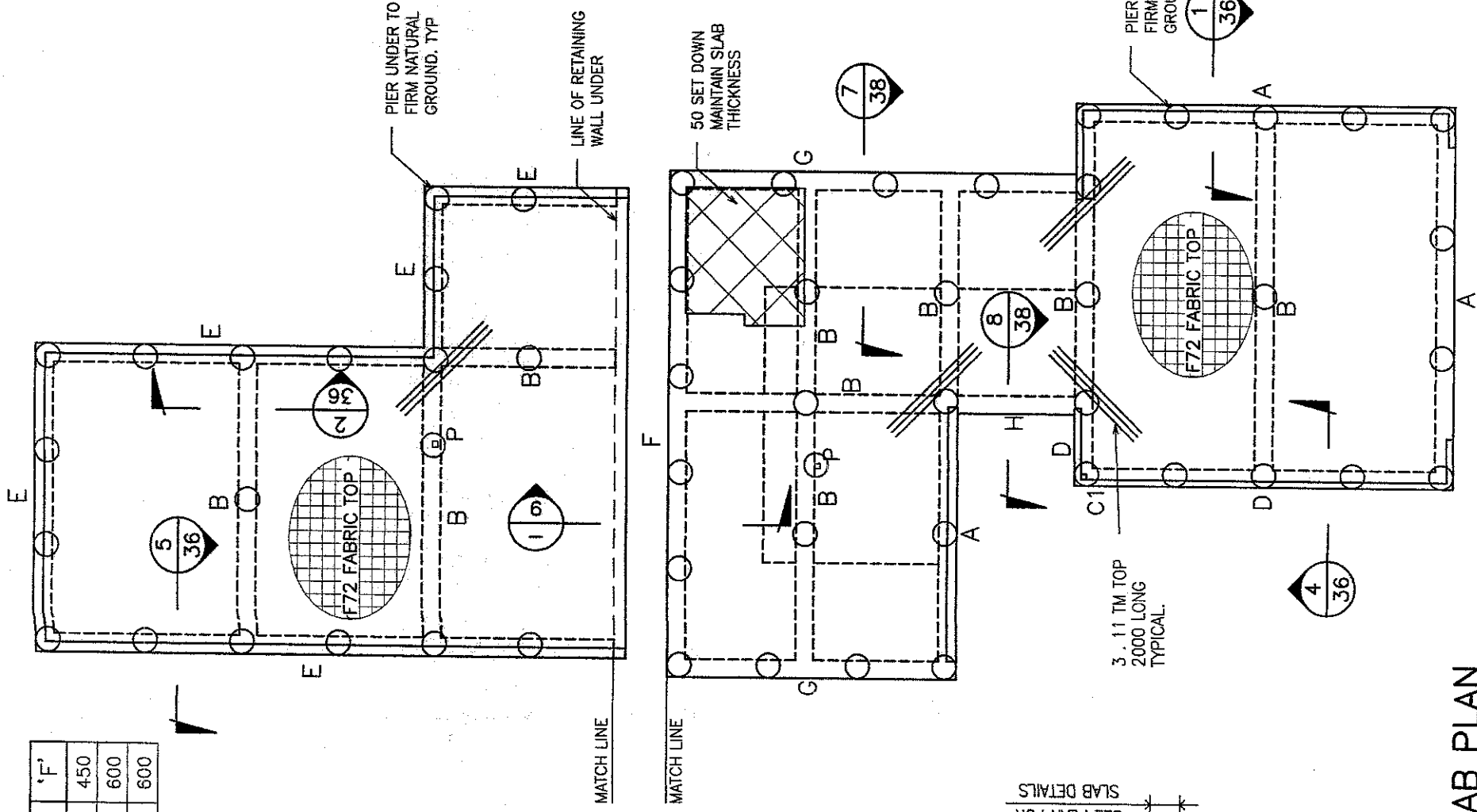
Scale: 1:100
Date: DEC 03
Desig. No.: L-01
Job No.: 0310185
Designed: DH
Drawn: DH
Checked: JD
Issue: B

Y16 @ 400 ctsY16 @ 400 cts

FILL ALL CORES WITH GROUT (15 MPa)
10mm max. AGGREGATE

ADDITIONAL REINFORCEMENT AS SHOWN
PROPOSED PIER LAYOUT AS SHOWN
TO BE CONFIRMED ON SITE.

P - 90X90 (HW) POST
C1 - SHS 90X4



SLAB 100mm THICK WITH 1 LAYER OF F72 FABRIC
IN TOP UNLESS NOTED OTHERWISE, LAID ON
200MM WATERPROOF MEMBRANE ON 50mm SAND
BLINDING ON WELL COMPACTED GRANULAR FILL.
THE FILLING IS TO BE PLACED & COMPACTED TO
AVOID ANY DEFLECTION & SETTLEMENT IN THE SLAB.

IF THE SITE IS CUT & FILLED:
THE EXTERNAL BEAMS INDICATED, WHERE NOT
BEARING ON FIRM NATURAL GROUND, MUST BE
PIERED TO FIRM NATURAL GROUND (HAVING A SAFE
BEARING CAPACITY OF 300 kPa MINIMUM) BELOW
THE FILL & TOP SOIL, USING 400 DIA. PIERS
AT 1.8m ctrs.

WHERE DEPTH OF ROLLED FILL BELOW SLAB EXCEEDS 400mm THE INTERNAL BEAMS INDICATED MUST BE PIERED TO FIRM NATURAL GROUND USING 400 DIA. PIERS AT 3.3m max. ctrs.

IF LOAD BEARING BEAMS ARE BEARING ON NON-STRUCTURAL FILL, THE FOLLOWING PIER ARRANGEMENT SHALL BE USED:

FOR 210 kPa PRESSURE (CLAY STRATUM):	400 DIA. BORED PIERS AT 1.8m ctrs OR 600x300 BULK PIERS.
FOR 400 kPa PRESSURE (SHALE OR ROCK):	300 DIA. BORED PIERS AT 1.8m ctrs OR 600x300 BULK PIERS.

ALL STRIP FOOTINGS ARE TO BE FOUNDED DIRECTLY ON, OR PIERED DOWN TO FIRM NATURAL GROUND WITH AN ALLOWABLE MINIMUM BEARING PRESSURE OF 150 kPa.
PIERS SHOULD BE 400 DIA. & SPACED AT 1.8m ctrs.

IF SHALE OR ROCK IS ENCOUNTERED IN THE TRENCHES OR PIER HOLES, THE ENTIRE BEAM SYSTEM MUST BE PIERED DOWN TO THIS STRATA.

THE EDGE BEAMS ARE TO HAVE A MINIMUM PENETRATION OF 150mm INTO THE FIRM NATURAL GROUND.
TOP OF SLAB IS TO BE 250mm ABOVE THE EXTERNAL GROUND LEVEL.

PROVIDE ADDITIONAL BRICK ARTICULATION JOINTS
AS REQUIRED

DETAILS NOTED

THIS DRAWING IS SIGNED SUBJECT TO A INSPECTION
CERTIFICATE BEING ISSUED BY THIS OFFICE.
ALL REINFORCEMENT SHALL BE INSPECTED BY
THIS OFFICE PRIOR TO POURING CONCRETE.

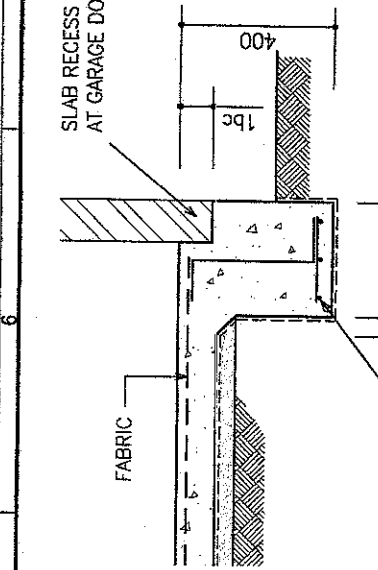
	A	8.12.04		REVISED TO SUIT CLIENT
	REV	DATE		AMENDMENTS
PROPOSED RESIDENCE AT:				
LOT 3006 FERNBROOK ESTATE WARRLEWOOD FOR STOCKLAND				
Builder:				
			Job No:	Design:
			MAINCOM	

Palitha S. Wijesena & Associates Pty Ltd

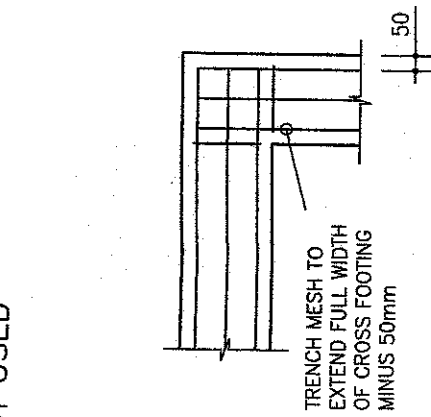
ABN 71 067 121 091
Consulting Civil & Structural Engineers
36 Doulton Drive, Cherrybrook, NSW 2126
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

6915-35A SLAB	Drawing Title:		Scale: 1:100	Drawing No:	M.J.E. Aust.: M.J.C.E. (U.K.): N.P.E.R. Sc.(Eng.) V.C.P. Eng:	M.J.E. Aust.: M.J.C.E. (U.K.): N.P.E.R. Sc.(Eng.) V.C.P. Eng:
	Date: 7.10.04					
AR		Drawing:		M.J.E. Aust.: M.J.C.E. (U.K.): N.P.E.R. Sc.(Eng.) V.C.P. Eng:		

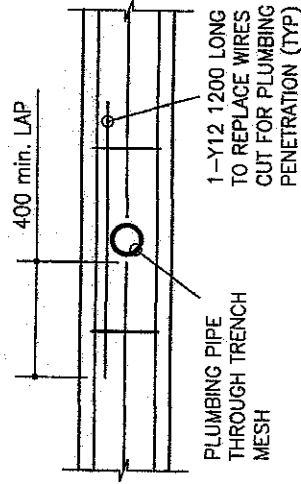
THE SITE CLASSIFICATION IS CLASS 'M'
REFER GEOTECH REPORT NO G22103/1-D
DATED 26 Nov 2003. PREPARED BY
NETWORK GEOTECHNIC Pty Ltd



