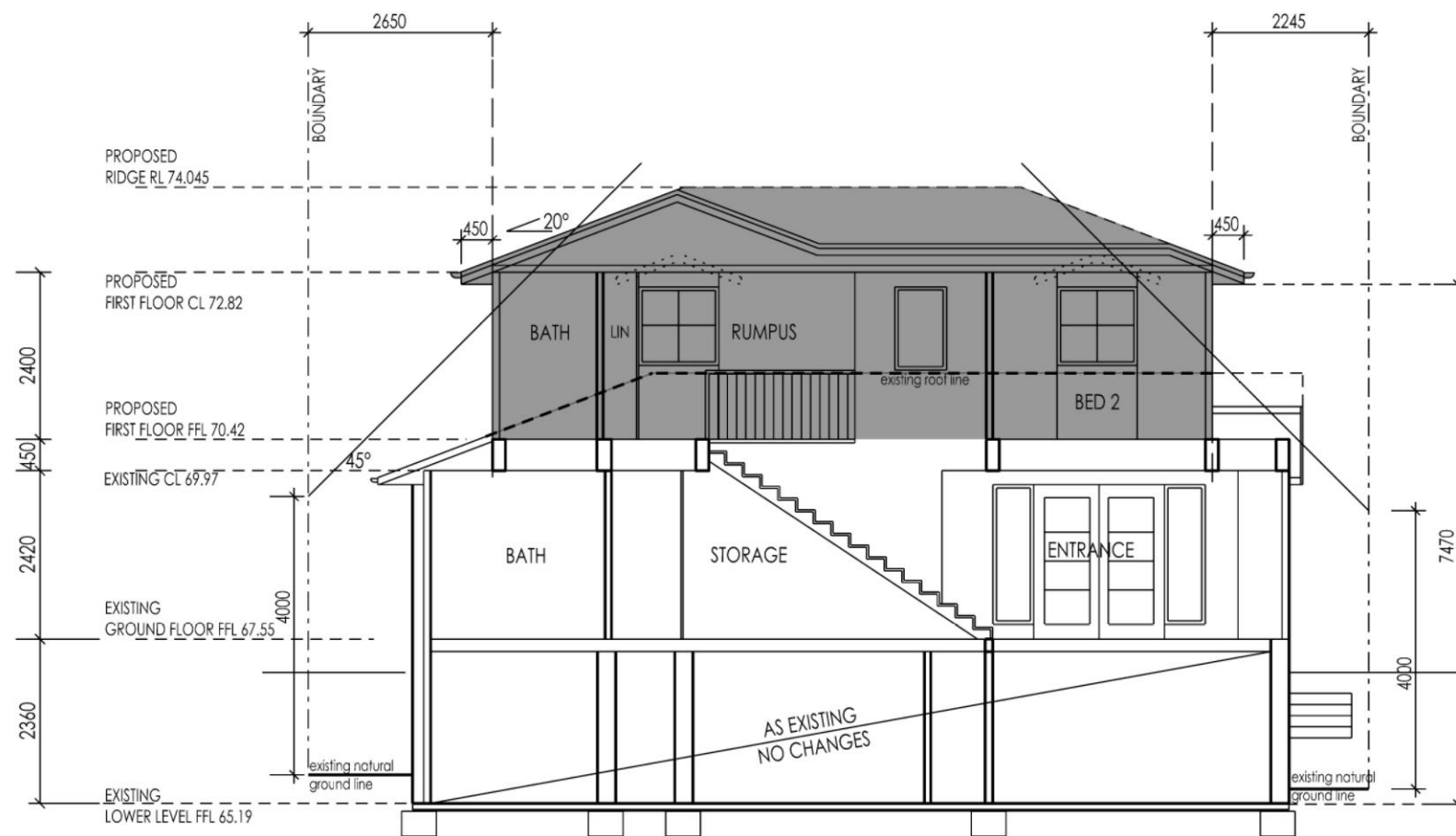
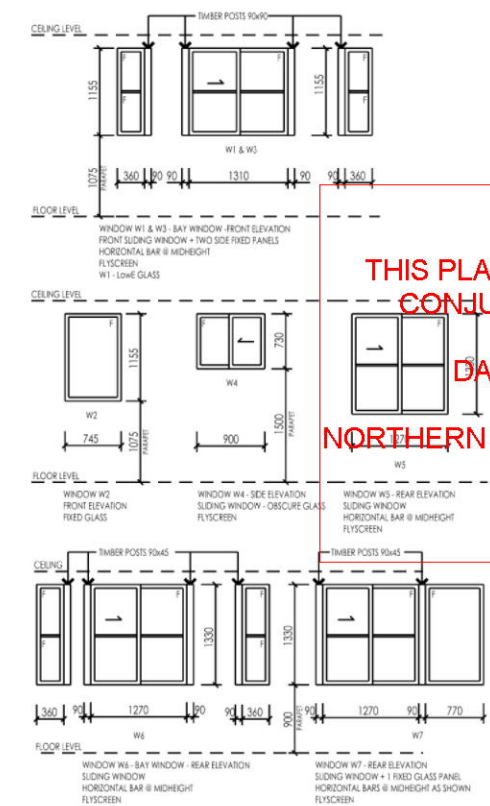




