

A4 NOTIFICATION PLAN

BASIS REQUIREMENTS

40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.

BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.

SINGLE SKIN AUTOCLAVED AERATED CONCRETE (AAC) (AAC: 75mm) EXTERNAL WALL TO HAVE INSULATION OF R1.03 OR R1.70 INCLUDING CONSTRUCTION.

SKYLIGHT SL1, SL2 AND SL3 TO HAVE U-VALUE NO GREATER THAN 6.21 AND SOLAR HEAT GAIN COEFFICIENT OF 0.808

PERGOLA ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).

IMPROVED ALUMINIUM WINDOWS TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 0.75

W1, W2, W4, W4A, W5, W6, W7, W8, AND W9 TO HAVE PYRO LOW-E GLASS WITH U-VALUE NO GREATER THAN 4.48 AND SHGC OF 0.46

FRAMING NOTES.

ROOF PITCH NEW: 18° EXISTING 30° TO BE CHECKED

ROOFING MONIER HORIZON TILE

ROOF HANGS 530mm

EXTERIOR WINDOW HEAD HEIGHT TO LINE UP 2130mm TO LINE UP

INTERNAL DOOR 2110mm

B.I.C DOOR 2110mm TO LINE UP

DOOR AND WINDOW SILL 90mm MIN UNLESS OTHERWISE NOTED

CEILING CROSS 600mm

CEILING 880mm WIDE UNLESS OTHERWISE NOTED

PERMITS & CALCULATIONS

EXIST. IMPERVIOUS AREA 466.3 sqm

PROPOSED IMPERVIOUS AREA 255.1 sqm

EXIST. LANDSCAPED AREA 300.7 sqm 64%

