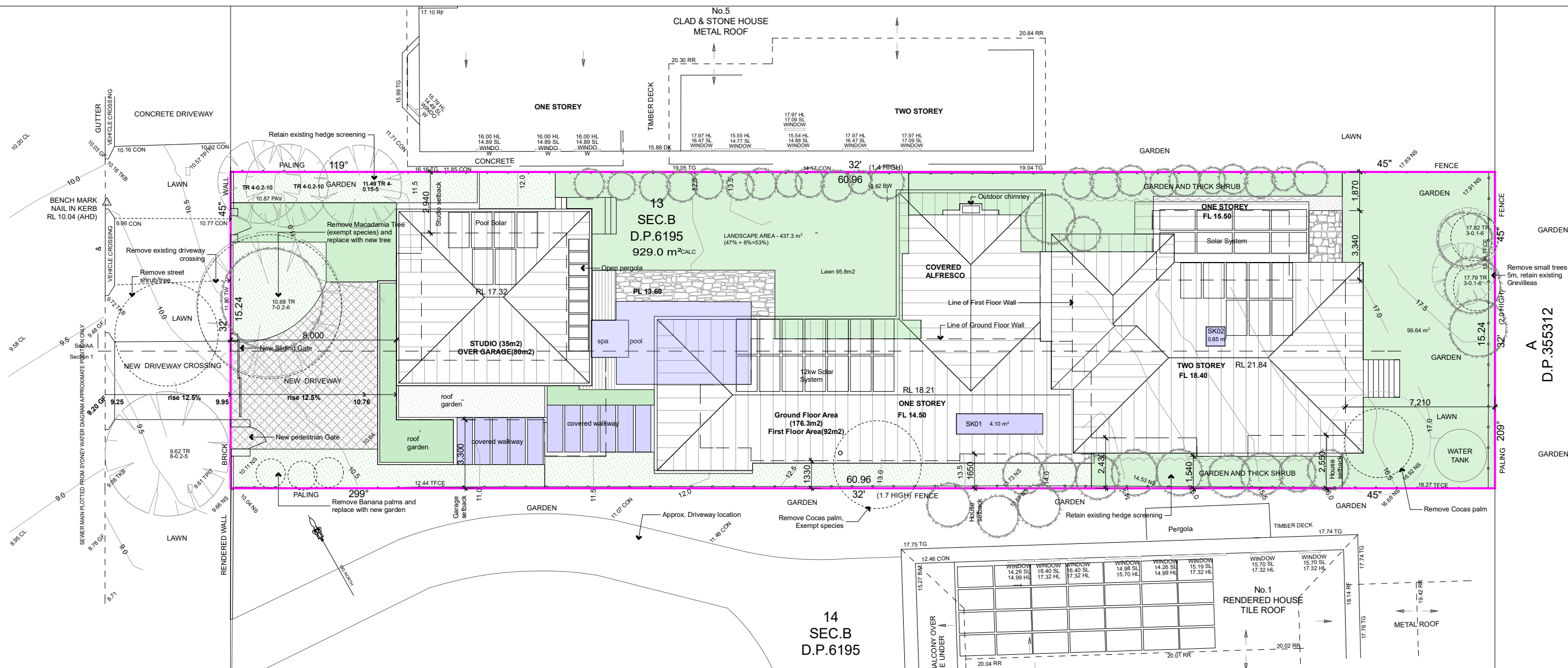




Site and Roof Plan

Steve Halpin 3 Orana Road Mona Vale		NSW 2103	Basic Requirements Summary - Multi Dwelling Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914				
Water Target	40	Water Score	40				
Energy Target	50	Energy Score	71				
Max. Heating Load is (MJ/m ²)	43.1	Actual Heating Load	34.8				
Max. Cooling Load is (MJ/m ²)	26.3	Actual Cooling Load	24.9				
Basic Commitments							
Landscaping	Total area of garden & lawn (m ²)		473	Area of indigenous/low water use plants (m ²)		0	
Fixtures	Shower heads		3 star (> 7.5 but <= 9 L/min)	Toilets	4 star	All taps 5 star	
Alternative Water (House only)	Minimum Rainwater tank size (L)		5000	Collect run off from roof area of at least (m ²)			
	Toilet connection Yes	Laundry connection Yes	Landscape connection Yes	Pool top up Yes	Spa top up Yes		
Pool and Spa	Max pool volume (kL)	39	Pool does not require a cover		Pool pump must have a timer		
	Max spa volume (kL)	3	Spa does not require a cover		Spa pump must have a timer		
	Pool heating	Solar (gas boosted)		Spa Heating	Solar (gas boosted)		
Energy	Hot water system	Gas instantaneous			Rating	6 star	
	Bathroom ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off	
	Kitchen ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off	
	Laundry ventilation	Natural ventilation only, or no laundry					
	Cooling - living areas	Ceiling fans + 3-phase airconditioning			Rating	EER 3.0 - 3.5	
	Cooling - bedrooms	Ceiling fans + 3-phase airconditioning			Rating	EER 3.0 - 3.5	
	Heating - living areas	1-phase airconditioning			Rating	EER 3.0 - 3.5	
	Heating - bedrooms	1-phase airconditioning			Rating	EER 3.0 - 3.5	
	Alternate Energy	Photovoltaic system able to generate at least 12 (house)			peak kilowatts of electricity		
Gas cooktop & electric oven		Outdoor clothesline required		No indoor clothesline required			