1 SECTION A
SCALE 1 : 100



2 WINDOW SCHEDULE
SCALE 1 : 100

PROPOSED ADDITION

APPLICANTS:
Mr & Mrs
Zoran and Marija Popovic

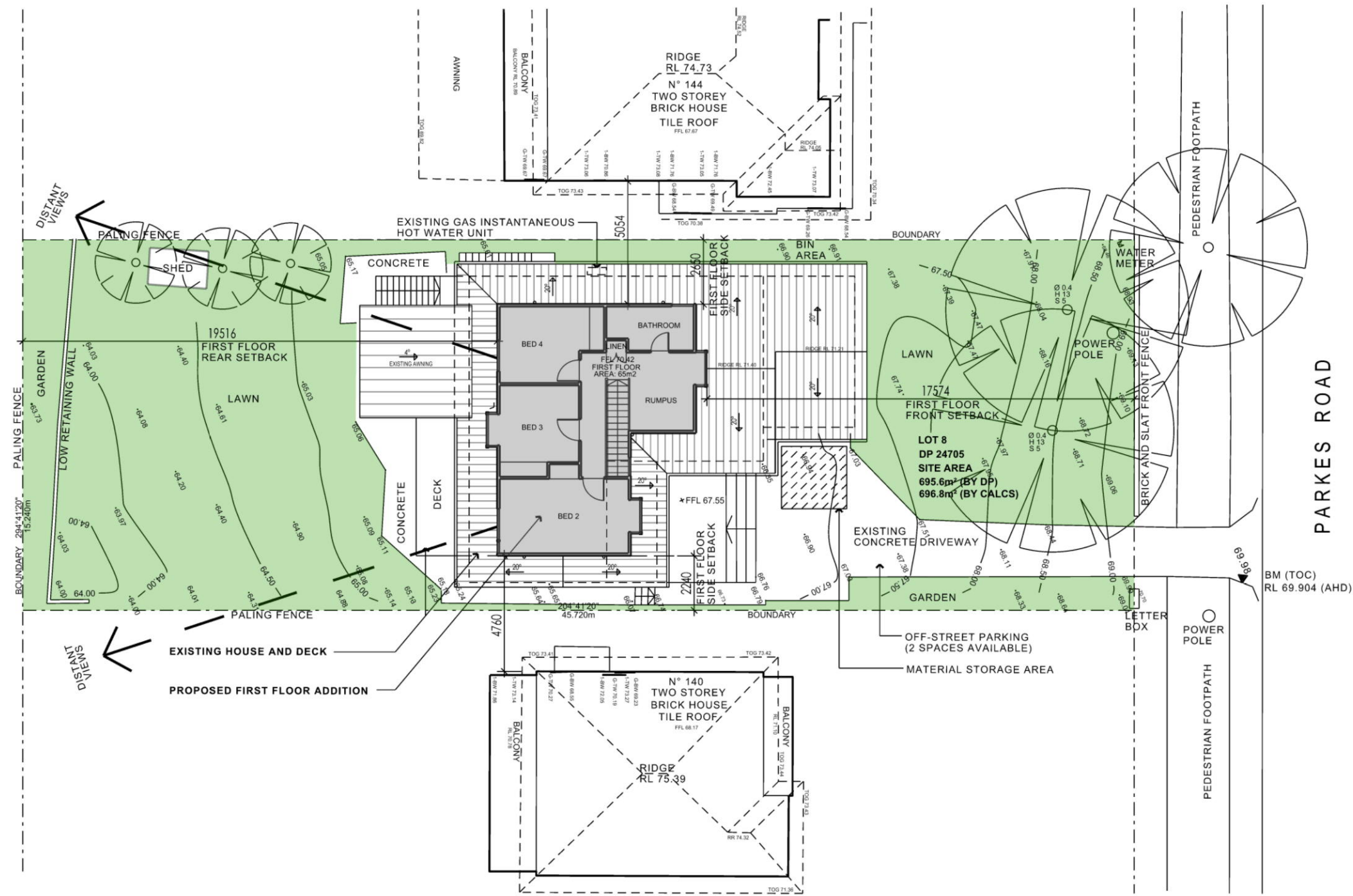
PROJECT: **FIRST FLOOR ADDITION
TO FAMILY HOME**
at
142 Parkes Road, COLLAROY NSW 2097
LOT 8 DP 24705