PROPOSED LANDSCAPED AREA 279.8 sqm 60%

EXIST. LANDSCAPED AREA 165.6 sqm 36%

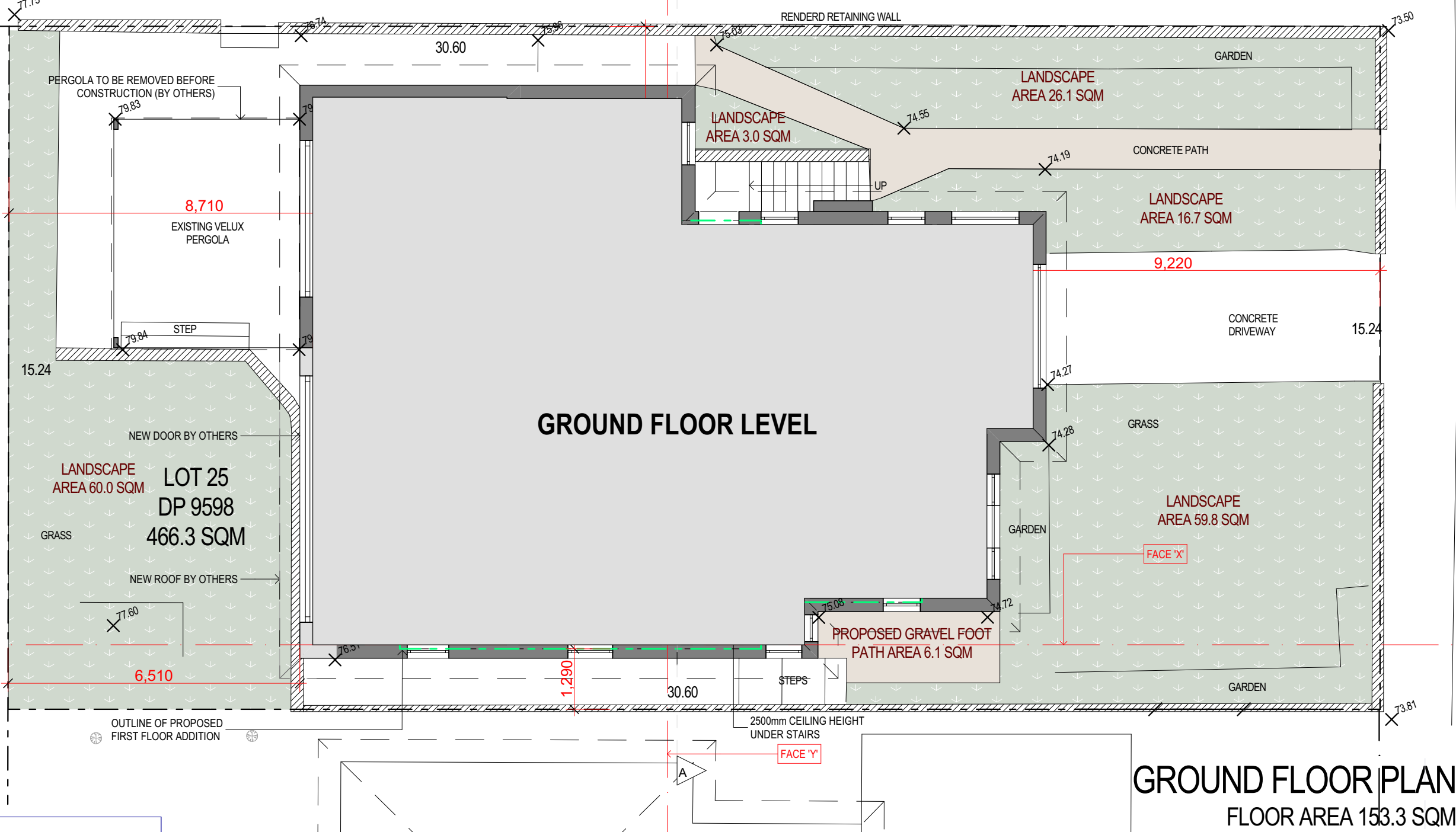
PROPOSED LANDSCAPED AREA 186.5 sqm 40%

EXIST FLOOR SPACE 153.3 sqm 0.37 : 1

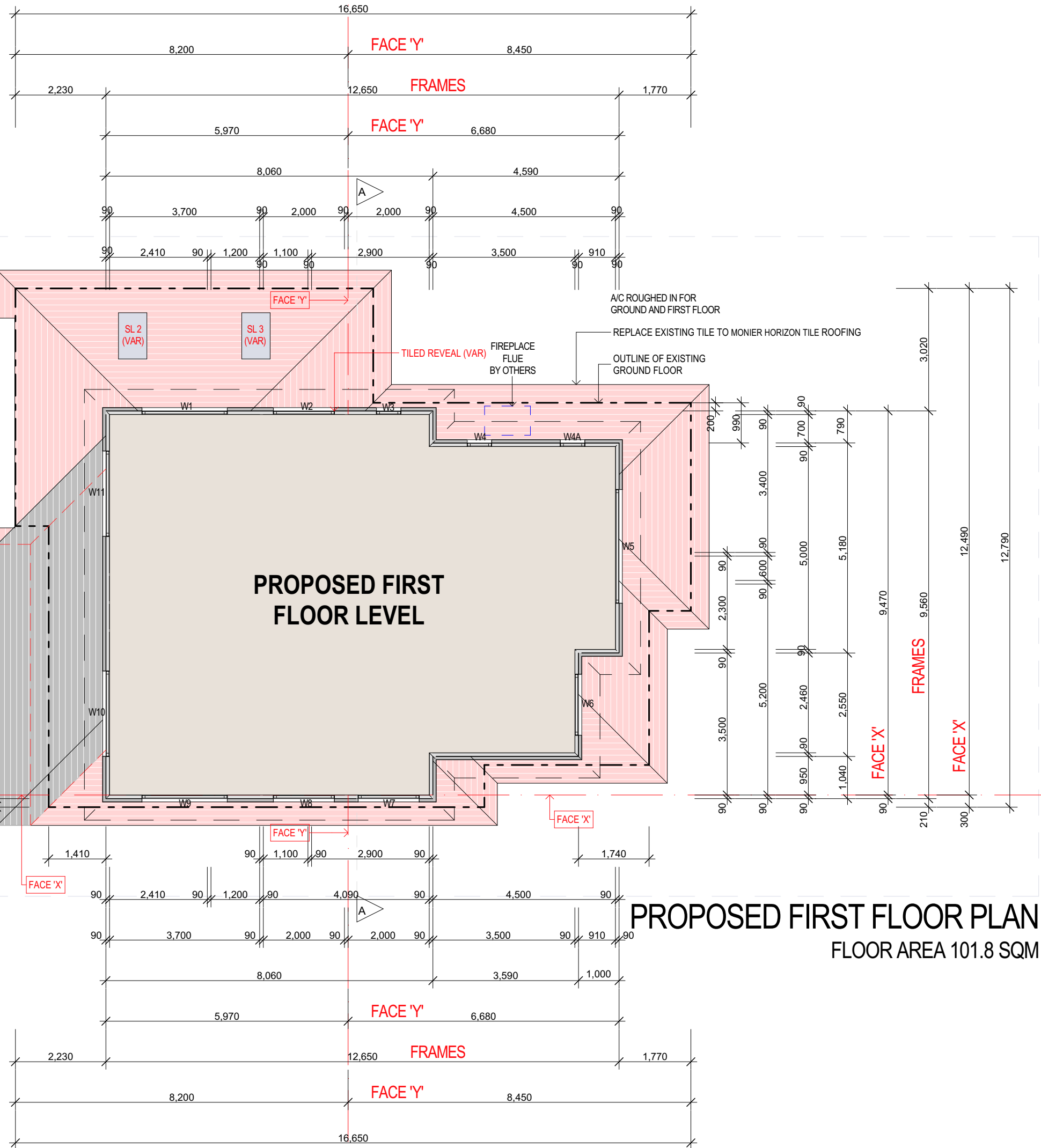
PROPOSED FLOOR SPACE 255.1 sqm 0.54 : 1

MARETIMO STREET

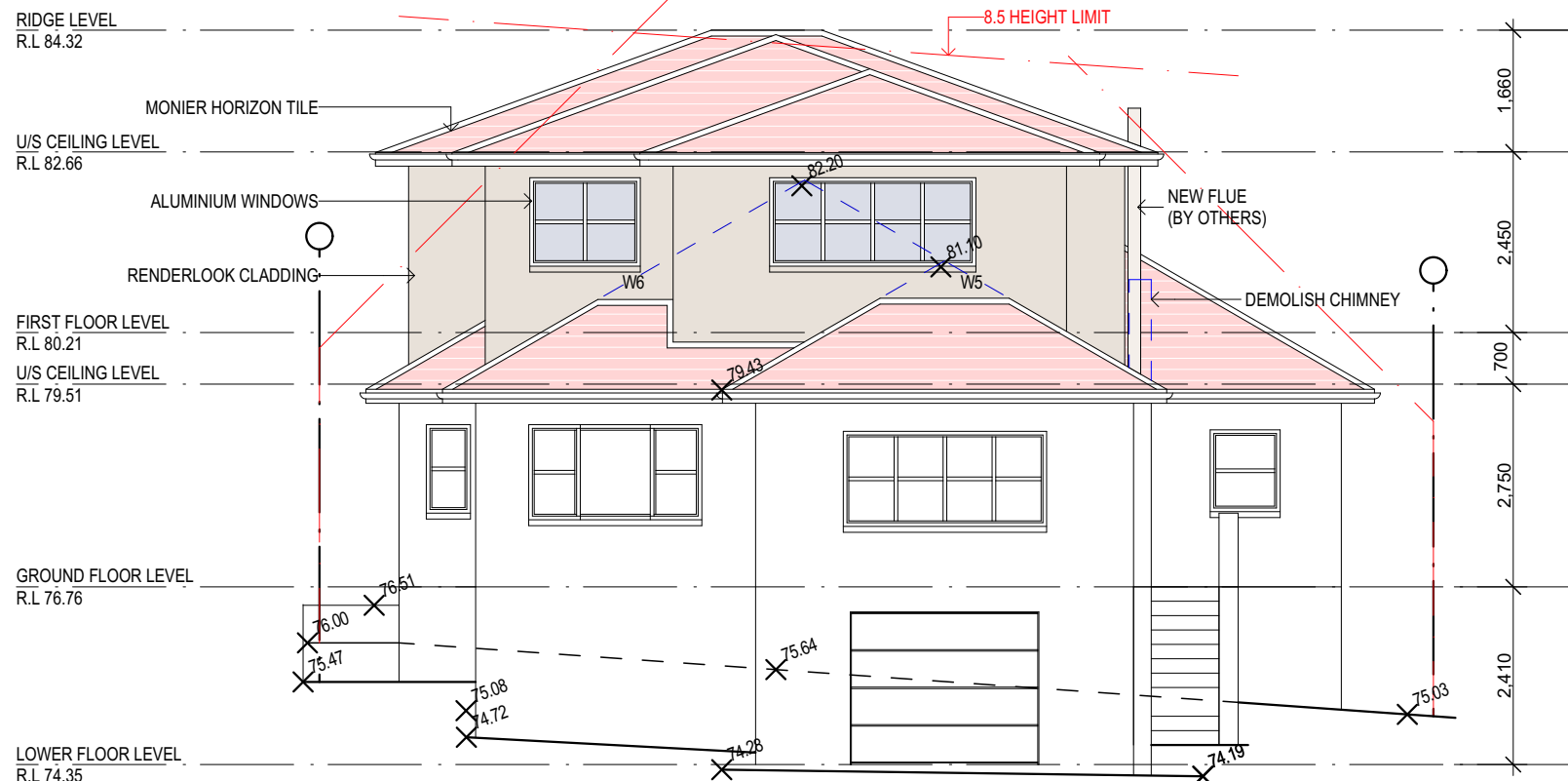
TRUE NORTH