SECTION 4
TYPE D



FOOTING PLAN
AT INTERSECTION



PLAN OF PLUMBING PENETRATION THROUGH FOOTING

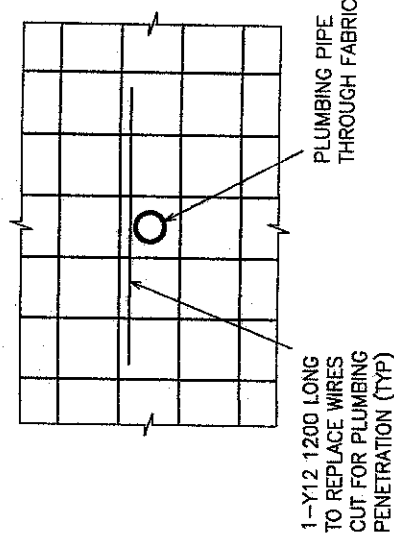
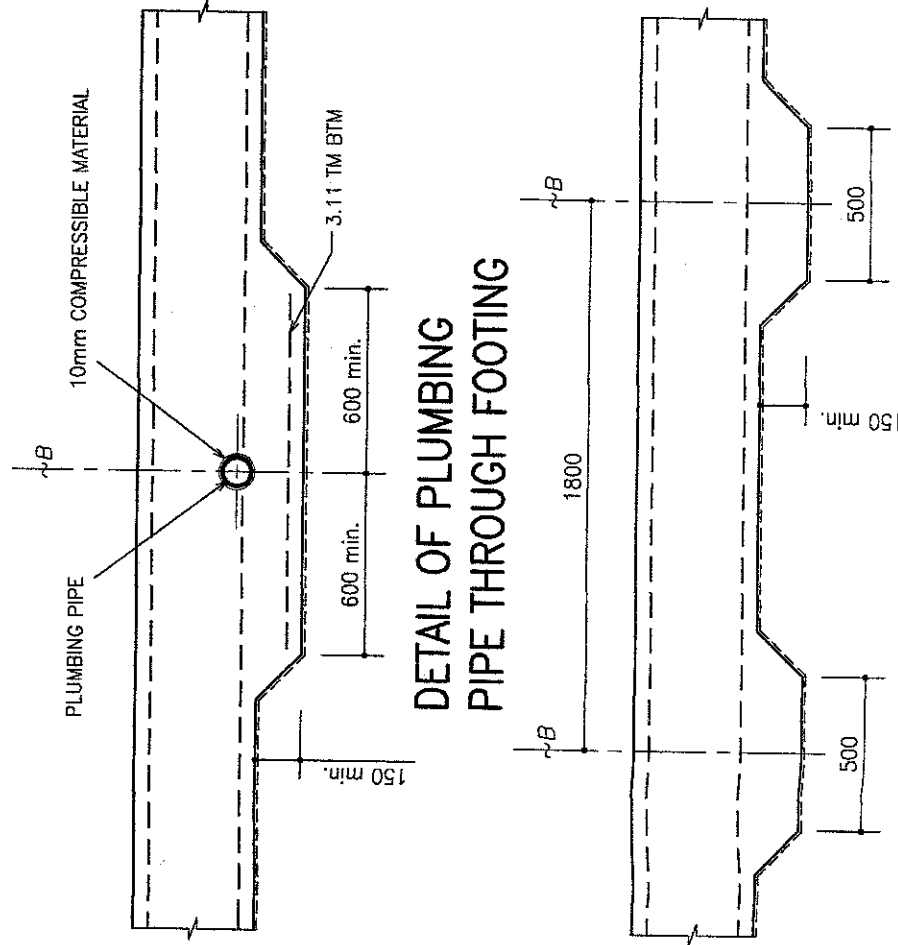


Diagram illustrating the wall construction details. The wall is shown in cross-section, with a vertical section labeled "STUD FRAME" and a horizontal section labeled "PLASTERBOARD". The wall is divided into sections by vertical lines, with the text "WALL TIES EACH SIDE OF EXPANSION JOINT AT EACH THIRD COURSE" indicating the placement of ties.

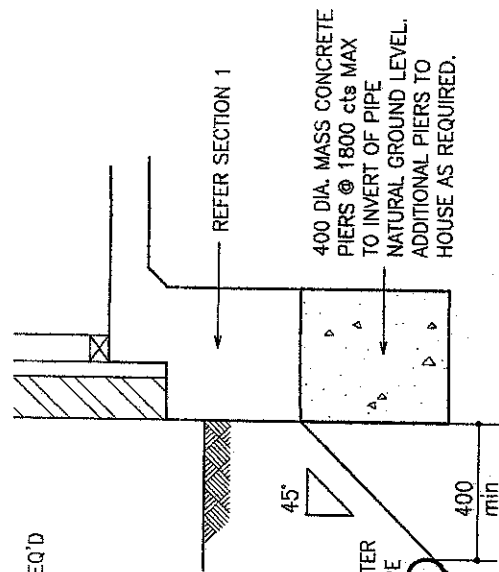
Plan view of the proposed site showing dimensions and site conditions. The site is bounded by a dashed line. Key dimensions include a width of 300 units and a depth of 200 units. A dimension of 3.11 TM is indicated for a specific area. The site is labeled 'SUITE SITE CONDITIONS' and '1200 MAX'. A north arrow is present in the upper right corner.

DROPPED EDGE
BEAM DETAIL



DETAIL OF PLUMBING PIPE THROUGH FOOTING

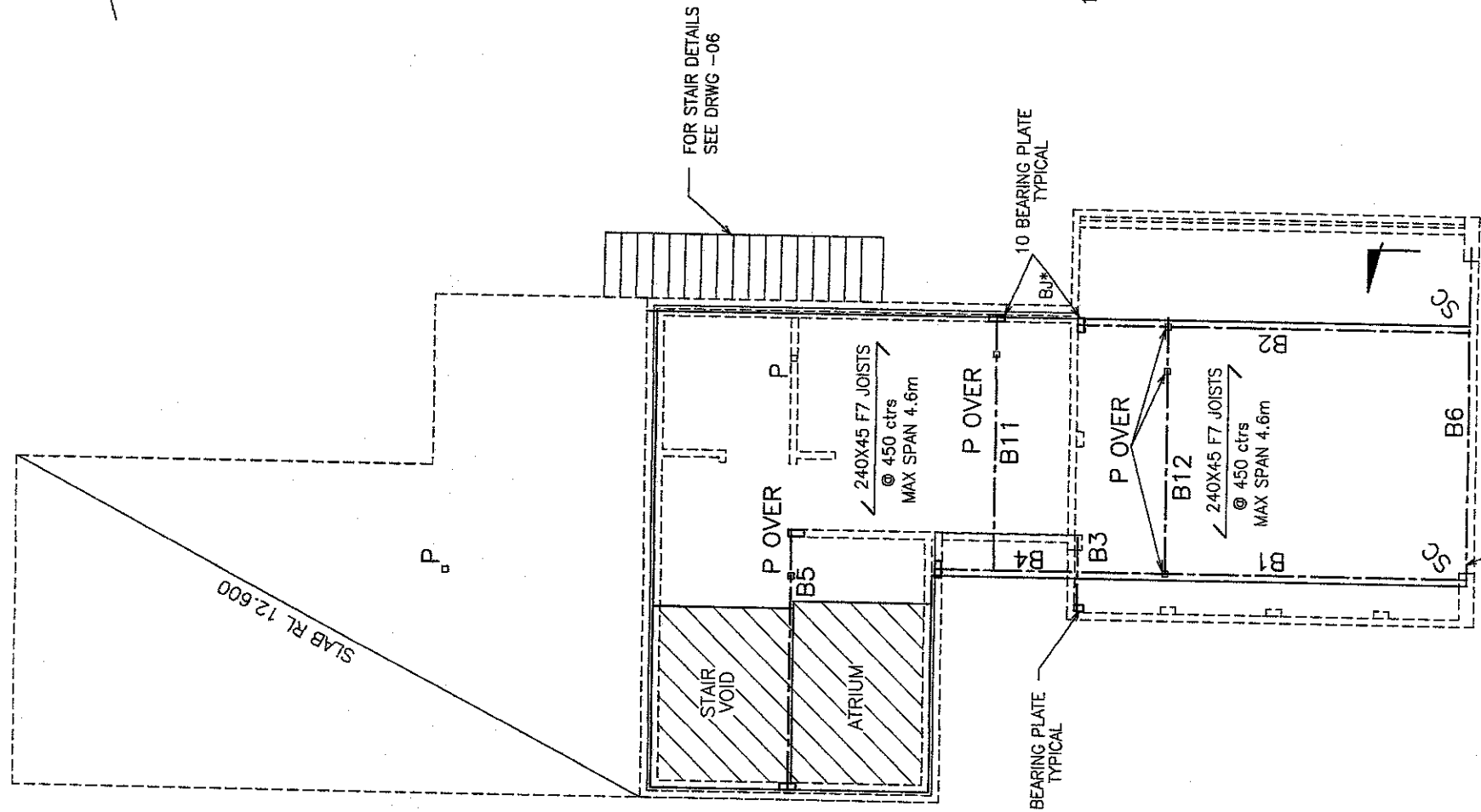
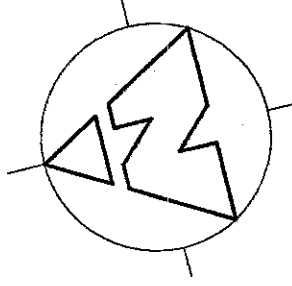
BULK PIER DETAIL



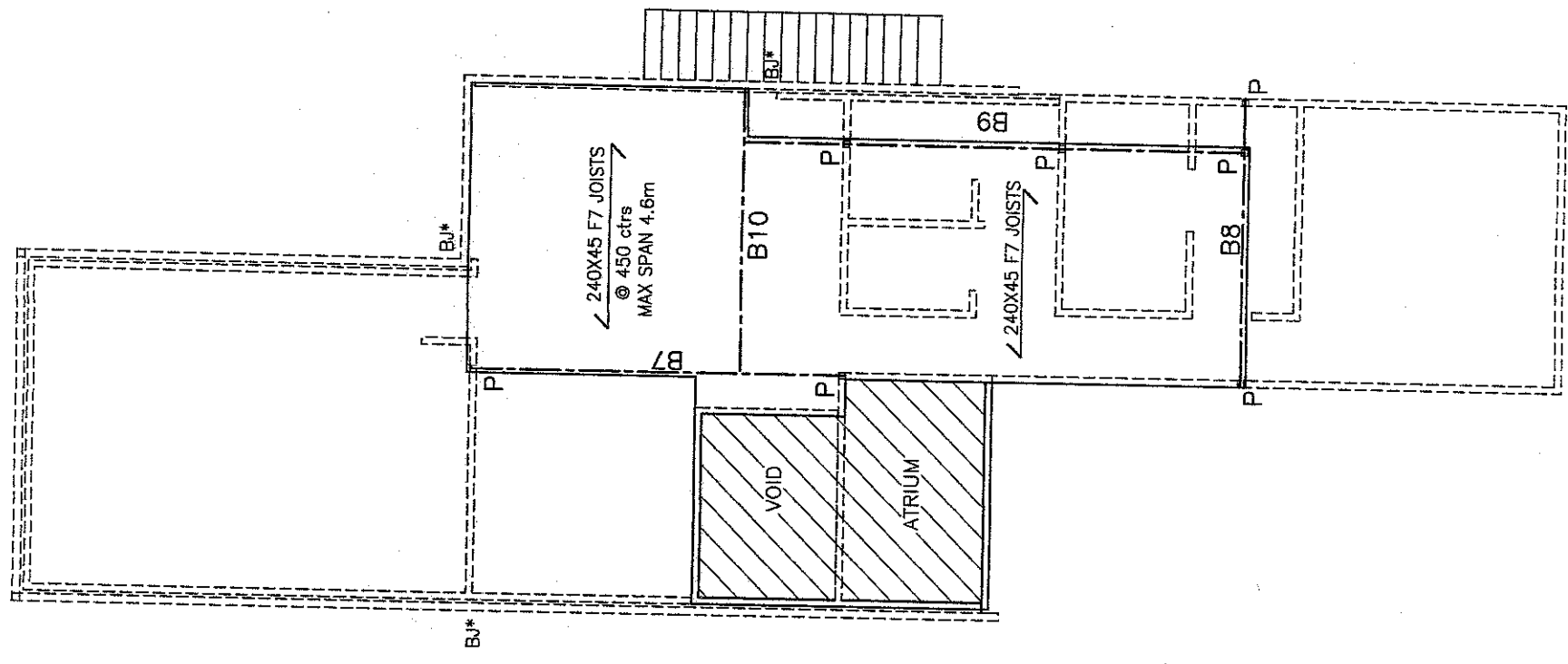
STORMWATER DETAIL

PLAN OF PLUMBING PENETRATION THROUGH SLAB

REV	DATE	AMENDMENTS		
PROPOSED RESIDENCE AT:				
LOT 3006 FERNBROOK ESTATE WARREWOOD FOR STOCKLAND				
Builder:		Job No: Design:		
		Maincom		
Palitha S. Wijesena & Associates Pty Ltd ABN 71 087 121 091 Consulting Civil & Structural Engineers 36 Doulton Drive, Cherrybrook, NSW 2126 Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161				
Certified:				
Drawing Title:		Date:	Scale:	Drawing No.
AR		7.10.04		
Palitha S. Wijesena B.Sc.(Engg.), C.P. Engt., M.I.E.Aust.; N.P.E.R. 				
SLAB DETAILS				
6915-36				