Thermal Performance Assessment Based on the Following Requirements									
Floor Types	Concrete slab on ground			with	R1.1 under slab insulation				
	Suspended concrete slab			with	R1.1 underslab insulation				
	Suspended timber			with	R2.5 bulk insulation				
	Suspended concrete slab - Studio			with	R1.1 underslab insulation (garage ceiling)				
Floor Coverings	Tiles	Wet areas			Timber	Hall / Studio			
	Carpet	Bedrooms			Concrete	House living			
External Walls	Brick veneer			with	Sarking and R2.5 bulk insulation			Colour	Light
	Timber framed Polystyrene clad			with	Sarking and R2.5 bulk insulation			Colour	Light
Internal Walls	Plasterboard			with	No insulation required				
Ceiling (floor over)	Timber above plasterboard			with	Nil				
Ceilings (roof over)	Timber above plasterboard			with	R4.0 bulk insulation				
Roof	Metal			with	R1.3 roof blanket			Colour	Dark
Windows and Doors	AF double glazed LowE Grey - House			Fixed Glass	AWS-067-18		U-Value 2.19 or less		SHGC 0.34 +/- 5%
	to all windows and glazed doors unless noted otherwise	Loures & D-Hung windows single glazed	Sliding Windows	AWS-003-13		U-Value 3.80 or less		SHGC 0.34 +/- 5%	
			Sliding Doors	AWS-089-07		U-Value 2.63 or less		SHGC 0.41 +/- 5%	
			Hinged Door	AWS-019-11		U-Value 3.71 or less		SHGC 0.30 +/- 5%	
			DHung Windows	VAN-002-13		U-Value 6.36 or less		SHGC 0.43 +/- 5%	
			Loures	VAN-004-07		U-Value 6.14 or less		SHGC 0.45 +/- 5%	
	AF single glazed Low E Grey - Studio			Fixed Glass	AWS-066-01		U-Value 3.92 or less		SHGC 0.45 +/- 5%
	to all windows and glazed doors unless noted otherwise		Sliding Windows	AWS-001-12		U-Value 4.70 or less		SHGC 0.36 +/- 5%	
			Sliding Doors	AWS-011-18		U-Value 4.36 or less		SHGC 0.43 +/- 5%	
			Hinged Door	AWS-018-20		U-Value 4.42 or less		SHGC 0.34 +/- 5%	
DHung Windows			VAN-002-13		U-Value 6.36 or less		SHGC 0.43 +/- 5%		
		Loures	VAN-004-07		U-Value 6.14 or less		SHGC 0.45 +/- 5%		
AF = Aluminium Framed			TB = Thermally Broken Aluminium Framed			TF = Timber Framed			



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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Cover Sheet
Site and Roof Plan, Basix 1 2022-06-24 103346,