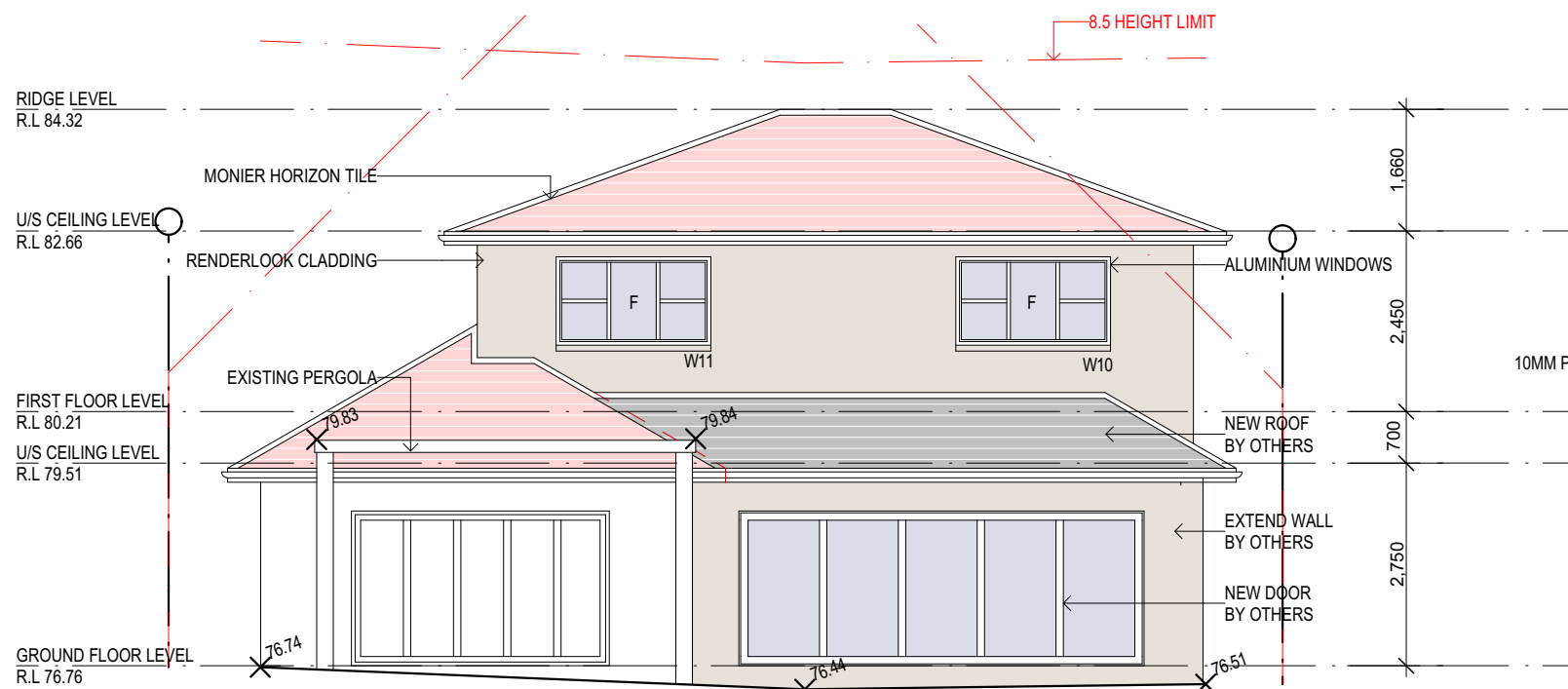
GROUND FLOOR PLAN
FLOOR AREA 153.3 SQM



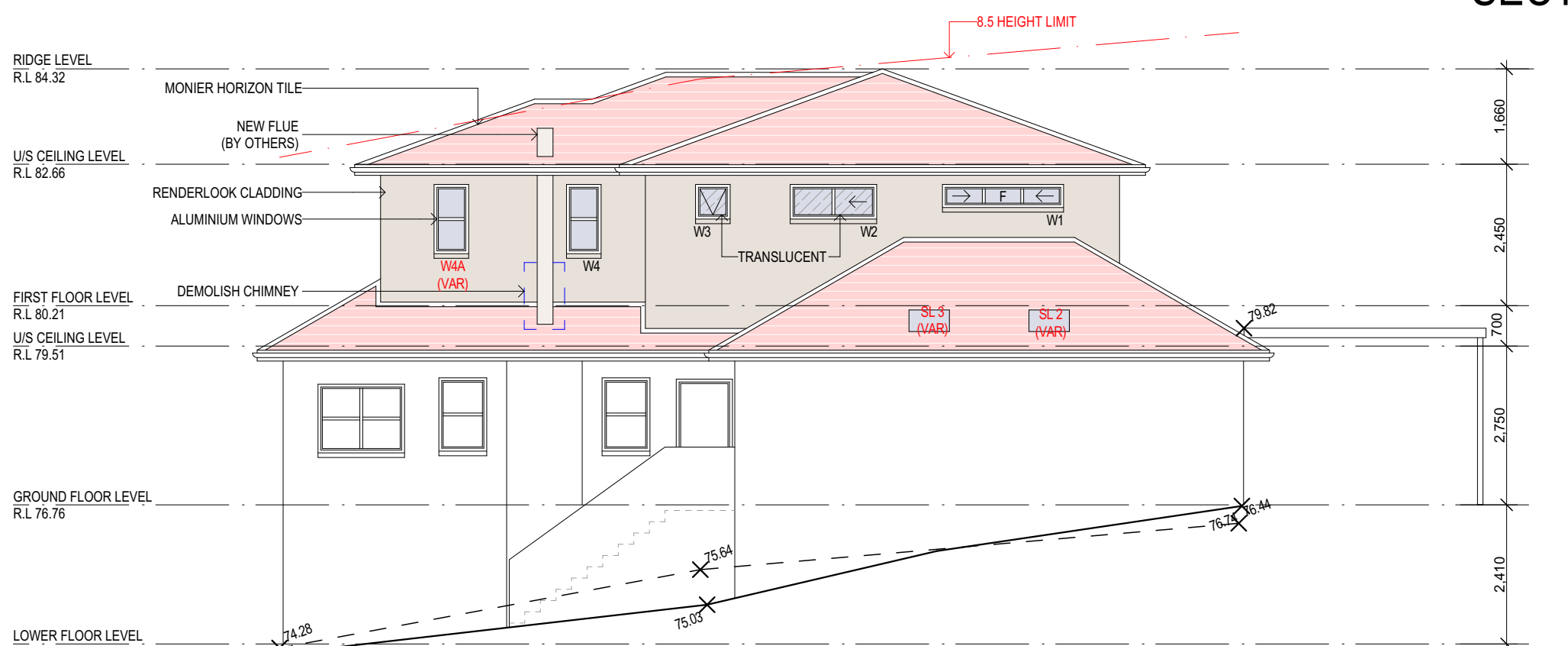
PROPOSED FIRST FLOOR PLAN
FLOOR AREA 101.8 SQM



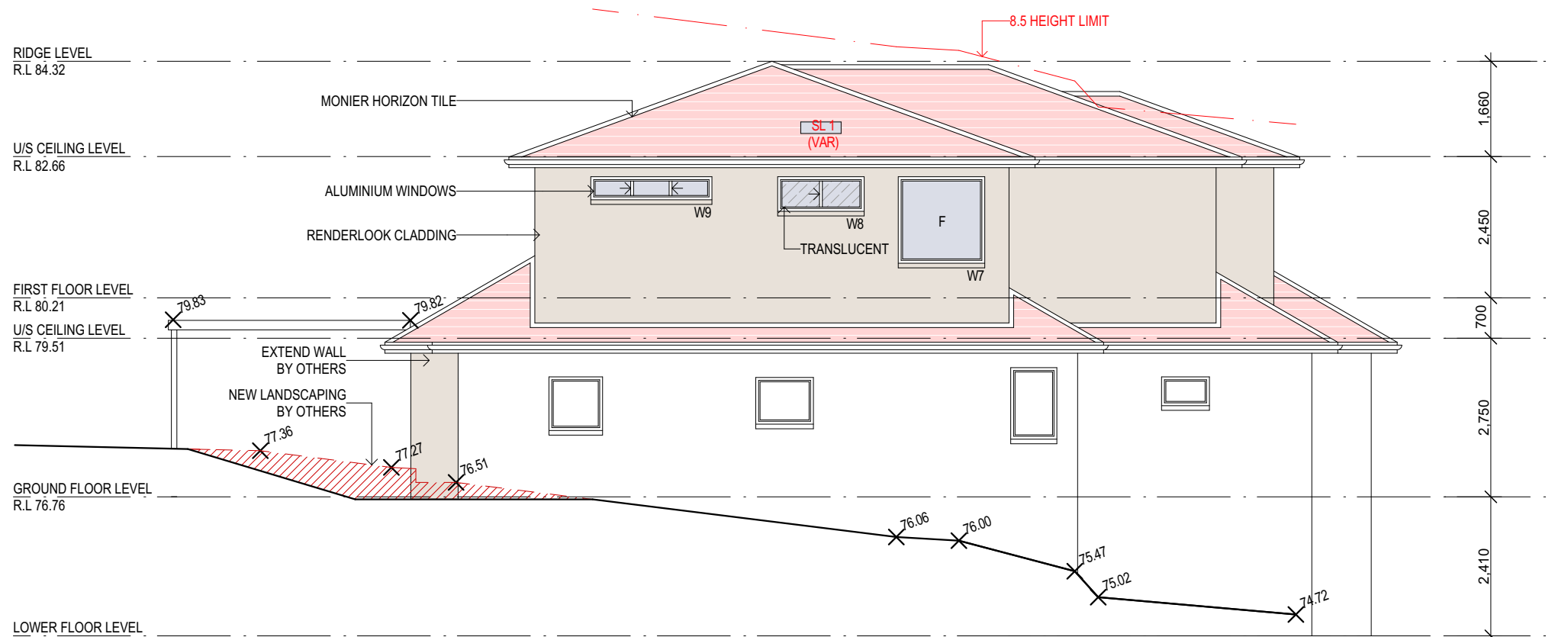
NORTH ELEVATION



SOUTH ELEVATION



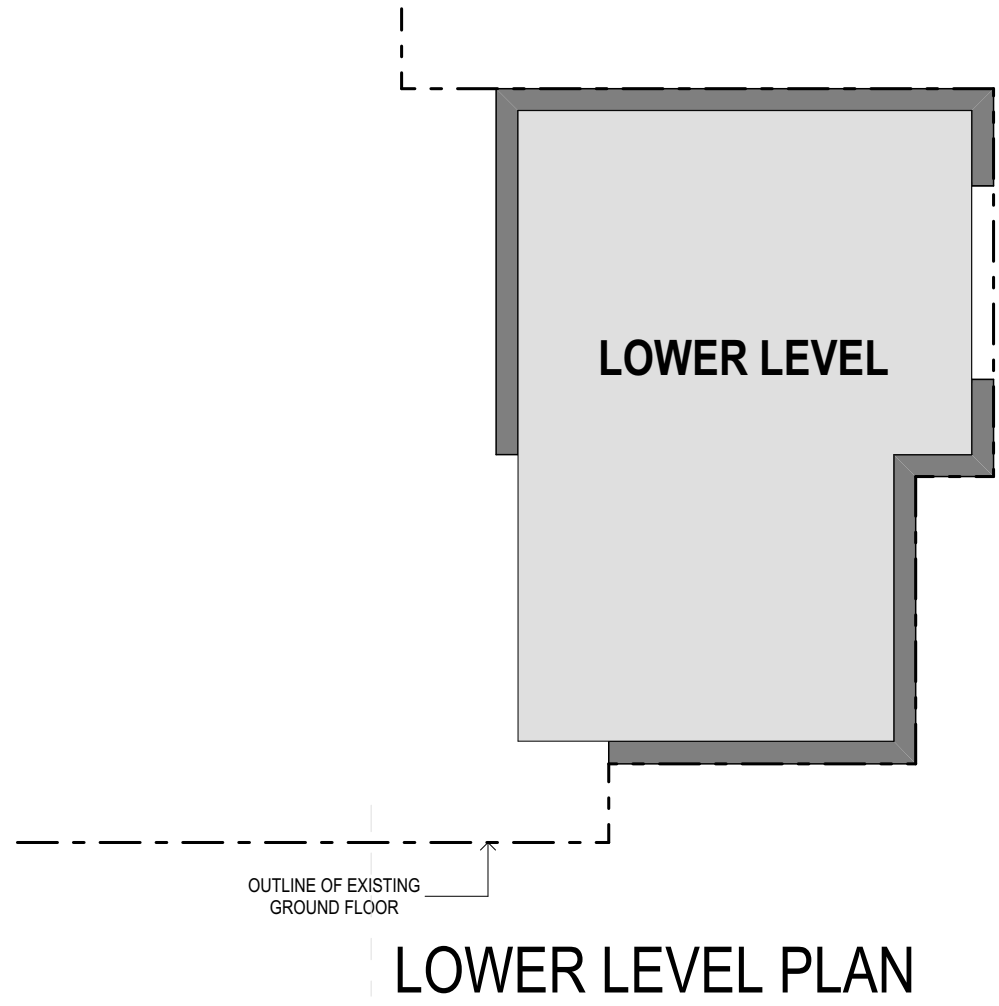
WEST ELEVATION



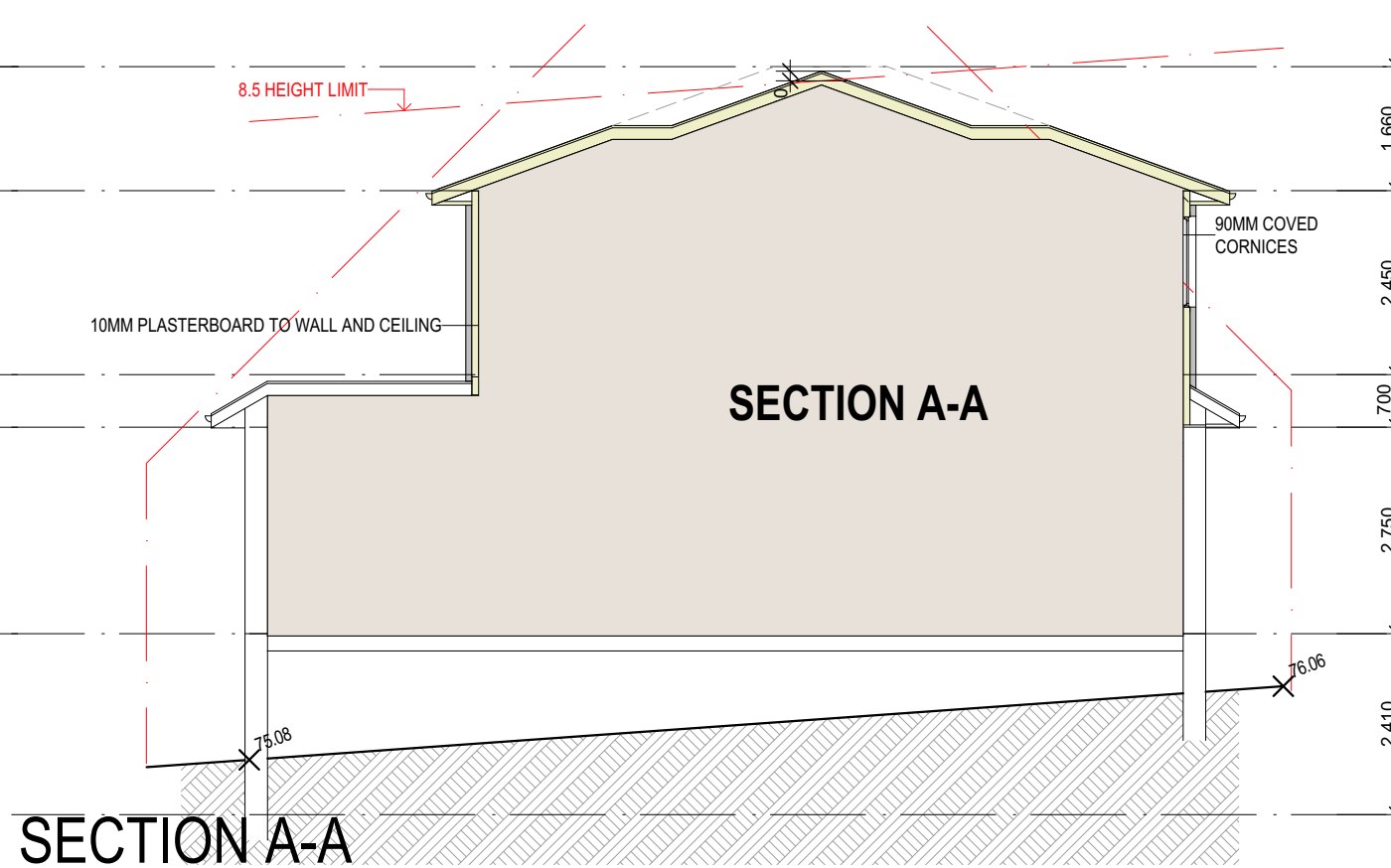
EAST ELEVATION

VARIATIONS