FIRST FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN

BEAM SCHEDULE

MARK No.	SIZE
B1,B2,B6	360UB45-10 PLATE FOR B6
B3	250UB31/250X10 BEARING PLATE
B4,B5	250PFC
B7,B8,B9,10	2-240X43LVL
B11,B12	250UB31
SC	SHS90X3.5
P	90X90 (HW) POST
DJ	DOUBLE JOIST

STEELWORK NOTES:

STEELWORK DESIGNED IN ACCORDANCE WITH AS4100
'STEEL STRUCTURES CODE' & AS1170.1/AS1170.2
'DEAD & LIVE LOADS & WIND LOADS'
STRUCTURAL STEEL TO BE GRADE (BHP 300 Plus) U.N.O.
SURFACE PREPARATION & FINISH TO COMPLY WITH
AS/NZS 2312/1994

REV	DATE	AMENDMENTS
A	8.12.04	REVISED TO SUIT CLIENT

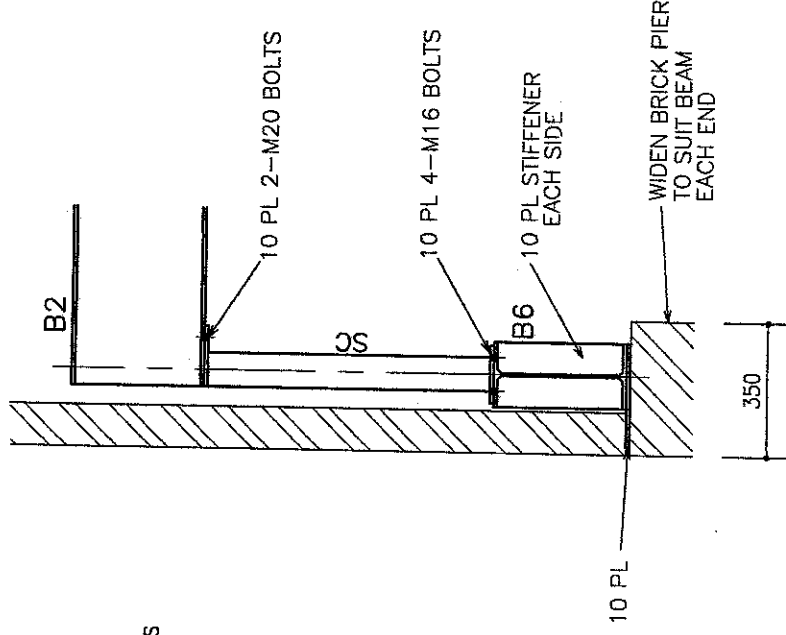
PROPOSED RESIDENCE AT:

LOT 3006
FERNBROOK ESTATE
WARREWOOD
FOR STOCKLAND

Builder: **MAINCOM** Job No: Design:

Palitha S. Wijesena & Associates Pty Ltd
ABN 71 067 121 091
Consulting Civil & Structural Engineers
36 Doulton Drive, Cherrybrook, NSW 2126
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

Certified: [Signature]
B.Sc. (Engg), C.P. Engg, M.I.E., Aust., M.I.C.E. (U.K.), N.P.E.R.
Date: 7.10.04 Scale: Drawing No: 6915-37A
Drawing Title: LEVEL 1 & 2 FRAMING PLAN

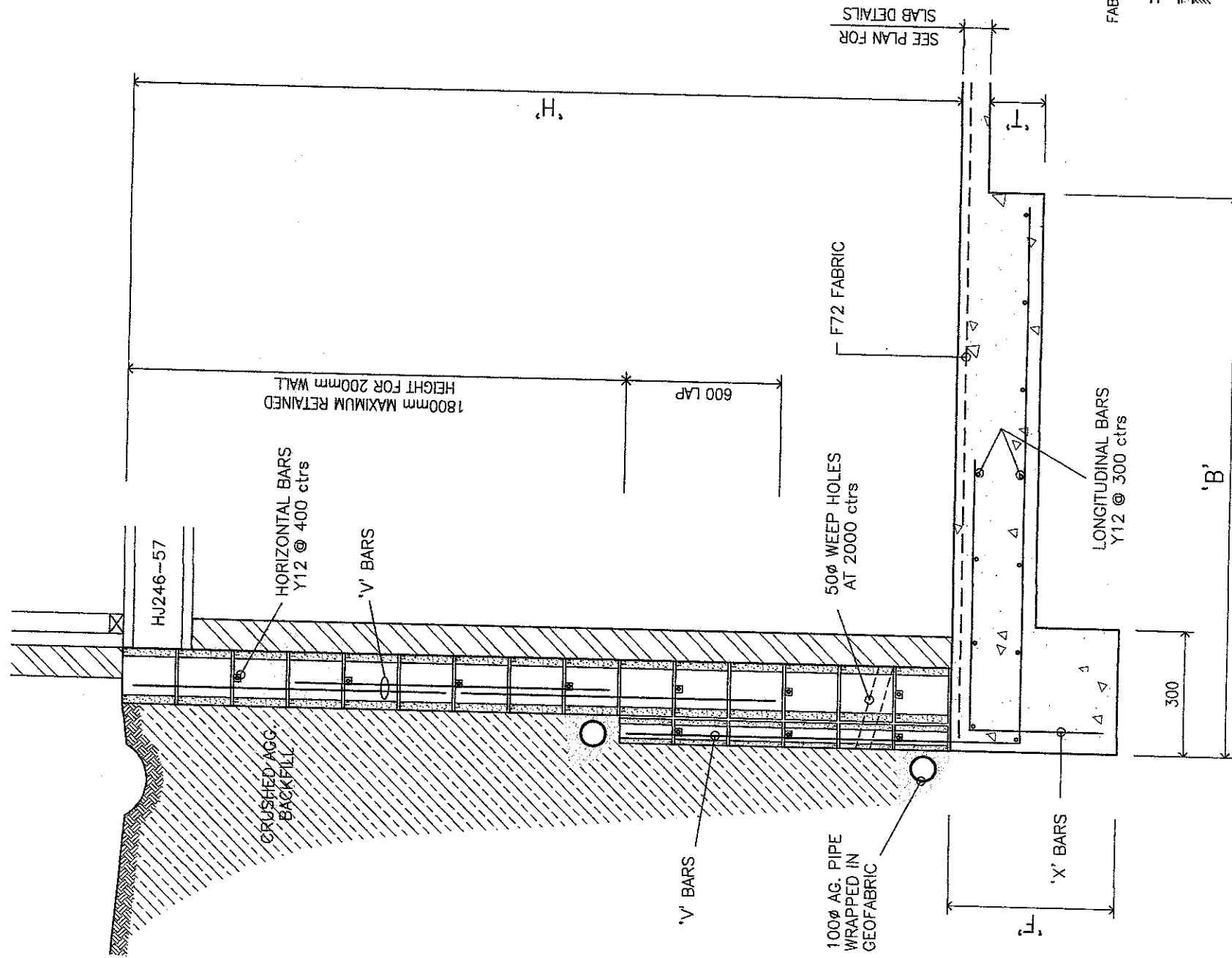


DETAIL A

NOTE:
6mm FILLET WELDED CONNECTIONS
MAY BE USED FOR BEAM TO BEAM
AND BEAM TO COLUMN CONNECTIONS

NOTE:
FOR STEEL DETAILS
SEE DRWG -38

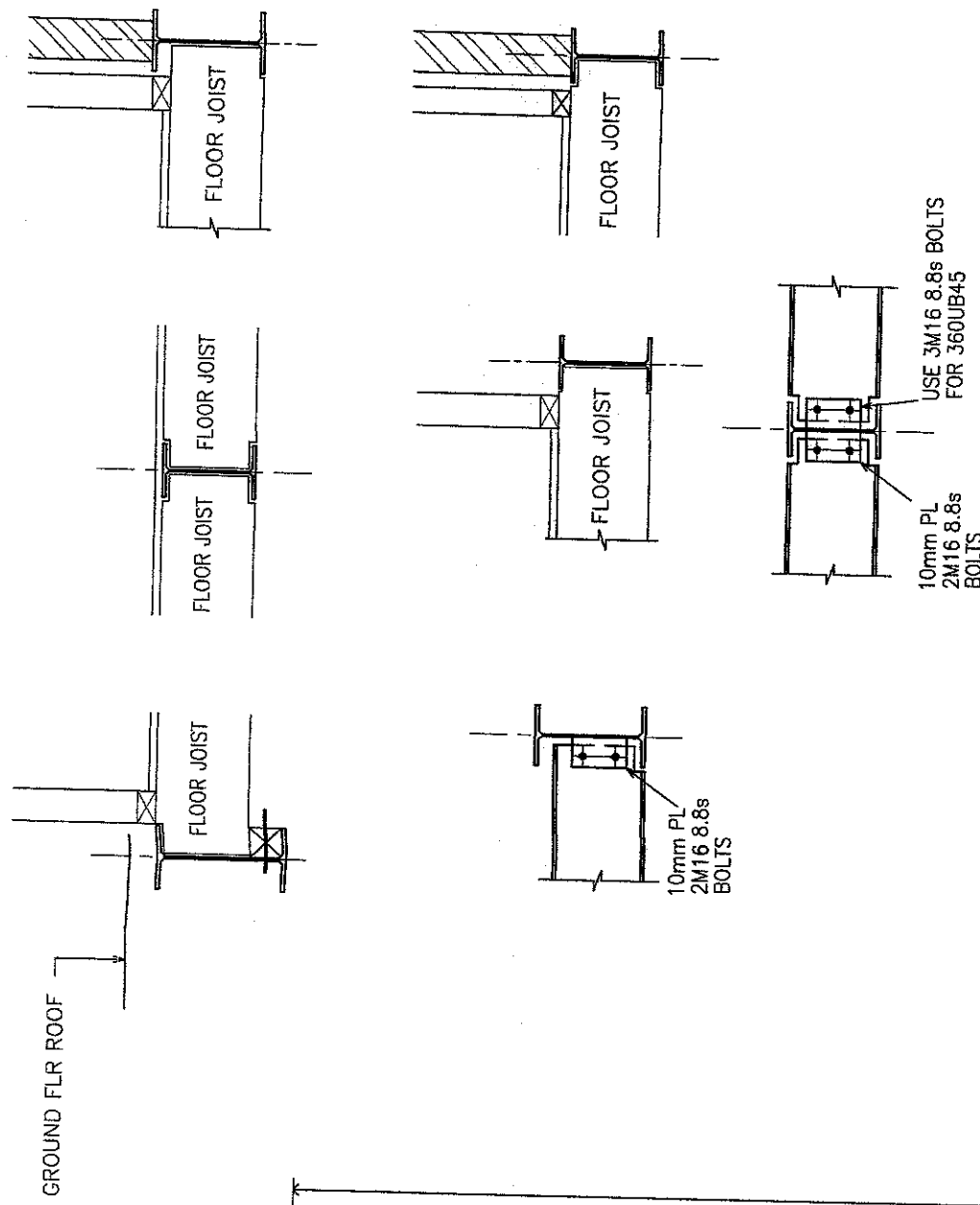
'H'	'B'	'V' BARS	'X' BARS	'T'	'F'
1.8m	1200	Y16 @ 400	Y16 @ 400	200	450
1.8m to 2.6m	1600	Y20 @ 400	Y20 @ 400	300	600
3.0m	2000	Y24 @ 400	Y24 @ 400	300	600