ARCHITECT: **ZMP ARCHITECTS
& HERITAGE
CONSULTANTS**
nominated architect in NSW Marija Popovic reg.no. 8222
m: 0408 637 214 email: marija_popovic@yahoo.com

DRAWING TITLE:
SECTION A

DRAWING No: **A-10 (rev A)**
DATE: MAR 2016
SCALE 1:100@A3

SHEET:
11 of 12



WASTE MANAGEMENT

- EXISTING ROOF TILES TO BE REMOVED AND TAKEN TO RECYCLING PLANT
- EXISTING ROOF TIMBER TO BE REMOVED AND TAKEN TO RECYCLING PLANT
- ALL OTHER WASTE TO GO TO RESOURCE RECOVERY CENTRE
- IF ANY ASBESTOS, TO BE REMOVED BY LICENSED ASBESTOS REMOVAL AGENT
- NO PROPOSED GROUND WORK OR EXCAVATION (NO SEDIMENT EROSION PROTECTION ENVISAGED)

STORMWATER MANAGEMENT

- NO CHANGES PROPOSED TO EXISTING STORMWATER SYSTEM

PLANNING DATA

SITE AREA = 695.6m²
EXISTING LANDSCAPE OPEN SPACE = 384m²
EXISTING IMPERVIOUS AREA = 311m²
LANDSCAPE OPEN SPACE = 55%

GROUND FLOOR AREA:
existing 107.7m² proposed 118.6m²
LOWER GROUND FLOOR AREA:
existing 52.7m² proposed 52.7m²
FIRST FLOOR AREA:
existing N/A proposed 65.0m²

BASIX COMMITMENTS

- HOT WATER
Existing gas instantaneous hot water system
- LIGHTING
Min 40% of new and altered light fixtures to be fitted with fluorescent, compact fluorescent, or LED lamps
- INSULATION REQUIREMENTS
External wall - brick veneer:
R1.30 (or R1.70 including construction)
Flat ceiling, pitched roof:
Ceiling: R2.50 (up); roof: foil/sarking; medium (solar absorbance 0.475 - 0.70)
Raked ceiling, pitched/skillion roof: framed Ceiling: R2.50 (up); roof: foil/sarking; medium (solar absorbance 0.475 - 0.70)
- GLAZING REQUIREMENTS
All windows:
Single clear glass (or U-value: 7.63, SHGC: 0.75)
Window to Bed 2, North side:
Single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)