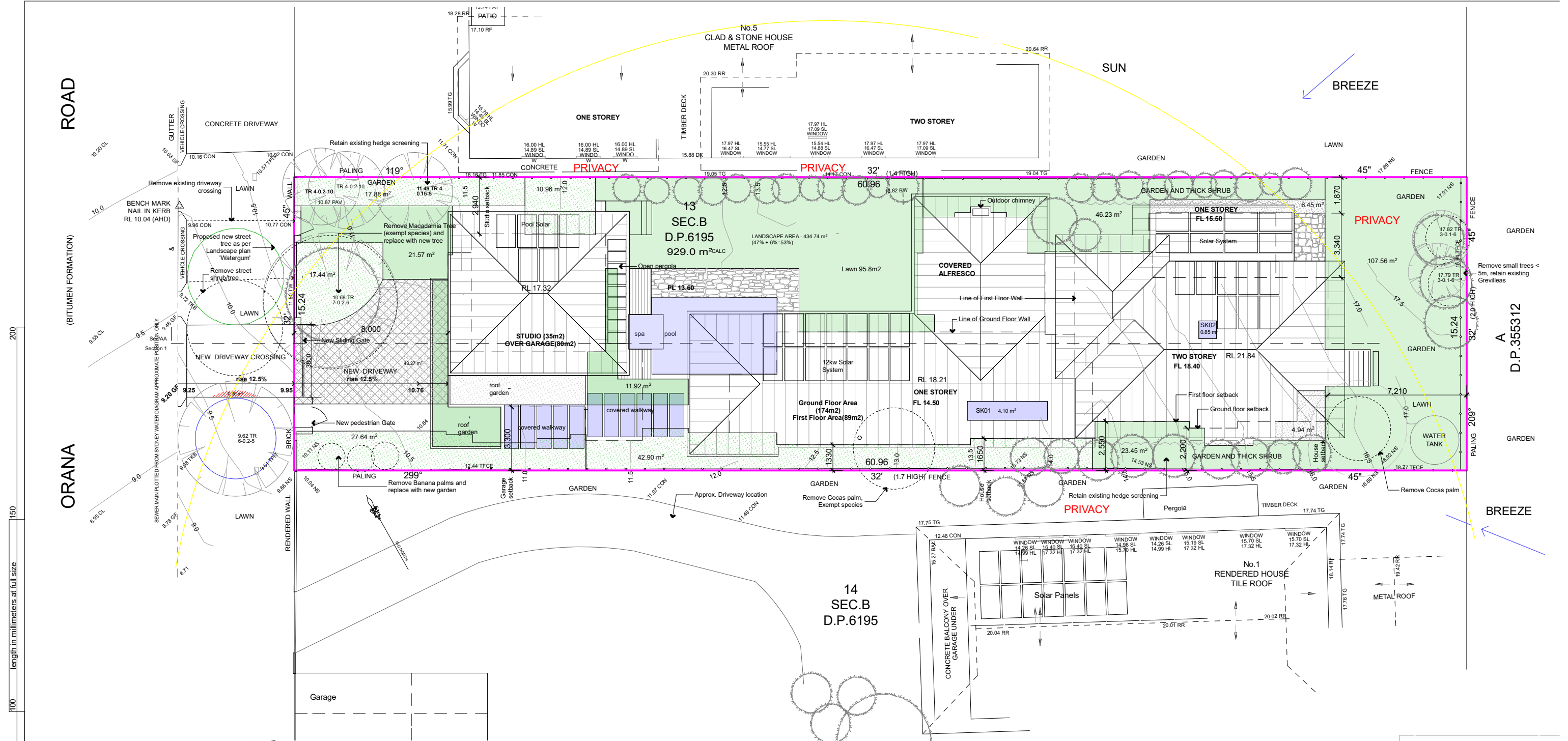
Scale: as noted Date: 10.06.22

Status: DA	Checked By: SH
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Project No:	Drawing No.:
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2022 02	DA
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Plot Date:	24/06/2022
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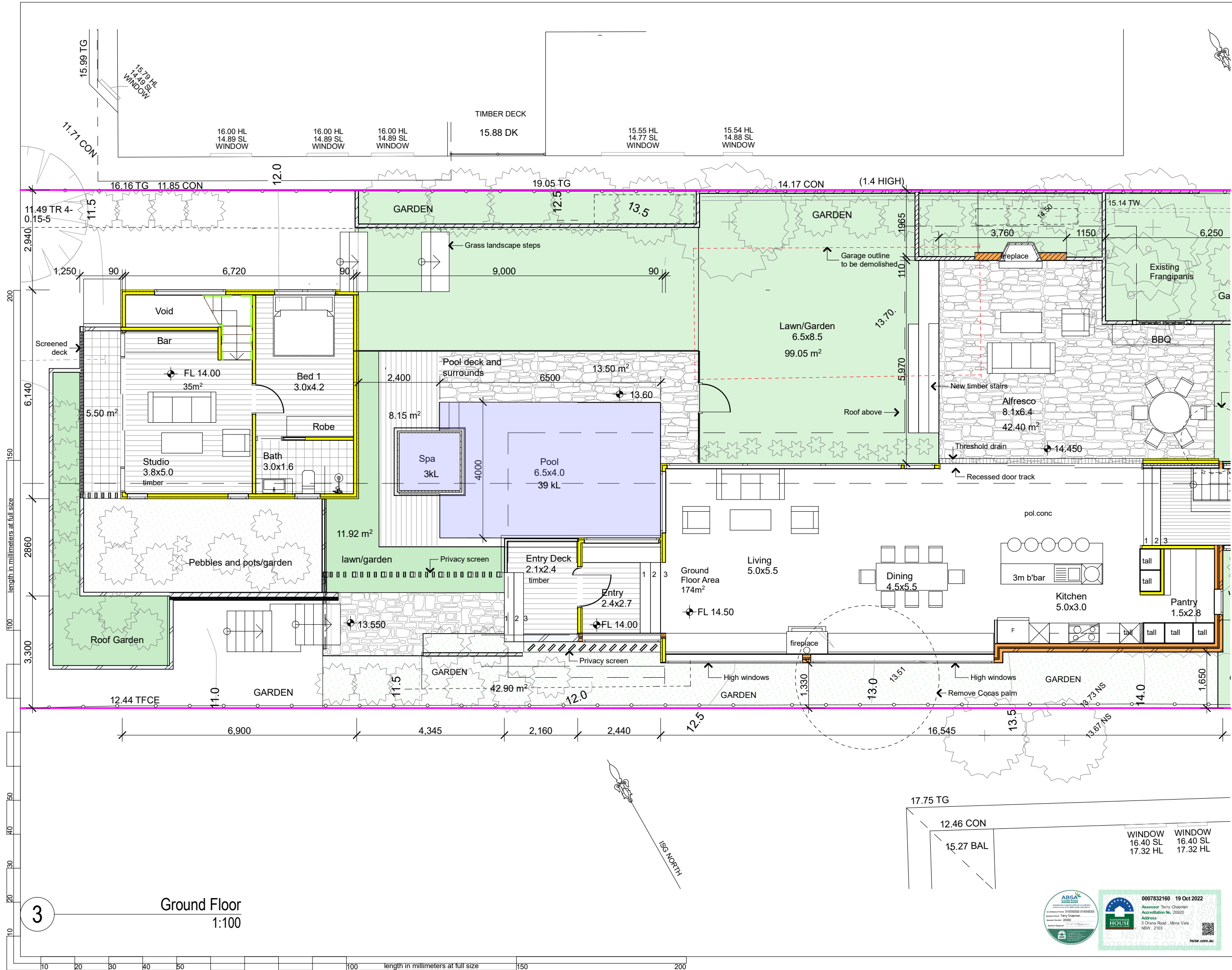


Site and Roof Plan



Streetfront View

1:200	
B- DA Additional Information	
A- DA Amendment 11.10.22	
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	
Client S & J Halpin	
Project Name Halpin House and Pool	
3 Orana Rd Mona Vale 2103	
SHERALEE HOGAN B.Sc(Arch) B.(Arch) U.Syd 0416 954 635 sheralee.ssd@bigpond.com	
Drawing Title: Plans Ground - Site Analysis and Roof Plan Streetfront View, Site and Roof Plan	
Scale: as noted	Date: 20.12.22
Status: DA	Checked By: SH
Project No: 2022 02	Drawing No.: DA00 -B
Plot Date:	20/12/2022



A - DA Amendment 11.10.22

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S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

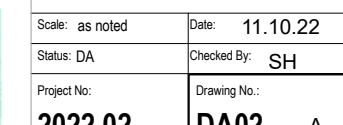
Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA02 -A