- INSULCLAD IN LIEU OF WEATHERBOARD
- MONIER HORIZON TILE
- 3 X SKYLIGHTS
- DELETE BATH
- DOUBLE VANITY
- ADD W4A
- TILE REVEAL TO W2



LOWER LEVEL PLAN



SECTION A-A



ARTIST'S IMPRESSION
FOR ILLUSTRATION PURPOSES ONLY.
NOT TO BE READ AS A WORKING DRAWING

LEGEND & GENERAL NOTES	
(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90PP	90 x 90 PRIMED POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W / C	TOILET SUITE (WATER CLOSET)
B.I.C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT.#	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNSPIPE
DP&S	DOWNSPIPE AND SPREADER
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.	
SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC	
SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE	

JOB REVIEW 2	EMAIL DATE	00/00/00
JOB REVIEW 1	EMAIL DATE	16/05/2022
PROJECT TITLE: Proposed Additions at: 27 Violet Street, Balgowlah NSW 2093		

C	For Council	10/6/2022	KK
B	For Plan Meeting	16/5/2022	KK
A	For review	5/5/2022	KK
NO.	REVISION	DATE	BY
SCALE:	1:100	DATE:	16/06/2022
DRAWN BY:	KK	CHECKED BY:	CW
TITLE: PLANS, ELEVATIONS AND SECTIONS			
DRAWING NO.	1619 DA 1	ISSUE	C