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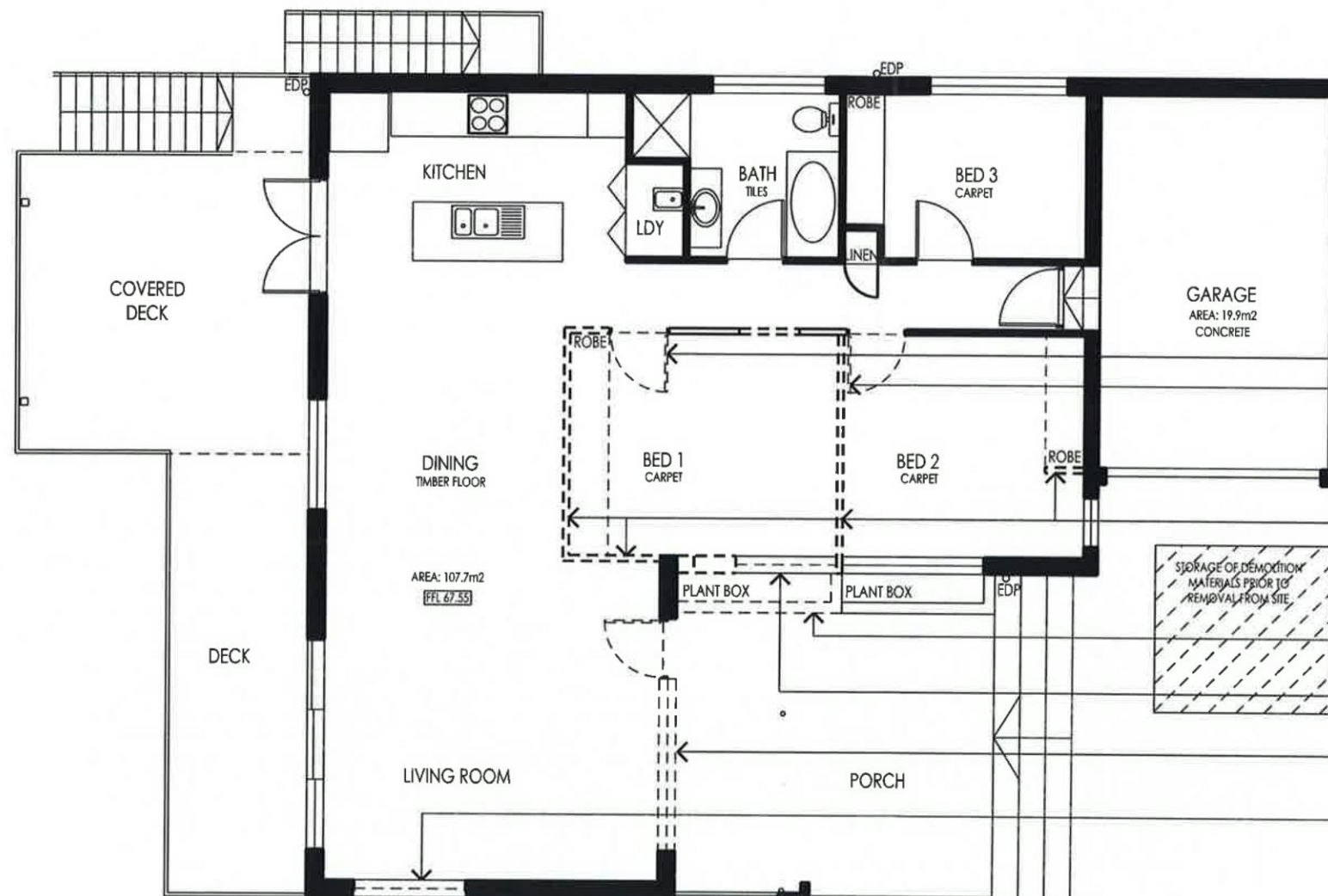
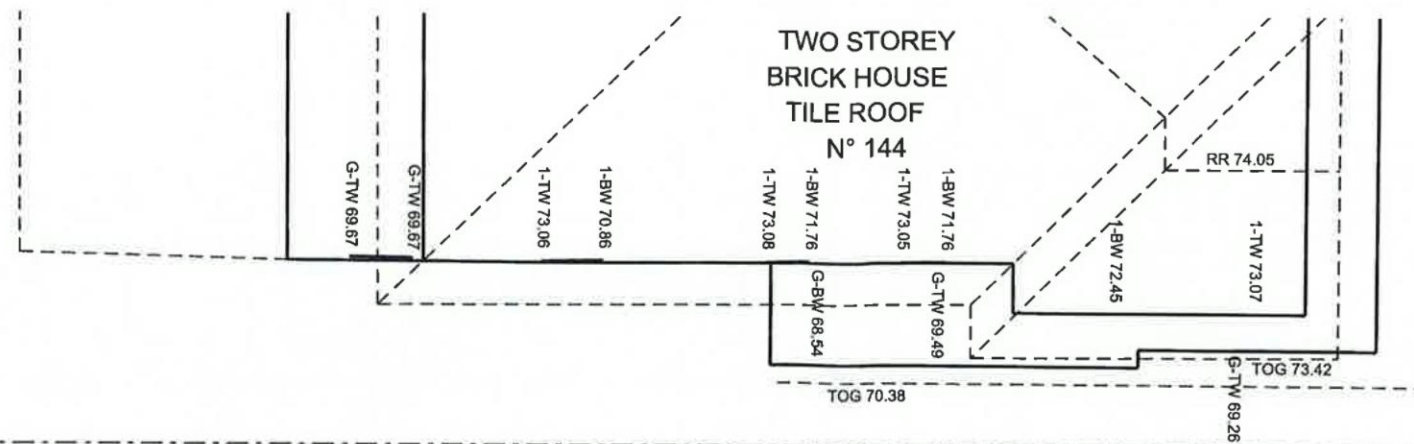
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nominated architect in NSW Marija Popovic reg.no. 8222
m: 0408 637 214 email: marija_popovic@yahoo.com