Plot Date: 13/10/2022

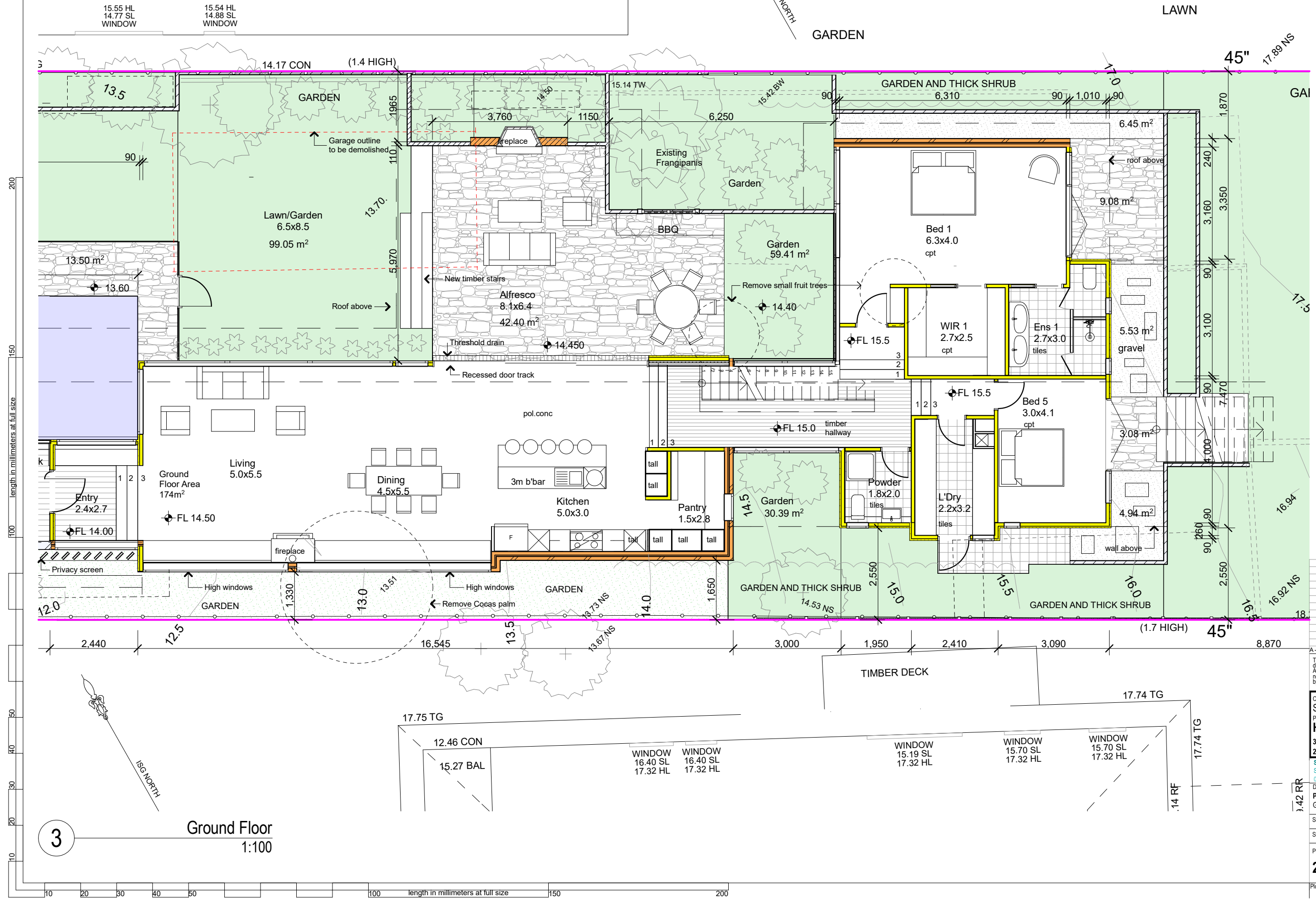




0007832160 19 Oct 2022

Assessor: Terry Chapman
Accreditation No. 20820
Address: 3 Orana Road, Mona Vale, NSW, 2103

hatar.com.au



Ground Floor
1:100

A - DA Amendment 11.10.22

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S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA02-b -A

Plot Date: 13/10/2022



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Assessor Terry Chapman
Accreditation No. 20920
Address
3 Orana Road, Mona Vale,
NSW, 2103



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17.97 HL
17.09 SL
WINDOW

17.97 HL
16.47 SL
WINDOW

17.97 HL
17.09 SL
WINDOW

19.04 TG

EXISTING GARDEN AND THICK SHRUB

Deck
1.5x4.2

6.70 m²

Rumpus
3.8x4.1
cpt

Bath 1
4.1x1.8
tiles

FL 18.40

Floor Area 89.0m²

Bed 2
4.8x3.6
cpt

Bed 3
4.8x3.6
cpt

Bed 4
5.4x3.0
cpt

Bath 2
1.6x2.3
tiles

Skylight Below
4.10 m²

WATER
TANK

EXISTING GARDEN AND THICK SHRUB

Pergola

17.74 TG

17.74 TG

19.42 RR

18.14 RF

WINDOW
14.26 SL
14.99 HL

WINDOW
16.40 SL
17.32 HL

WINDOW
16.40 SL
17.32 HL

WINDOW
14.98 SL
15.70 HL

WINDOW
15.19 SL
17.32 HL

WINDOW
15.70 SL
17.32 HL

WINDOW
15.70 SL
17.32 HL

15.27 BAL

First Floor
1:100

3

A - DA Amendment 11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - First Floor Plan
First Floor