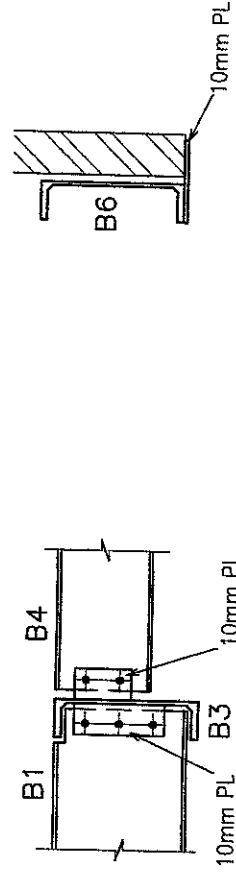
SECTION 7

TYPE C

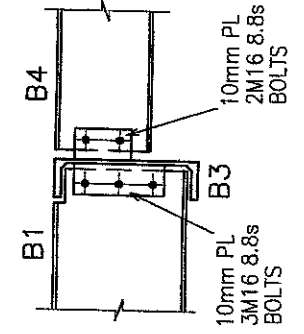
FILL ALL CORES WITH GROUT (15 MPa) 10mm max. AGGREGATE



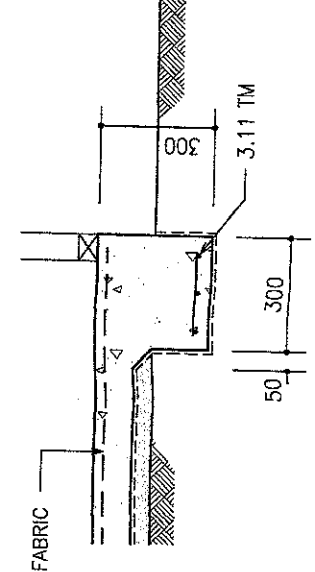
TYPICAL BEAM DETAILS



B6 DETAIL

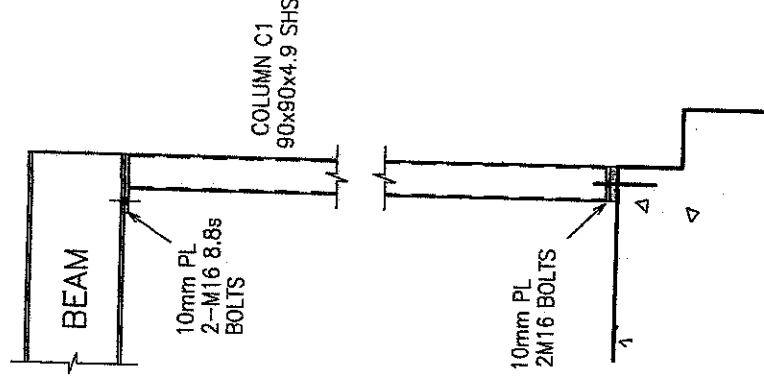


CONNECTION AT B3



SECTION 8

TYPE H



TYPICAL COLUMN DETAILS

NOTE :
5mm FILLET WELDED CONNECTIONS
MAY BE USED FOR BEAM TO BEAM
AND BEAM TO COLUMN CONNECTIONS

PROPOSED RESIDENCE AT:
LOT 3006
FERNBROOK ESTATE
WARREWOOD
FOR STOCKLAND

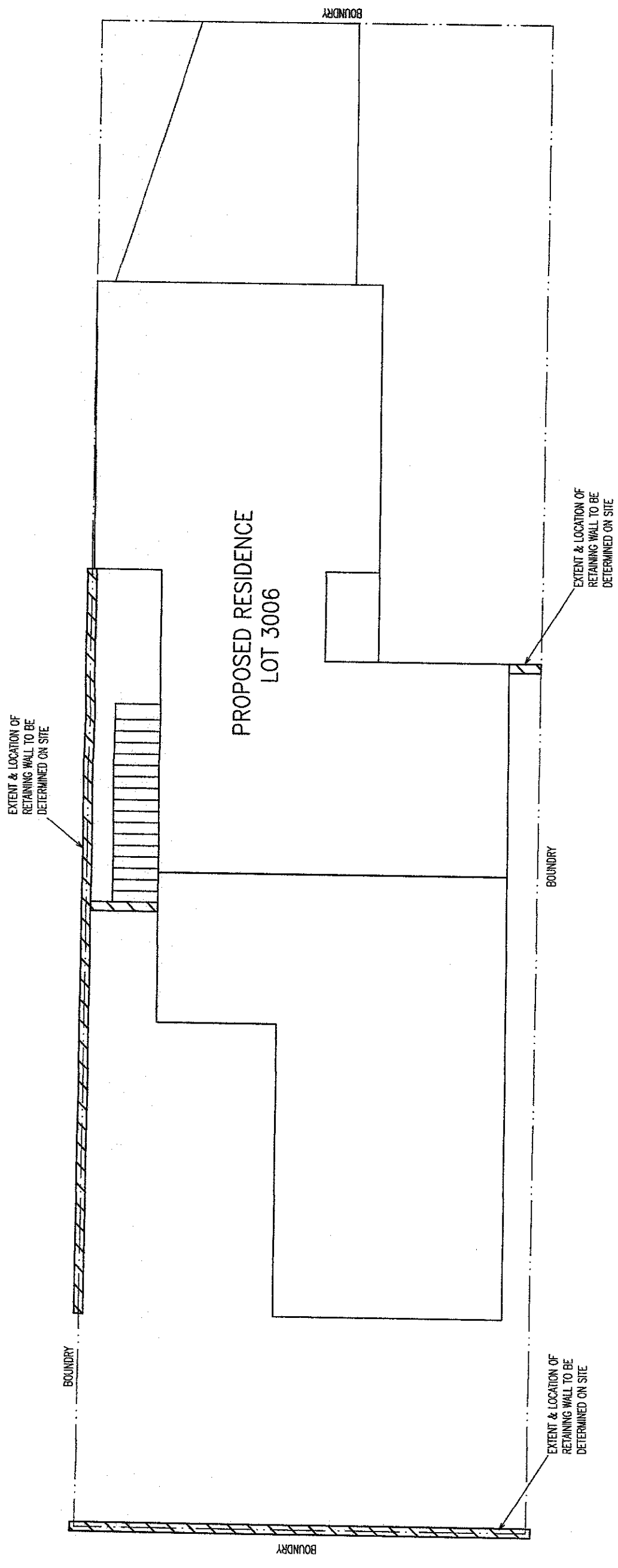
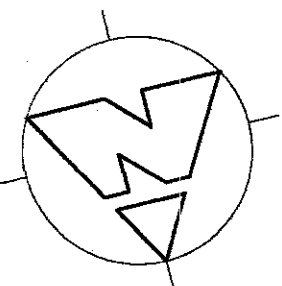
Builder: **MAINCOM**
Job No:
Design:

Palitha S. Wijesena & Associates Pty Ltd
ABN 71 067 121 091
Consulting Civil & Structural Engineers
36 Doulton Drive, Cherrybrook, NSW 2126
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

NOTE:
THIS DRAWING IS SIGNED SUBJECT TO A INSPECTION
CERTIFICATE BEING ISSUED BY THIS OFFICE.
ALL REINFORCEMENT SHALL BE INSPECTED BY
THIS OFFICE PRIOR TO POURING CONCRETE.

MISCELLANEOUS
DETAILS

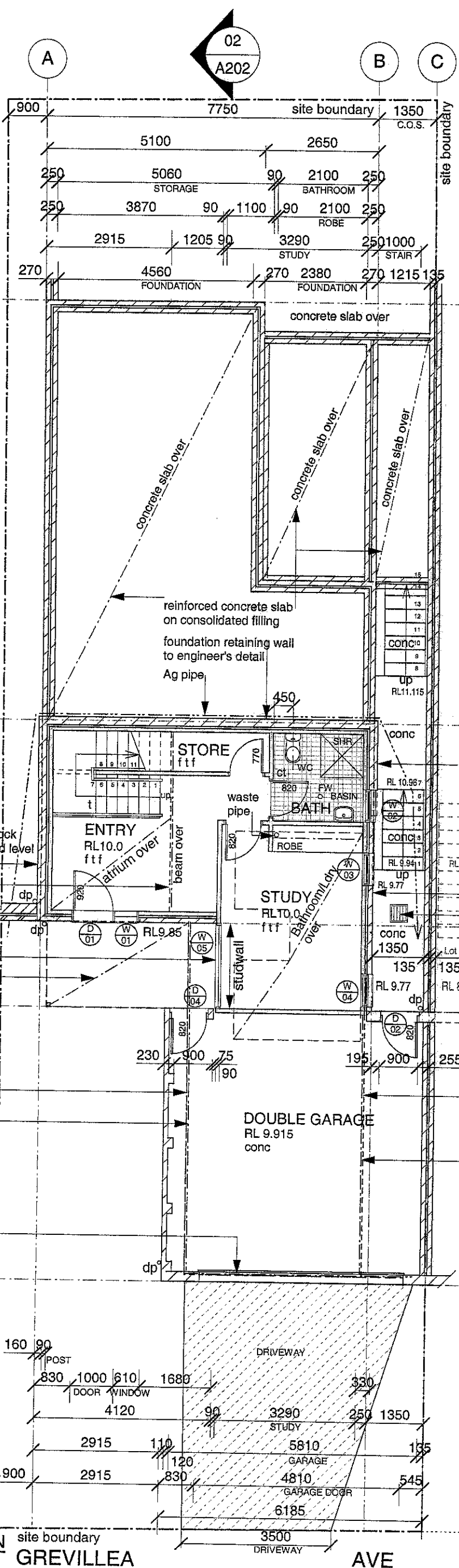
6915-38



SITE PLAN

NOTE: FOR RETAINING WALL DETAILS
SEE TYP DETAILS ON DRWGS -03,04,05

PROPOSED RESIDENCE AT:	LOT 3006
	FERNBROOK ESTATE
	WARRIEWOOD
	FOR STOCKLAND
Builder:	MAINCOM
Job No:	
Design:	
Palitha S. Wijesena & Associates Pty Ltd	
ABN 71 087 121 091	
Consulting Civil & Structural Engineers	
36 Doullton Drive, Cherrybrook, NSW 2126	
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161	
Certified:	
Palitha S. Wijesena	
B.Sc.(Engg.)	C.P. Engg.
M.I.E. Aust.	M.I.E. (U.K.)
N.P.E.R.	
Drawn:	AR
Date:	7.10.04
Scale:	
Drawing No:	
Drawing Title: SITE PLAN	
6915-39	