DRAWING TITLE:
SITE PLAN

DRAWING No: **A-01 (rev A)**
DATE: MAR 2016
SCALE: 1:200@A3

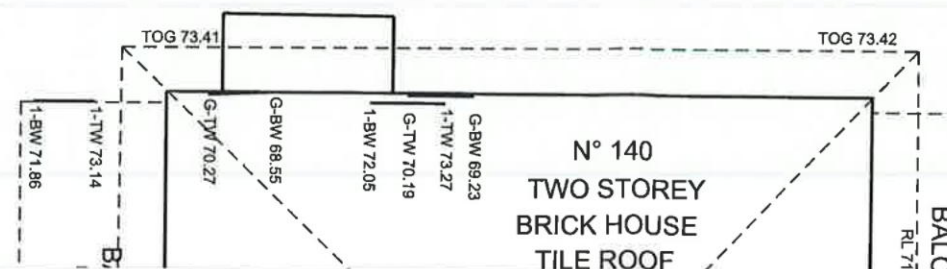


SHEET:
2 of 12



- EXISTING DOOR TO BE REMOVED.
OPENING TO BE BLOCKED
- EXISTING DOOR TO BE RELOCATED
- EXISTING STUD WALLS
TO BE DEMOLISHED
- EXISTING PLANT BOX AND LOW WALL
TO BE DEMOLISHED
- EXISTING AWNING WINDOW TO BE REMOVED.
OPENING TO BE BLOCKED
- EXISTING ENTRY DOOR & WINDOW
TO BE RELOCATED
- EXISTING WINDOW TO BE REMOVED.
OPENING TO BE BLOCKED

THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2016/ 0237
NORTHERN BEACHES COUNCIL



LEGEND

FFL FINISHED FLOOR LEVEL
EDP EXISTING DOWNSPIPE

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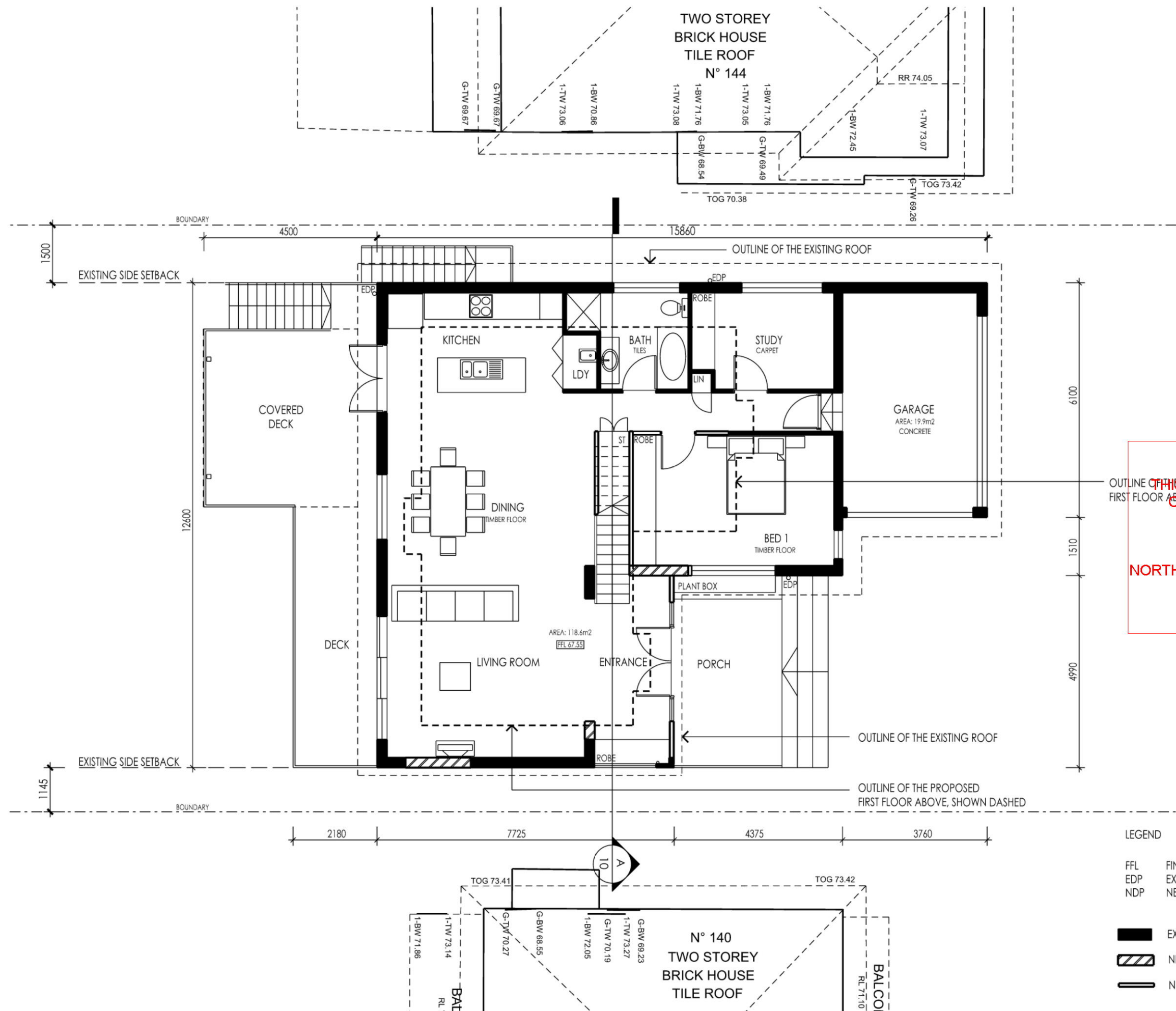
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& HERITAGE
CONSULTANTS**
nominated architect in NSW Marija Popovic reg.no. 8222
m: 0408 637 214 email: marija_popovic@yahoo.com