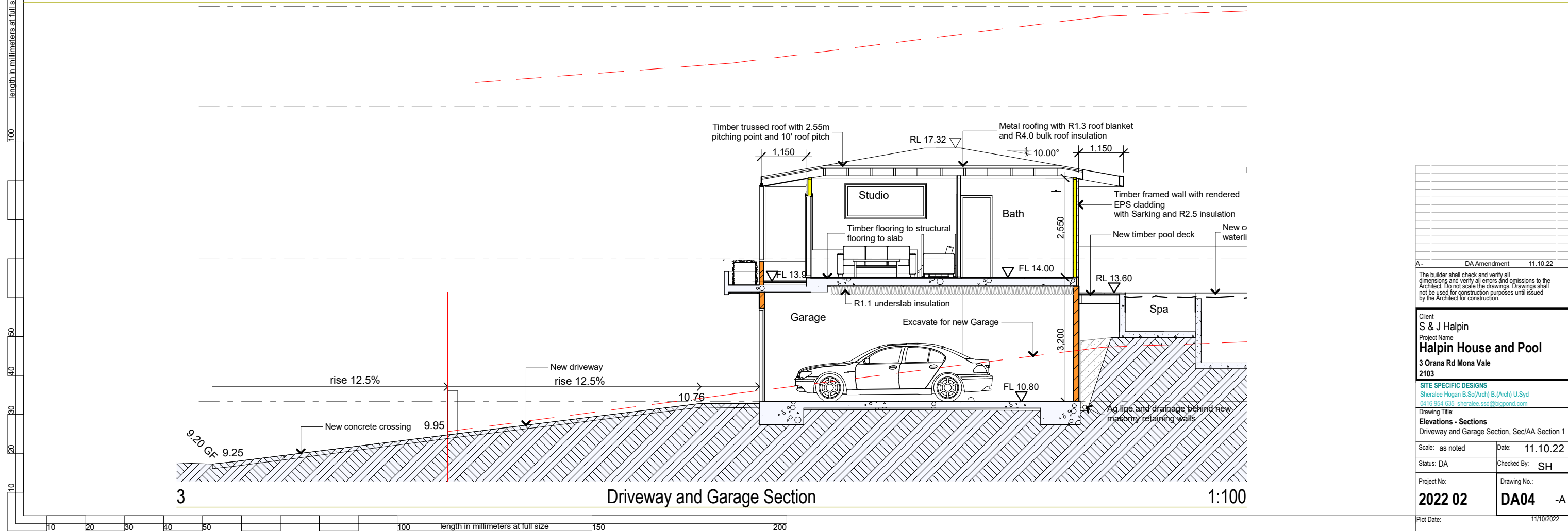
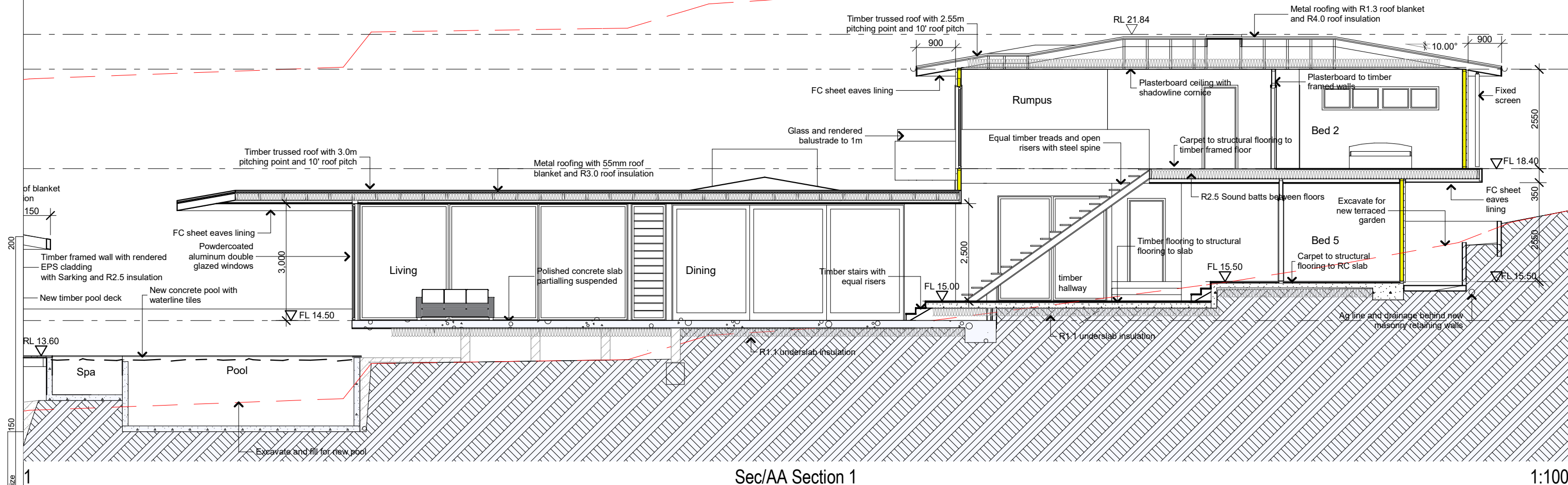
Scale: as noted Date: 11.10.22
Status: DA Checked By: SH

Project No:
2022 02
Drawing No.:
DA03 -A

Plot Date: 13/10/2022



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Assessor: Terry Chapman
Accreditation No. 20820
Address: 3 Orana Road, Mona Vale, NSW, 2103
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A - DA Amendment 11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Sections
Driveway and Garage Section, Sec/AA Section 1