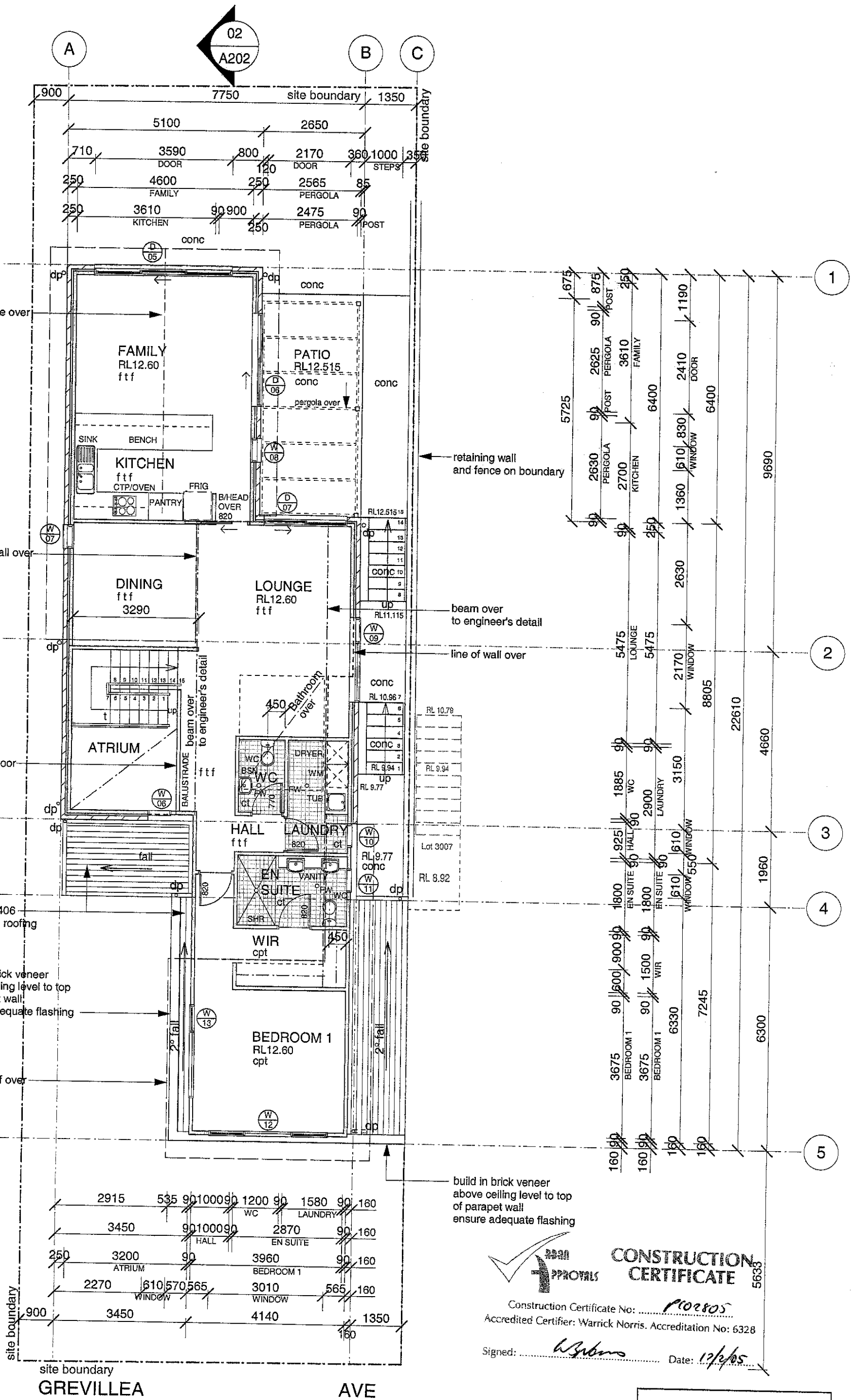


GROUND FLOOR PLAN
SCALE 1:100

GREVILLEA AVE

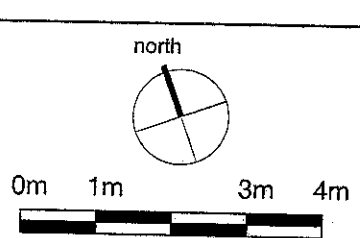
CONSTRUCTION CERTIFICATE
Construction Certificate No: P102905
Accredited Certifier: Warrick Norris. Accreditation No: 6328
Signed: *W. Norris* Date: 17/2/05

NOTES all work to be carried out in accordance with bca, ssa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		 Unit 6, 119 COREEN AVE. PENRITH NSW 2750 P (02) 4722 5900 F (02) 4722 3200 E enquires@maincom.net		FERNBROOK - WARRIEWOOD Lot 3006 project	A 13/12/04 ISSUE DATE	ISSUED FOR CC
				GROUND FLOOR PLAN drawing	1704 job no.	Construction Certificate stage.
				1:100 scale	WL drawn/checked.	A102-3006 dwg no.
				13.12.04 date.	A issue.	



LEVEL 1 PLAN
SCALE 1:100

NOTES
all work to be carried out in accordance with bca, saa codes and conditions of council, measurements in mm's unless noted, use figured dimensions, do not scale drawings, site measure before starting work, refer all discrepancies to the architect.



FERNBROOK - WARRIEWOOD
Lot 3006
project

LEVEL 1 FLOOR PLAN
drawing

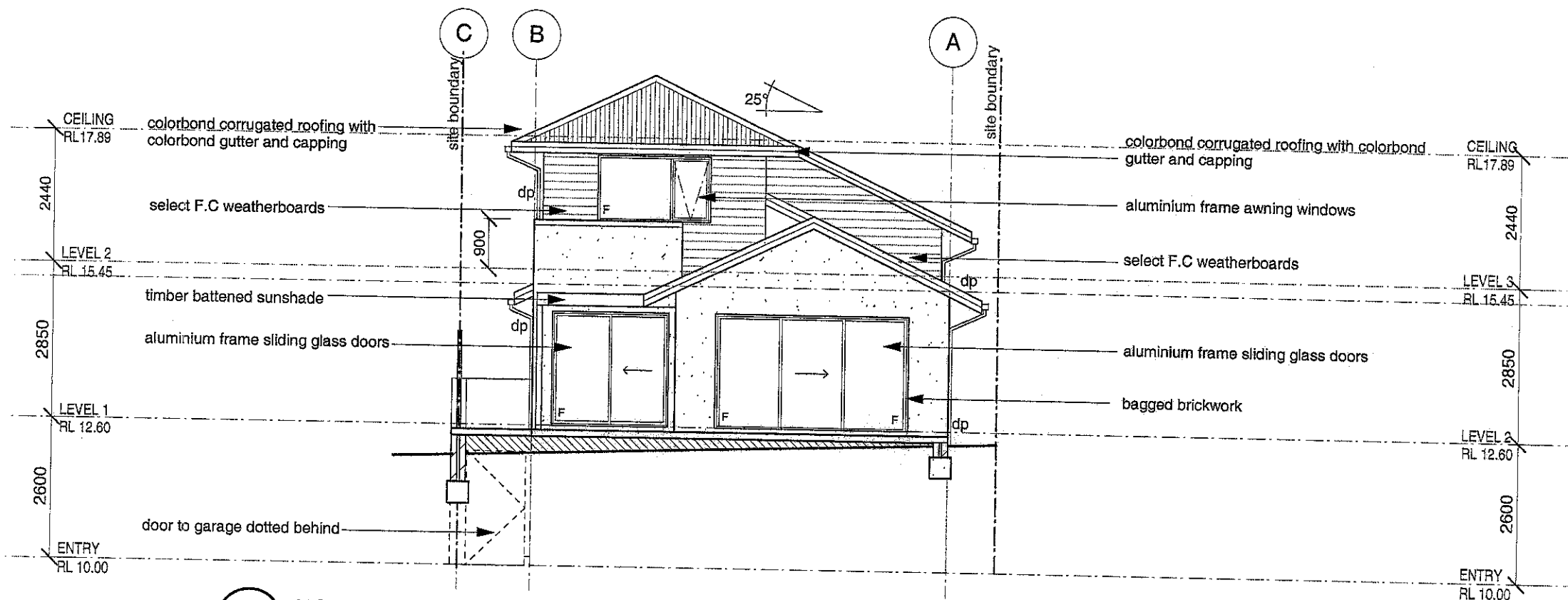
1:100
scale

ISSUE	DATE	REVISION
A	13/12/04	ISSUED FOR CC
1704		Construction Certificate stage.
WL		drawn/checked.
13.12.04		date.
A		issue.

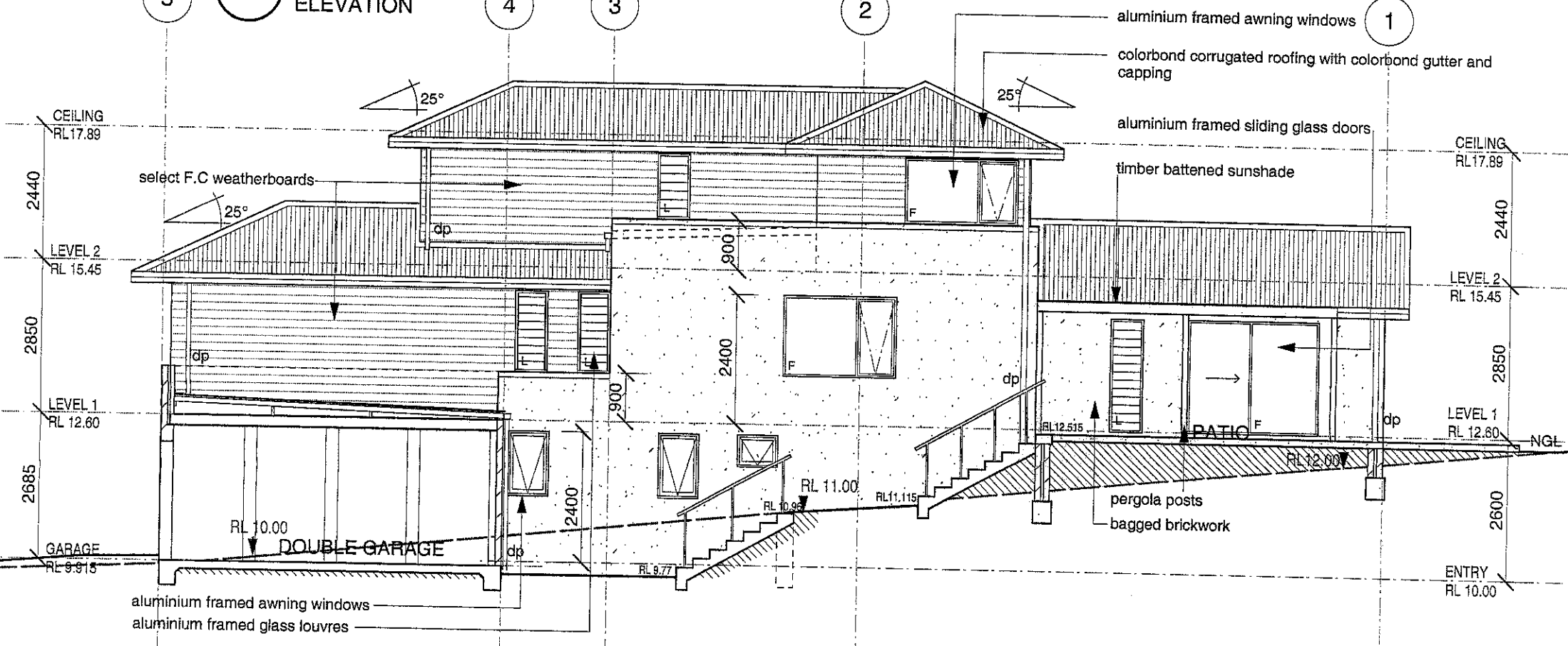
CONSTRUCTION CERTIFICATE

Construction Certificate No: 102805
Accredited Certifier: Warrick Norris. Accreditation No: 6328