DRAWING TITLE:
DEMOLITION PLAN

DRAWING No: **A-04 (rev A)**
DATE: MAR 2016
SCALE 1:100@A3

SHEET:
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THIS PLAN TO BE READ IN CONJUNCTION WITH
DA2016/ 0237
NORTHERN BEACHES COUNCIL

APPLICANTS:
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PROJECT: **FIRST FLOOR ADDITION
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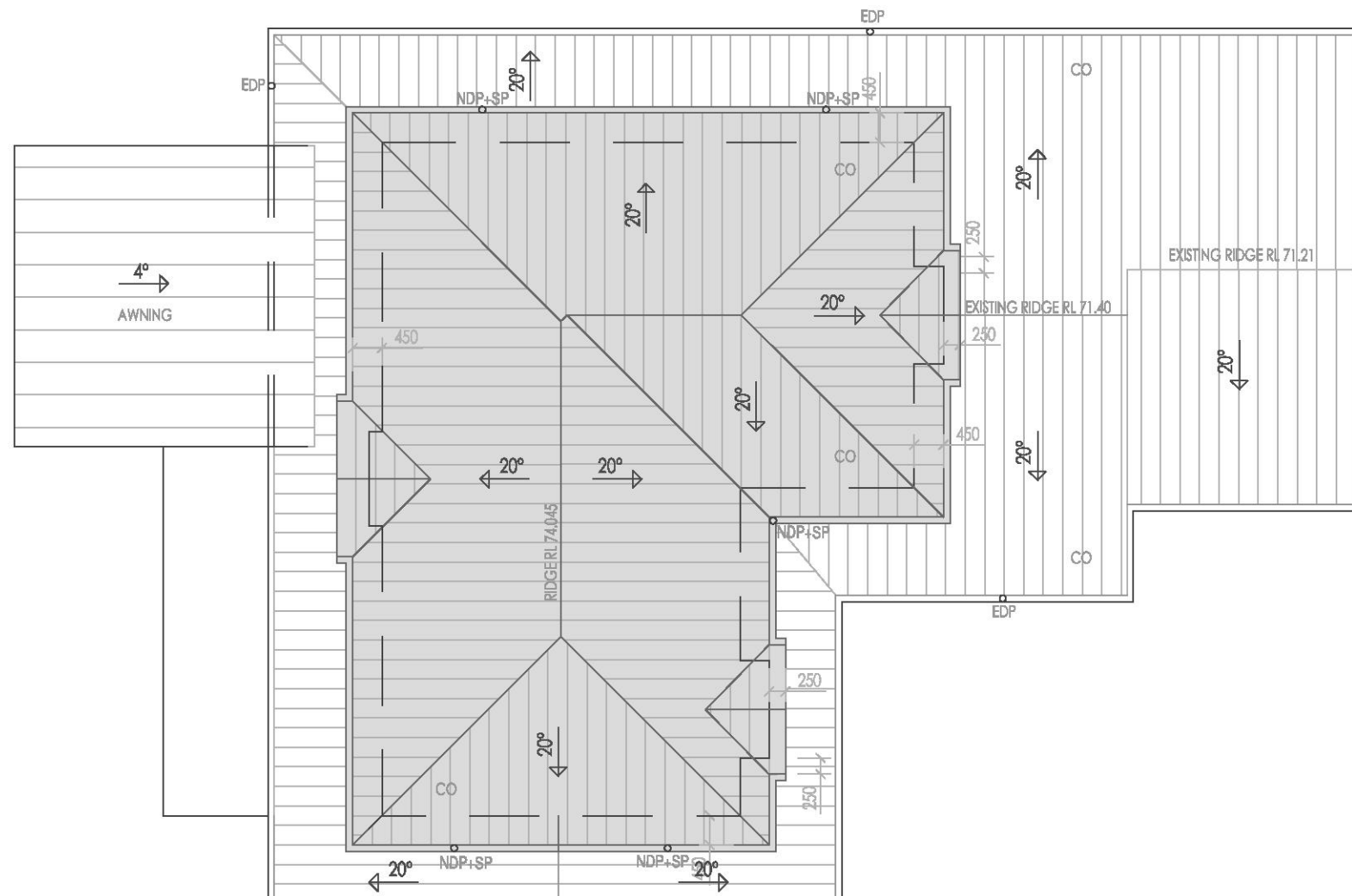
ARCHITECT: **ZMP ARCHITECTS
& HERITAGE
CONSULTANTS**
nominated architect in NSW Marija Popovic reg.no. 8222
m: 0408 637 214 email: marija_popovic@yahoo.com