Scale: as noted Date: 11.10.22

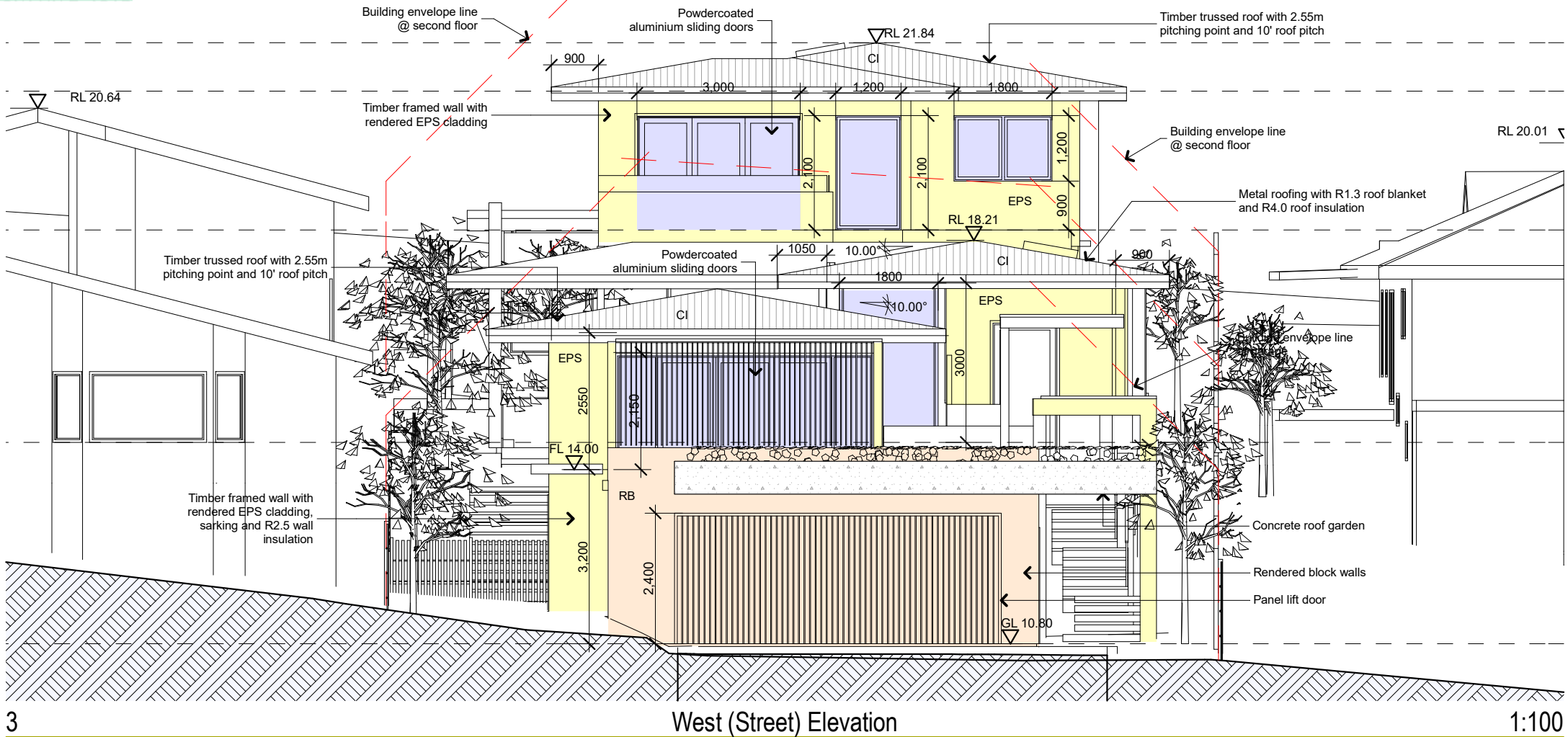
Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA04 -A

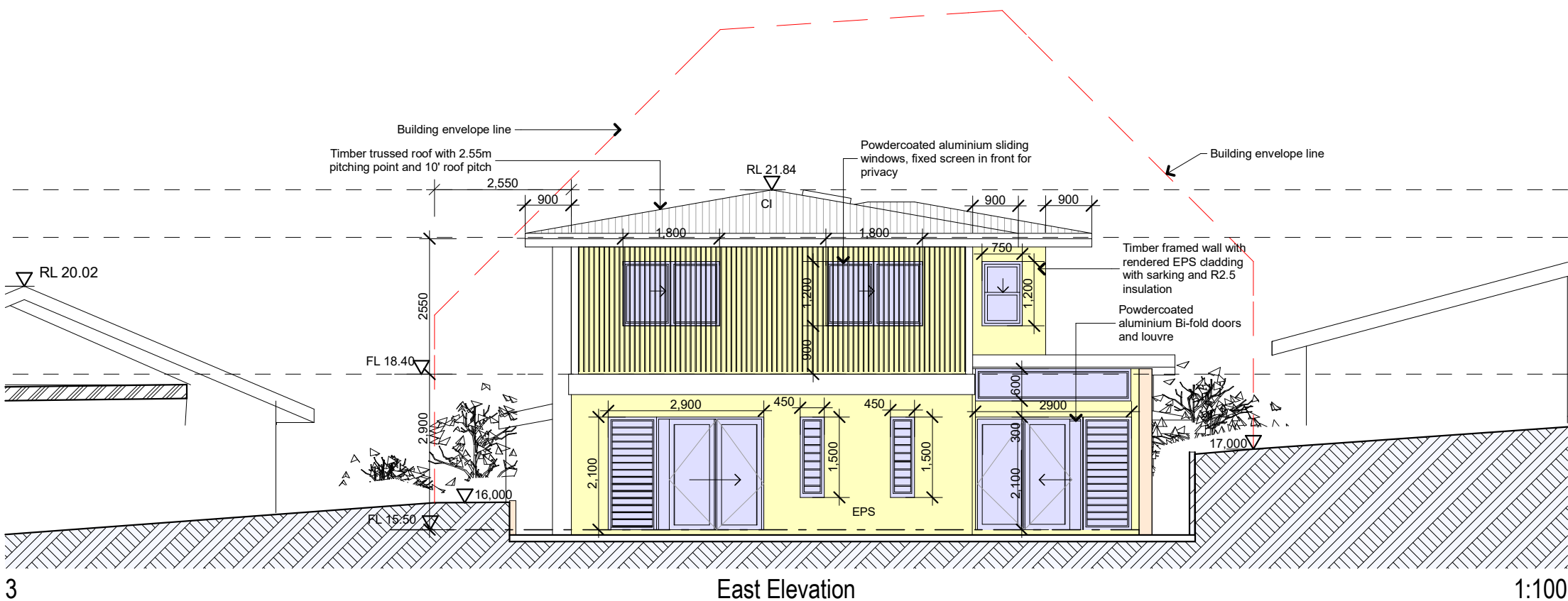
Plot Date: 11/10/2022



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Assessor Terry Chapman
Accreditation No. 20920
Address
3 Orana Road, Mona Vale,
NSW, 2103