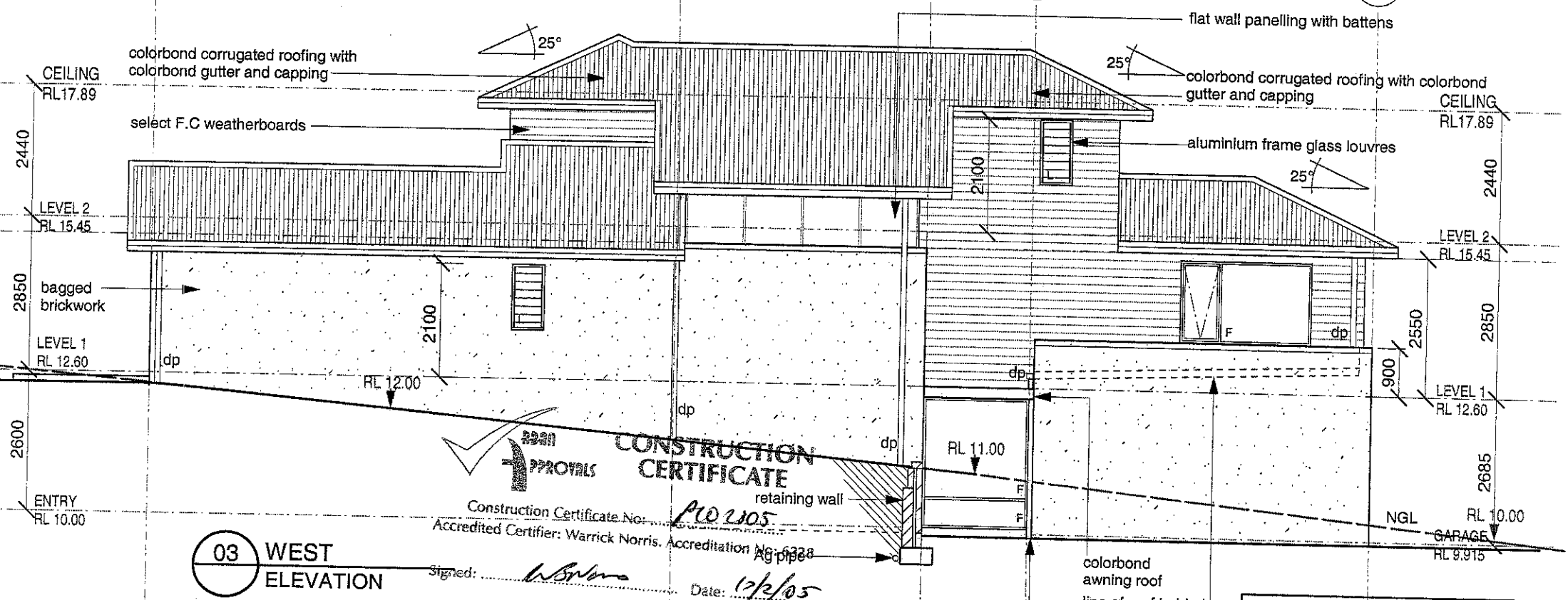
Signed: W. Norris Date: 12/2/05



01 NORTH ELEVATION



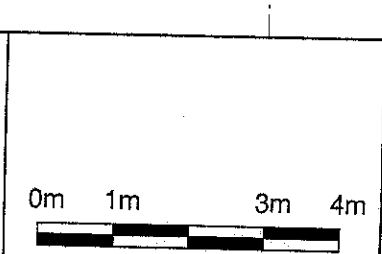
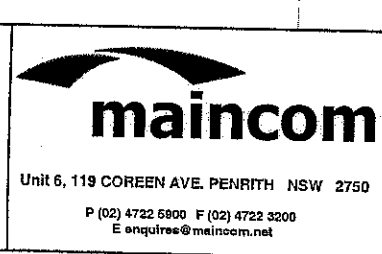
02 EAST ELEVATION



03 WEST ELEVATION

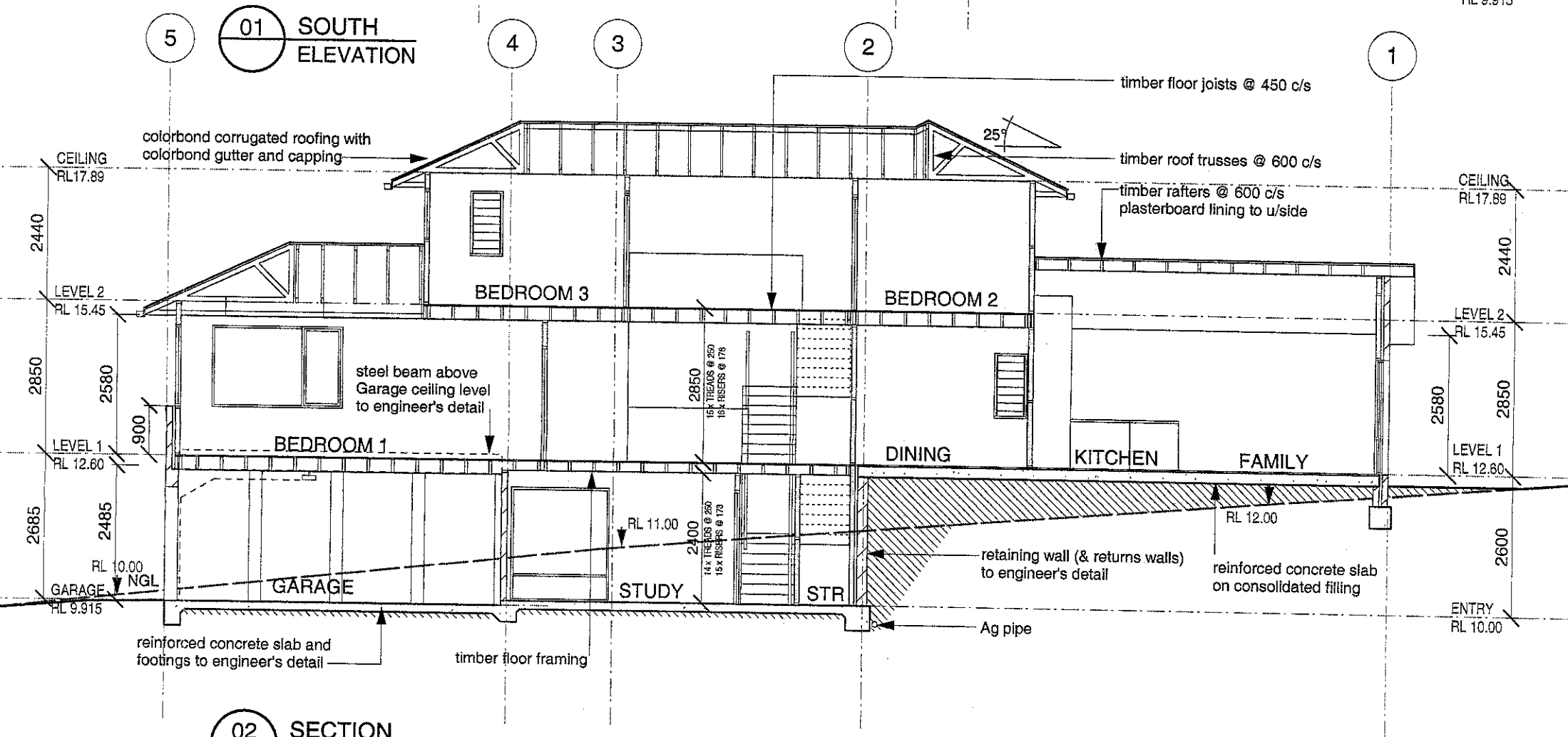
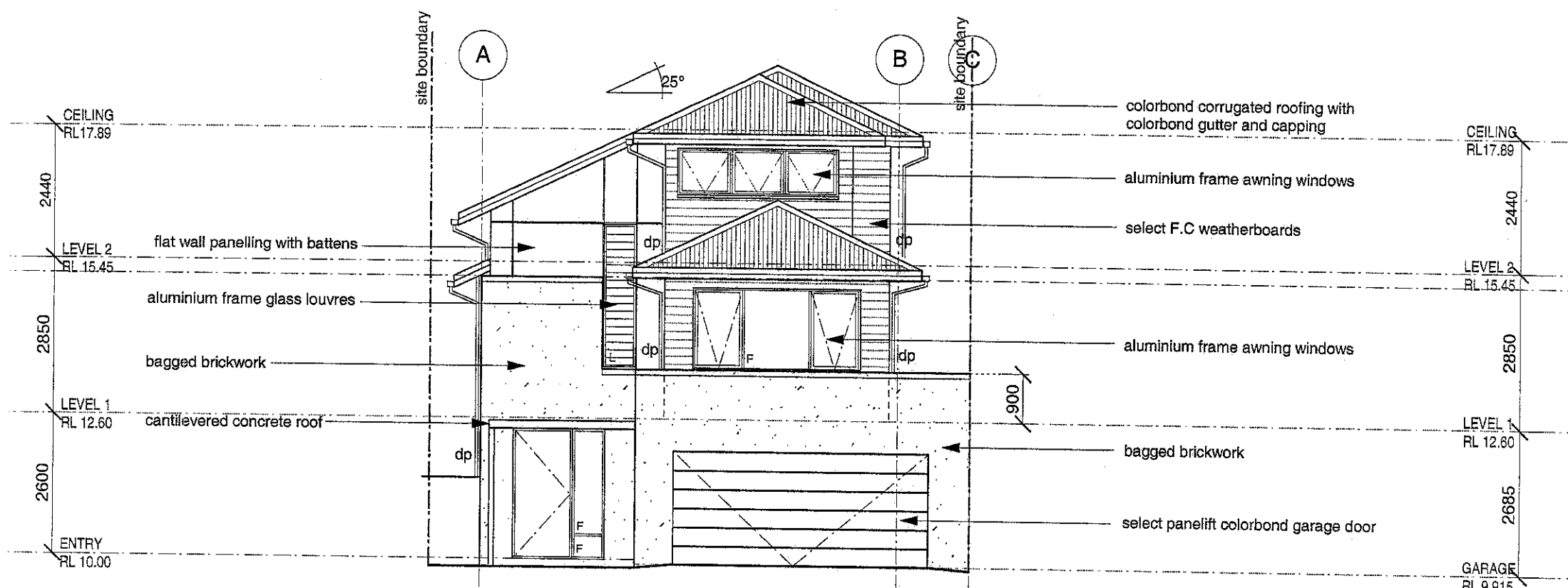
CONSTRUCTION CERTIFICATE
 Construction Certificate No: P102105
 Accredited Certifier: Warrick Norris. Accreditation No: 6328
 Signed: W.Norris Date: 12/2/05

NOTES
 all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.