DRAWING TITLE:
PROPOSED GROUND FLOOR PLAN

DRAWING No: **A-05 (rev A)**
DATE: MAR 2016
SCALE 1:100@A3

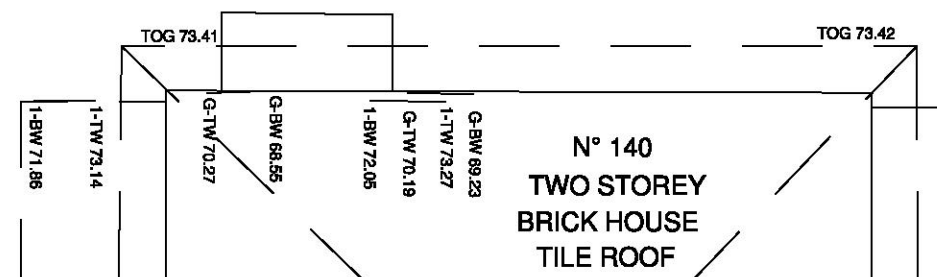


SHEET:
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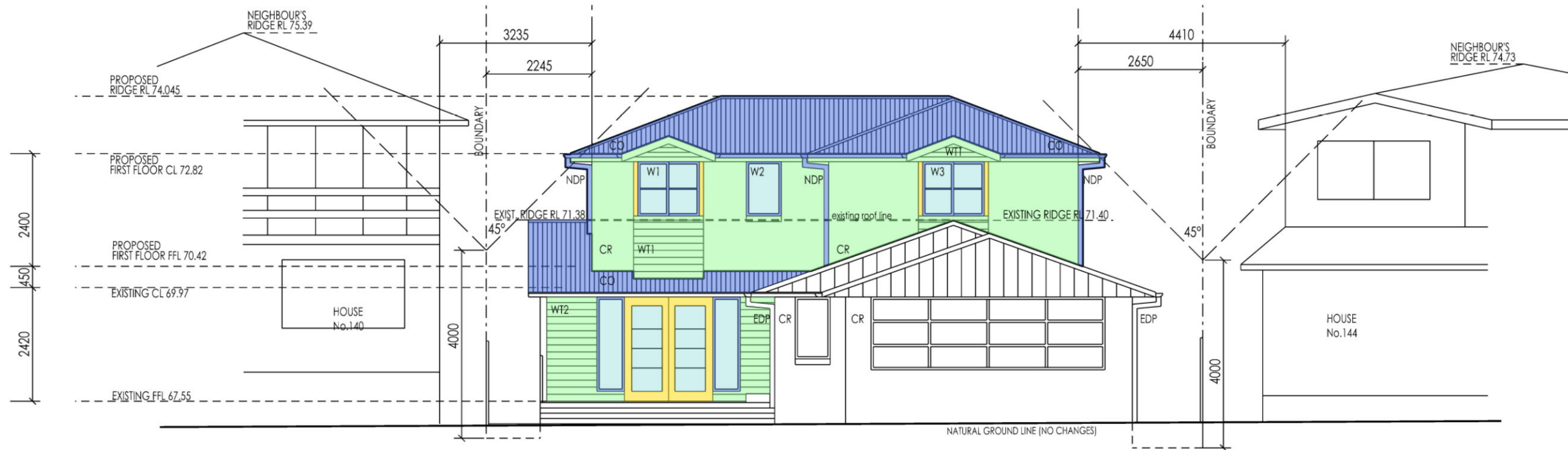


