

STATEMENT OF ENVIRONMENTAL EFFECTS - Supplement

10/08/2023

Second storey addition

Prepared for:
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Of:
24 Keldie Street,
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NSW

Lot 3, DP 23949



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Contents

Supporting plans V5.1.2.....	3
Warringah Development Control Plan (WDCP) 2011	4
Part B –Built Form Controls	4
Summary	6

Supporting plans V5.1.2

Plans V5.1.2 support a revised design with a reduced side boundary envelope impact.

This Statement of Environmental Effects Supplement accompanies the Revised Development Application (DA) V5.1.2 for the provision of a new floor addition to the existing house with a reduced side boundary envelope impact.

This document only focuses on the Side Boundary Envelope in the context of Clause B3 of the WDCP and as such needs to be read with Statement of Environmental Effects submitted as part of DA2023/0314.

The following modifications have been made in this design revision (V5.1.2):

1. The living/ rumpus room, bed2 & bed3 have been inset by 570mm
2. The pitch of the roof has been increased to 22 degrees and consequently the eaves and top of the external walls have been lowered
3. The ceilings have been changed to gable ceiling for compliance with the building code
4. The bed2 and bed3 layouts have been reshaped to accommodate the reduced floorplan
5. Some windows have been altered to accommodate the altered roof pitch
6. 4 skylights have been introduced

BASIX has been updated for point 5 & 6 above.

Warringah Development Control Plan (WDCCP) 2011

Part B –Built Form Controls

B3 Side Boundary Envelope – Does not comply

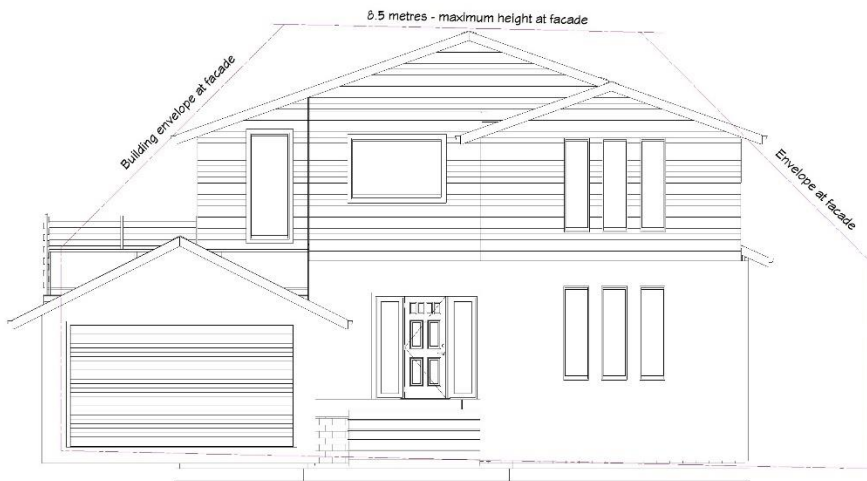
The development is well within the building envelope on the northern side that is determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres.

The result of the changes can be seen on the Building Envelope Plan Drawing 05.2 – Version 5.1.2:

- The staircase space noncompliance has been reduced from 1.2metres to 1.0 metre
- The living/ rumpus room is now only noncompliant by a few cm
- Bed2, Bed3 and the ensuite are now compliant due to elevation of the land, the moving of the exterior wall and the increase in roof pitch.

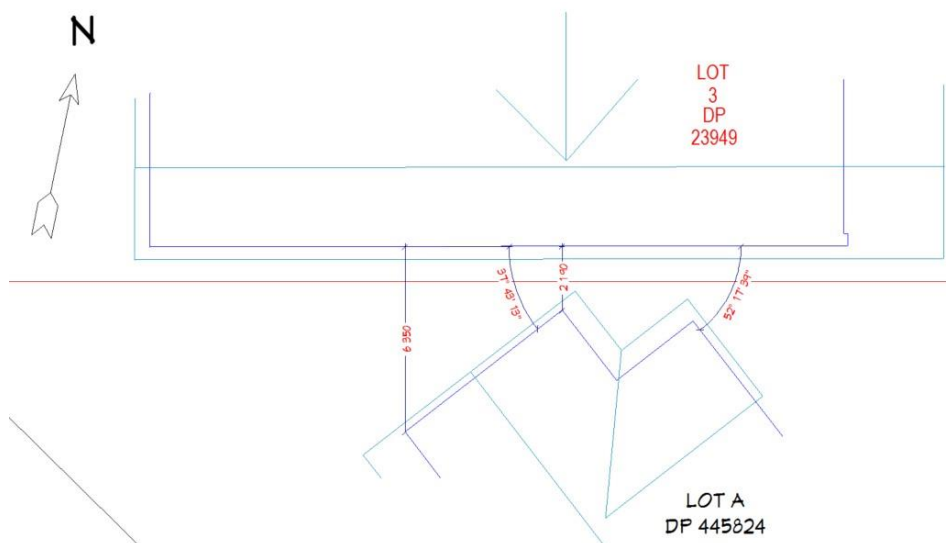
The proposed development versus the stated objectives of the control:

- *To ensure that development does not become visually dominant by virtue of its height and bulk.*
 - The proposed upper storey has not become dominant by the virtue of its height and bulk as per the objective of this control.
The upper storey is non-compliant, in a reduced form, on the south side while on the north side the upper storey is substantially inside the building envelope.
 - The non-compliance no longer has bulk due to the articulated first storey wall and hence the bulk of the upper storey is in line with the control's objective.



Hypothetical building envelope at facade to demonstrate building bulk vs the envelope

- *To ensure adequate light, solar access and privacy by providing spatial separation between buildings.*
 - Separation between the northern neighbour's dwelling and the subject dwelling is substantial due to the average 3.8 metre setback of the proposed development and the additional floor being well within the building envelope.
 - The southern neighbour's dwelling has 37 degrees offset at the front and 52 degrees at the rear (note diagram below). These offset angles provide substantial building separation. In addition, the proposed upper floor has been inset adjacent to the southern neighbour's building, and as such ensures adequate light, solar access and privacy by providing spatial separation between buildings.



- *To ensure that development responds to the topography of the site.*
 - The existing ground floor has taken topography into account by elevating the front and creating level access to the rear yard. The proposed upper storey conforms with the existing design.

Summary

The modified application before Council provides no unreasonable impacts to adjoining and adjacent residential properties. The proposed development is also in harmony with the environmental living and low-density residential character of the locality and no adverse amenity or environmental impacts are foreseen. Accordingly, it is recommended that Council supports the proposal and grants development consent.