FERNBROOK - WARRIEWOOD
 Lot 3006
 project
NORTH, EAST + WEST ELEVATIONS
 drawing
1:100
 scale

A	13/12/04	ISSUED FOR CC
ISSUE	DATE	REVISION
1704		Construction Certificate
job no.		stage.
WL		A201-3006
drawn/checked.		dwg no.
13.12.04		A
date.		issue.



CONSTRUCTION CERTIFICATE

Construction Certificate No: *PC02805*

Accredited Certifier: Warrick Norris. Accreditation No: 6328

Signed: *W. Norris* Date: *17/2/05*

NOTES all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		 Unit 6, 119 COREEN AVE. PENRITH NSW 2750 P (02) 4722 5900 F (02) 4722 3200 E enquiries@maincom.net	0m 1m 3m 4m	FERNBROOK - WARRIEWOOD Lot 3006 project	A 13/12/04 ISSUE DATE	ISSUED FOR CC
				SOUTH ELEVATION, LONGITUDINAL SECTION drawing	1704 job no.	Construction Certificate stage.
				1:100 scale	WL drawn/checked.	A202-3006 dwg no.
				13.12.04 date.	A issue.	

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE E, LOTS 3006, 3008

Scope of work/Notes

All work as shown in the drawings and schedule, including all necessary work even if not drawn or scheduled.
Refer all queries and discrepancies to the architects.
All measurements in mm unless noted otherwise.

Standard of Work and Regulations

All work to be carried out in accordance with:

- Building Code of Australia 1996
- SAA Codes
- Conditions of Council
- Conditions of supply authorities
- NATSPEC Housing Specification for each trade.

Terms and Abbreviations

Abbreviations used on the drawings and in the specifications and schedules are as follows:

AFS As further specified
BBW Bagged Block / Brickwork
BC Bright Chrome
CB Colorbond (coloured Zincalume steel sheet)
CCR Copper/Chrome/Arsenate treated timber
OCC Corrugated Colorbond Roofing
OCS Corrugated Colorbond Wall Sheeting
QFC Compressed Fibre Cement sheet
CIS Cast in situ (concrete)
CT Ceramic Tiles
cts Centres
EPS Expanded Polystyrene (Insulation)
F Fixed glass
FC Fibre Cement sheet
FFL Finished floor level
GB Glass blockwork
HW Hardwood
HDG Hot Dipped Galvanised
HDPE High Density Polyethylene (piping)
HSC Hardflex sheet cladding
HTP Harditex panel
L Glass Louvres (in windows)
LSOP Light Oil Solvent Preservative = 'Gold' Treated timber
LVL Laminated Veneer Lumber
MDF Medium density fibreboard = customwood
MGP Machine Graded Pine framing (Wall/Roof)
MI Manufacturer's instructions
NIC Not in Contract
PB Plasterboard
PFC Parallel Flange Channel
PS Provisional Sum
RBW Rendered Block / Brickwork
RFL Reflective foil laminate
RP Radiata Pine
S+I Supply and Install
SC Satin Chrome
SHS Square Hollow section
SS Stainless Steel
T+G Tongue and grooved (flooring/walling)
TBA To be advised
TT Terracotta Tile
UB Universal Beam
UC Universal Column
UNO Unless noted otherwise
VOS Verify on site
VR Veneer
WFC Western Red Cedar (timber)

Groundwork/Excavation

Bulk excavation and fill removed by others.
Implement waste, water and soil management measures.
AS 2870.1 Soil classification - Class M (mod. reactive clay)
Excavate to levels noted for footings, floors, retaining walls
Excavated material retained on site as fill to levels.

Footings

Concrete strip footings in accordance with AS 2870.
Generally 400 d x 300 w with 2 layers F8 TM throughout.

Retaining walls

Core filled concrete blockwork, per engineer's specification.
External joints struck flush and bagged for paint finish.

Floor level 1: Concrete slab on ground

Concrete slab, cast on ground, per engineer's specification.
Slab laid on blinding layer of sand to levels indicated.
Polyethylene waterproof membrane to entire area.
Under slab termite protection in accordance AS 3680.1.
'Termimesh' termite protection collars to all penetrations.
30 mm set down for 'wet areas', external walls and door sills.
40 mm set down for external walls and door sills.
Finish: steel trowel finish concrete throughout.

Floor level 2: Suspended slab

Concrete slab, suspended, per engineer's specification.
40 mm set down for external walls and door sills.
Finish: steel trowel finish concrete throughout.

Floor level 3: Timber framed

Floor joists to Timber Framing Code: (MGP or LVL or Hybeam are acceptable). Joists at 600 centres or as required.
R 1.5 insulation + 6 FC sheet finish to ceiling of garage under level 2 internal floor area.
Ceilings: direct fix, or on Rondo battens as required.
Flooring: 18 Particleboard sheet flooring glued and nailed.
Wet areas: 16 CFC sheet, glued and screwed, 30 set down.
Refer floor finishes schedule.

External walls: Timber frame

90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggings, lintels, bracing in accordance with Code.
'Insulation: R1.5 polyester batts in external walls.
Reflective foil sarking to outside face all external walls.
External finishes: refer below.
Internal finishes: 10 plasterboard/6.5 villaboard, see below.

External walls: Brickwork + Brick Veneer

All brickwork laid in accordance with Australian Standards.
Clay commons suitable for bagged finish throughout.
110 veneer work in stretcher bond to levels indicated.
110 work with attached piers to garage in stretcher bond.
Soldier course capping to all walls.

Brickwork Finish

Bagged finish with integral colour equal to Mac render or Morokan coat finish.

External cladding: Harditex (HTP)

Where indicated on drawings, equal to:
Harditex 6.5 FC sheet.
Finish: equal to Mac Render / Granosite texture coat

External cladding: weatherboards

Where indicated on drawings, equal to:
External: Hardies Primeline weatherboards, laid horizontally.
Finish: refer paint schedule.

External cladding: flat sheet and cover strips

Where indicated on drawings, prepainted sheet equal to:
Laminex Meteon exterior laminate, (Laminex Tel 132 136), or
Seralone Silverseal (Halifax Vogel tel 1300 558 882).
Covers: aluminium channel 40 x 20 U shaped, powdercoated
Note: painted FC sheet not acceptable.

Roof frame

All roof bracing in accordance with Code.

Hipped roof areas

Gang nail softwood trusses @ 900 centres or as required, to
Timber Framing Code / engineers spec.
Roofing battens: 90 x 45 MGP on flat.

Ceiling battens: MGP @ 450 cts or Rondo furring channels.

Flat roof areas

Timber rafters (MGP or LVL or Hybeam are acceptable), to
Timber Framing Code / engineers spec.
Roofing battens MGP Graded to falls.
Ceiling battens: MGP @ 450 cts or Rondo furring channels.

Roofing: Corrugated Colorbond Steel (CCS)

Blue Scope steel Colorbond Custom Orb profile 0.48 steel roofing. Refer colour schedule.
Sarking/Insulation: Astrofoil double sided anti glare insulation or ACI Permaslop R1.5 Sisalation backed fibreglass.
Fascia: Brake pressed Colorbond steel, 100 x 100 angle colour to match roof, no round edges> No timber fascias.
Flashings: as per MI, Colorbond steel, colour to match roof.
Valley gutters: 0.6 Colorbond Armour Grey steel.

Roof plumbing + Rainwater Drainage

Outboard gutters: 100 quad gutter, Colorbond to match roof.
Inboard (box) gutters: custom fold in 0.48 Colorbond.
Downpipes: 100 dia Colorbond to match roof.
Drainage: 100 dia uPVC pipe to rainwater collection tank.

Internal walls: Timber frame

90 x 45 timber wall frame in MGP or NZ Douglas Fir.
Plates, noggings, lintels, bracing in accordance with Code.

Internal Linings

Rooms: 10 mm plasterboard. Tape and set to MI
Wet areas: 6.5 mm Villaboard with recessed edges.

Skirtings + Architraves

Skirtings: 90 x 20 finger jointed RP, paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.

Ceilings

10 mm plasterboard ceiling equal to Supacell.
Insulation: R3.0 polyester insulation above all ceilings.
Cornice: living areas: square set.
Cornice: all other areas: standard 90 cove.

Windows: aluminium

Frame/sash: fixed and sliding aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series, refer elevations.

Finish: powdercoat / natural anodised, refer colour schedule

Glazing: in accordance with Aust. Standards.

Louvres (L): Breezeway 150, clear 6.38 laminated glazing.

Sliding doors: aluminium

Frame/sash: sliding aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series.

Note multiple sliding sashes as shown on elevations.

Sash: multiple sliding and fixed (F) as shown

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE E, LOTS 3006, 3008

Finish: powdercoated aluminium in Dulux Slate Grey
Glazing: in accordance with Aust. Standards, min 6.38 laminated to all doors.
Hardware: Integral handles/keyed locks, centre of door.

Front door: Solid core

Frame: aluminium equal to Vantage / Capral / Lidco / Bradnams semi commercial series.
Finish: to match sliding doors.
Sash: solid core masonite faced door, paint finish.
Hardware: Lockwood 591 series, latch and deadlock

Internal doors: swing solid core

Frame: 135 x 45 RP rebated frames.
Doors: Hollow core, masonite faced for paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.
Hardware: tubular latch and SC lever passage set, privacy latch to bathroom and guest WC.

Garage Door

Colorbond panel/lift door, motorised remote control.

Sunshade

Main frame: ex 125 x 65 Channel, refer detail drawing
Battens: 45 x 45 CCA treated battens @ 60 centres

Pergolas

Main frame: 200 HDG PFC bolt fix to columns paint finish
Rafters: 20 x 50 CCA, connect to walls, PFC frame
Battens: 45 x 45 CCA treated battens @ 100 centres.

Stairs: timber

Timber framed stairs: boxed risers and treads in RP on RP stringers, screw fixed to walls, 20 x 20 trims to stringers.
Finish: carpet.
Balustrade: ex 100 x 100 timber rail, steel brackets to wall.

Joinery: Bathroom

Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: 20 reconstituted stone, polished edges.
Splashbacks: tile to match wall tile.

Joinery: Wardrobes

Carcass: Paint finished MDF.
Top shelf @ 1800, sides as required, CP hanging rail.
Doors: sliding aluminium, mirror finish.

Joinery: Kitchen

Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: mid range select light coloured granite.
Splashbacks: colour backed glass.

Kitchen Appliances

Oven: Smeg, SS, SA410X
Cooktop: Smeg, SS, SAR64X
Exhaust hood: Slim Jim 60
Dishwasher: Smeg, SS, SA623X
Excluded: Fridge, microwave, washing machine, clothes dryer

Tiling: Bathrooms and Laundries

Refer Di Lorenzo Ceramics, contact David Isola tel 8818 2999.
Wall: select 100 x 100 ceramic tiles, stack bond, white grout, allow \$50/sqm supply
Floor tiles: select 50 x 50 mosaic tiles, square bond, cement grout, allow \$50/sqm supply

Floor finishes Schedule

Living room: Carpet, allow \$80/sqm supply and lay.
Entry/Hall, Dining, Family, kitchen: floating timber floor, refer Bell's Carpet, Geoff Arnold 9602 5184, Allow \$120/sqm
Bedrooms, corridors: Carpet, allow \$80/sqm supply and lay.