West (Street) Elevation 1:100



East Elevation 1:100

A - DA Amendment 11.10.22

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0416 954 635 sheralee.ssd@bigpond.com

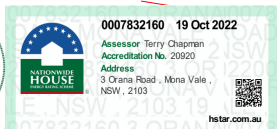
Drawing Title:
Elevations - Elevations
West (Street) Elevation, East Elevation

Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA05 -A

Plot Date: 13/10/2022



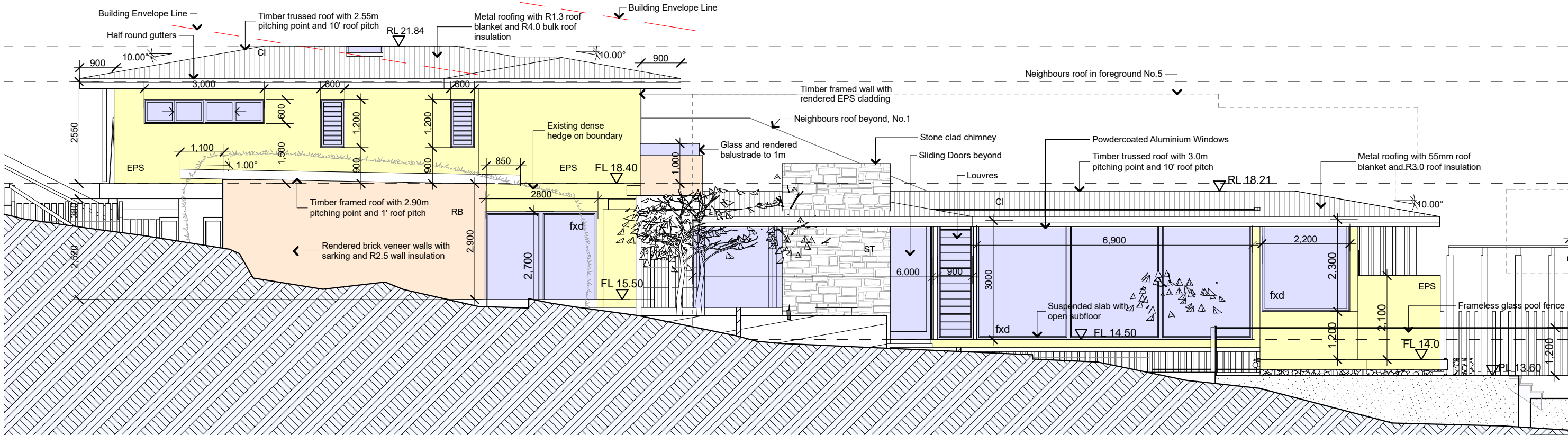
0007832160 19 Oct 2022

Assessor: Terry Chapman
Accreditation No. 20820
Address: 3 Orana Road, Mona Vale, NSW, 2103



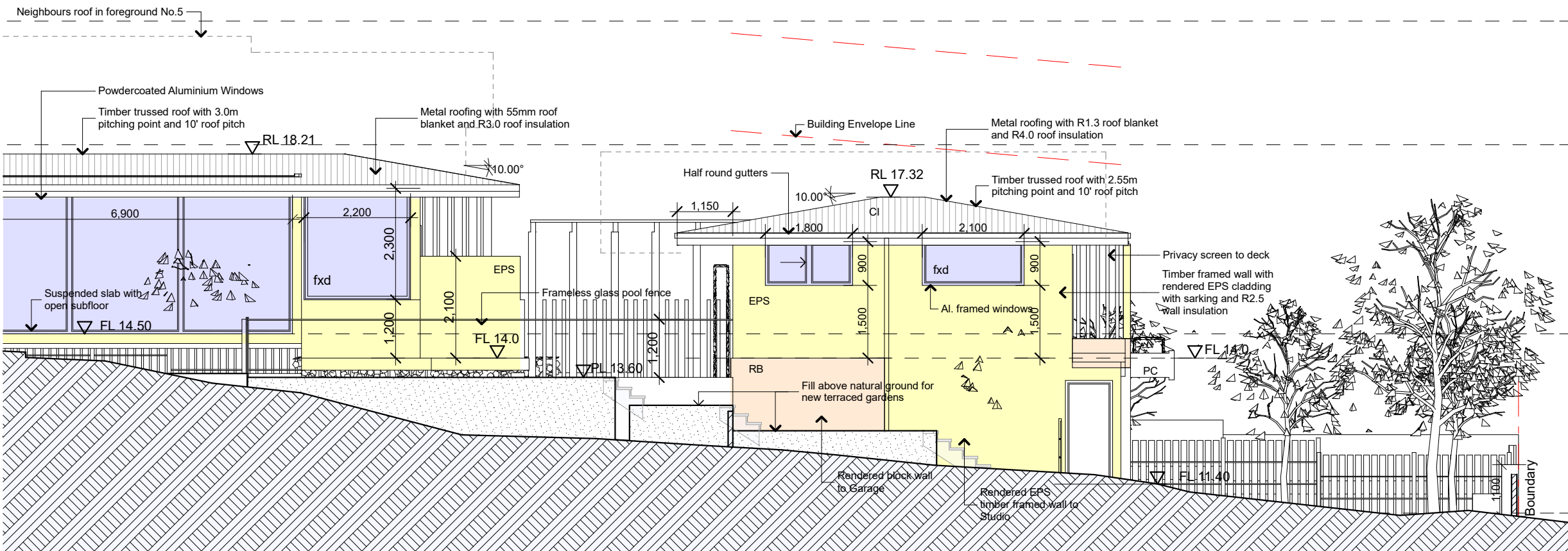
hatar.com.au

8.5m above ground line



North Elevation

1:100



North Elevation

1:100

A - DA Amendment 11.10.22

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S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
North Elevation