NORTHERN BEACHES COUNCIL

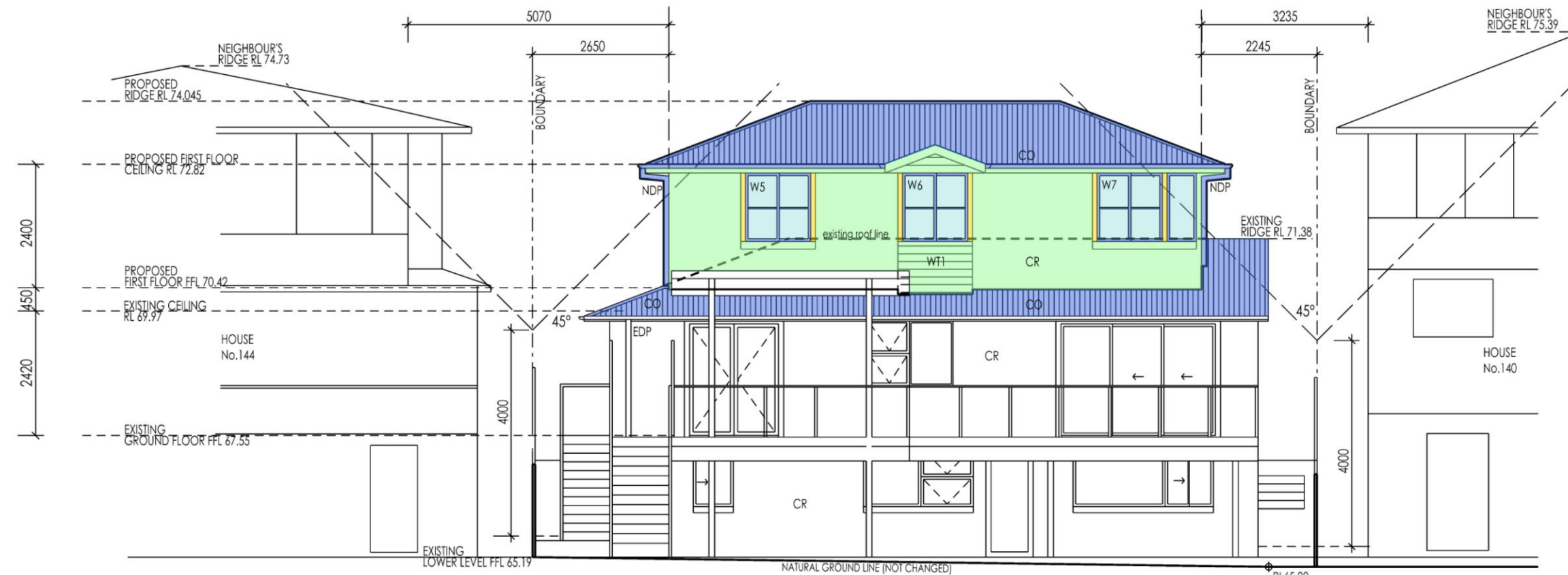
PROPOSED ADDITION



SHEET:
8 of 12



1 STREET ELEVATION - NORTH-EAST
SCALE 1 : 100



2 REAR ELEVATION - SOUTH-WEST
SCALE 1 : 100

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2016/ 0237

NORTHERN BEACHES COUNCIL

FINISHES SCHEDULE

CR	CEMENT RENDER & PAINT DULUX "HORIZON SKY QUARTER"
WT1	WEATHERTEX WALL CLADDING DULUX "GREY PAIL"
WT2	WEATHERTEX WALL CLADDING DULUX "OOLONG"
CO	COLORBOND ROOF "WINDSPRAY"

LEGEND

EDP	EXISTING DOWNPIPE
NDP	NEW DOWNPIPE WITH SPREADER
	PROPOSED ADDITION

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DRAWING TITLE:
PROPOSED ELEVATIONS - sheet 01

DRAWING No: **A-08 (rev A)**
DATE: MAR 2016
SCALE 1:100@A3

SHEET:
9 of 12