Fittings and Fixtures Schedule

All equal in specification and quality to items listed:

Sanitaryware

Toilet Suite: Fowler Newport Close Coupled WC (3 off)
Bath: Caroma Stirling 1675 x 770 x 330 (1 off)
Joinery basins: Caroma Liano square semi recessed (2 off)
Wall hung basin : Caroma Flora 500 with shroud (1 off)
Kitchen Sink: Franke 1.5 bowl u/mount APX 110-33/35 (1 off)
Laundry tub: Clark 45 L Single Inset Flushline, (1 off)

Tapware

Shower: Caroma Liano AAA rated/head with mixer
Basin: Caroma Liano AAA rated basin mixer
Bath: Caroma Liano AAA rated bath spout + mixer
Kitchen: Caroma Liano sink mixer
Laundry: Tub: Irwell Retro, WM taps: Irwell Retro tapset
Floor wastes: 100 square CP to laundry + bathrooms.

Accessories

Towel rails: Industrial Expressions Conquest
Hand Towel rail: Industrial Expressions Conquest
TRH: Industrial Expressions Conquest
Mirrors: wall mounted mirror over vanity units (2 off)
Shower Screens: Semi frameless, anodised aluminium frame

Hydraulics

Sewer: 100 uPVC pipe to connect all fixtures to sewer.
Water supply: 19 dia copper pipe, insulate for hot lines.
External taps: 3 external taps
Hot Water Supply: Rinnai 26 instantaneous gas
Gas line: gas supply to HWS cooktop, bayonet outlet (2 off).
Stormwater: roof water connected to tank, see below.
Ground drains and sumps connected to stormwater system.

Rainwater tank

Min 6300 Litre underground rainwater tank located as shown, Rain-masta or Hagan tanks, with leaf and dirt screening and fitted with internal pump. Overflow to stormwater system.

Electrical

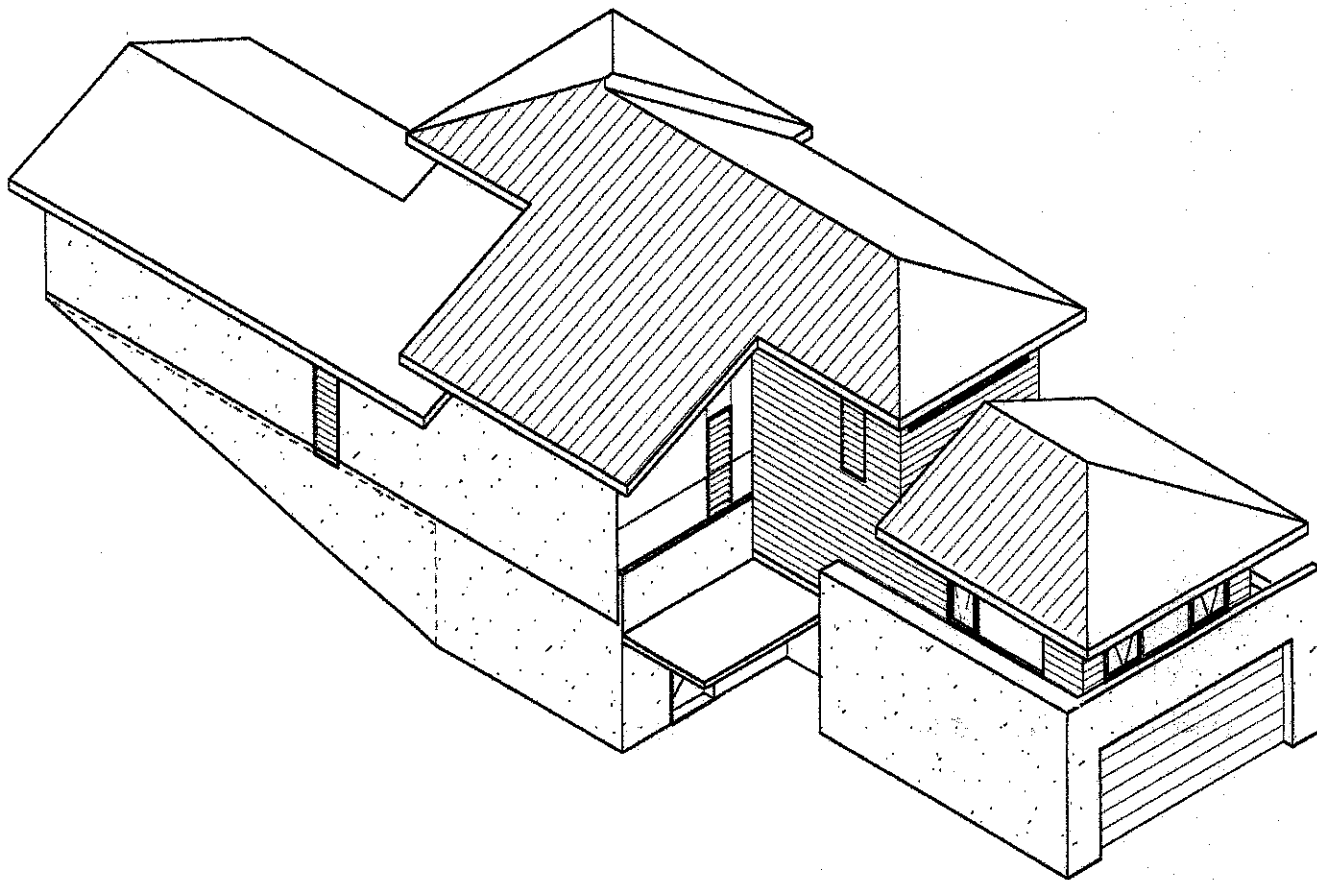
Underground power supply.
Meter Box: gal. steel top hinged, including ELCB all circuits.
Refer electrical plan. generally as follows:
GPO's + Switches: Clipsal / HPM Excel range
Lights: living: T5 electronic fluorescent in pelmets
Bedrooms: ceiling mounted oyster fitting
Kitchen/Bath: 6 off fluorescent downlights.
Smoke detectors: to BCA code requirements
Telephone: category 5 line 3 outlets.
TV aerial/cable TV not included.

Painting

Walls/ paints throughout.
Externally: 2 coats external grade, satin finish.
Harditex (HTP): Granosite texture coat
External metalwork: 1 coat metal primer, 2 coats gloss enamel
External WRC or HW: 2 coats oil based stain.
Internal plasterboard walls: 2 coats acrylic, wash and wear
Ceilings: 2 coats acrylic flat
Internal doors: 1 coat primer, 1 coat gloss enamel
Skirtings etc.: 1 coat primer, 1 coat gloss enamel

External works

Refer landscape plan



LOT 3006 - FERNBROOK STAGE 3 @ WARRIEWOOD

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES

CC 3006-01	SITE PLAN 1:200
CC 3006-02	LEVEL 1 PLAN 1:100
CC 3006-03	LEVEL 2 PLAN 1:100
CC 3006-04	LEVEL 3 PLAN 1:100
CC 3006-05	ROOF PLAN 1:100
CC 3006-06	NORTH EAST + WEST ELEVATIONS 1:100
CC 3006-07	SOUTH ELEVATION + LONG SECTION 1:100
CC 3006-08	ELECTRICAL LAYOUT PLAN 1:100

L01

LANDSCAPE PLAN

e dko
architecture
19/151 foveaux st surry hills 2010
T: 02 9332 1211F: 02 9332 1355
E: enviroa@enviroastudio.com.au

DETAILS NOTED


Stockland

Fernbrook

Stage 3 @ Warriewood
Lot 3006



1.00 - INTERIOR FINISHES SCHEDULE

Issue C 11.03.04

Area	Item	Finish	Code	Description	Supplier	Rev.
ENTRY	Driveway	Stencilete/ Pavers		Stencilete with borders or pavers with borders large format 400 x 400mm.		
GARAGE DOOR		Colourbond	C5	Spring Assisted Solid Sectional Door Colourbond col: Surfmist	Colourbond	
WINDOWS/ DOORS	Glass/ Aluminium	Powdercote	PC7	New Aluminium framed windows and doors Colour: Stone Grey 78126	Dulux	
DOORS GENERALLY	Solid Core	Paint	P2	Taubmans full gloss enamel paint finish Colour: Barley Beige T160- 3W	Taubmans	
FAÇADE WALLS	Bagged Brickwork	Rendered	R11	Taubmans Colour Green Liner	Taubmans	
	Bagged Brickwork	Rendered	R12	Taubmans Colour: Smokehaze T161- 4W	Taubmans	
	FC Weatherboards	Paint	P2	Selected paint finish Taubmans Col: Barley Beige T160- 3W	Taubmans	
ROOF	Steel	Colourbond	C5	Colourbond corrugated roofing Colour: Woodland Grey	Colourbond	C
FASCIA	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	C
GUTTERS	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	C
DOWNPIPES	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	C
FLASHING	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	C
BALUSTRADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
SUNSHADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
FENCE & GATE	Timber			Selected hardwood timber slats with clear coat polyurethane finish 30% gloss level		

Page 15 of 18

M:\dKO\Projects\03945 - Fernbrook\Interiors\Ext Finishes Schedule_D.doc

Modified: 23-Mar-04

Printed: 23-Mar-04 11:37 AM

WASTE MANAGEMENT PLAN

Issue A Date 2.02.04

MATERIALS	EST. QUANTITY			ONSITE RECYCLING	OFF SITE RECYCLING	OFF SITE DISPOSAL
	Volume	Area	weight		WTS = Waste Transfer Station	
	cum	sqm	tonne			
EXCAVATION STAGE						
Top soil	3.00			Top soil stored on site for use in landscaped gardens.		
Sand/clay/shale	30.00			Sand/clay stored on site for use as backfill where poss.		Balance sent to authorised land fill site.
Rock	Nil			Stored on site for use as backfill where volumes allow.		Balance sent to authorised land fill site.
CONSTRUCTION STAGE						
Bricks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Excess broken blocks stored for collection to crushing.	
Concrete blocks	0.10			Offcut bricks retained, crushed + used for drainage fill.	Broken blocks sent for crushing to road base at WTS	
Concrete	0.20			Excess concrete to moulds on site for garden pavers.	Nil	Nil
Timber framing	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
Timber cladding	0.50			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
FC cladding	0.20			Nil	Material broken up on site, for collection to crushing.	To Waste Transfer Station to recycle
Plasterboard	0.20			Nil	Binned separately for recycling by Boral Plasterboard	Nil
Roofing: tiles		nil		Full tiles stored on site as spares	Stored for collection to crushing to road base at WTS	Nil
Roofing: Steel		10.00		Sheets ordered cut to size to minimise waste	Offcuts stored for collection for recycling.	Nil
Insulation				Nil	Unused returned to manufacturer/store by builder.	Nil
Metal piping etc			0.001	Nil	Non ferrous metals binned separately for recycling.	
PVC piping	0.10			Nil	Unused returned to manufacturer/store by builder.	Removal to Land Fill site.
Tiles + pavers	0.30			Full tiles set aside as spares.	Cut tiles sent to crushing to road base at WTS	Nil
Misc packaging, fixings glues etc	0.50			Timber packaging sorted for reuse as above.		Removal to Land Fill site.
IN USE						
Putrescible waste	0.15	per week		To on site compost/worm farm		
General waste	0.25	per week				To Council collection
Paper card			0.005		Council's recycling bins to WTS	
Plastics			0.001		Council's recycling bins to WTS	
Bottles			0.001		Council's recycling bins to WTS	
Steel tins etc			0.002		Council's recycling bins to WTS	
Aluminium			0.001		Council's recycling bins to WTS	
Garden waste	0.1	per week		All small branches and leaves chipped for mulch.	Mulch to garden. Large trunks to timber salvage.	Excess to periodic waste collection