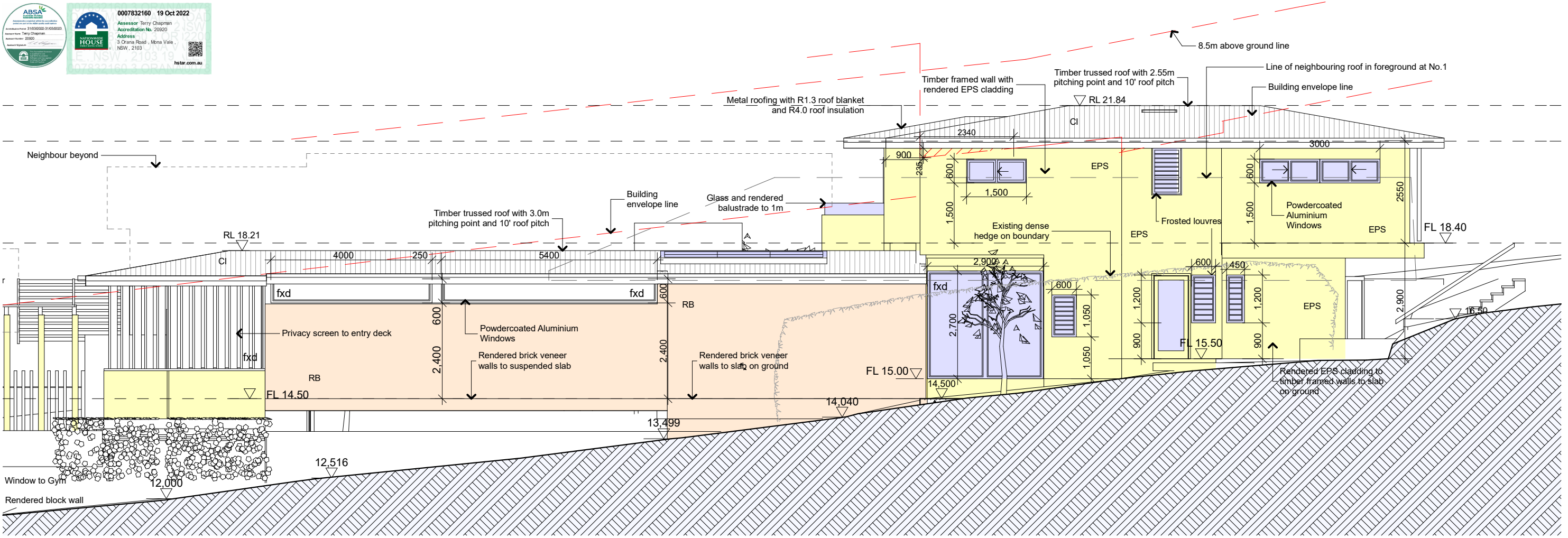
Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: Drawing No.:

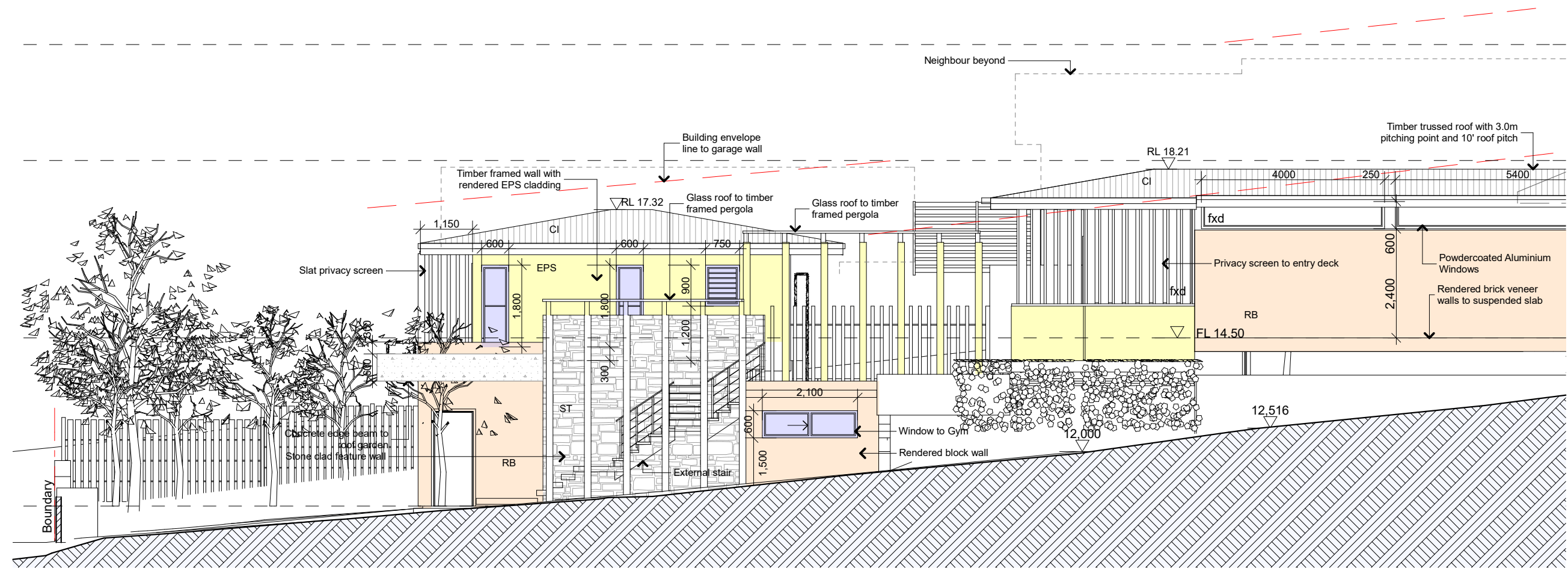
2022 02 **DA06** -A

Plot Date: 11/10/2022



South Elevation

1:100



South Elevation

1:100

A - DA Amendment 11.10.22

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Client
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Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

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Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

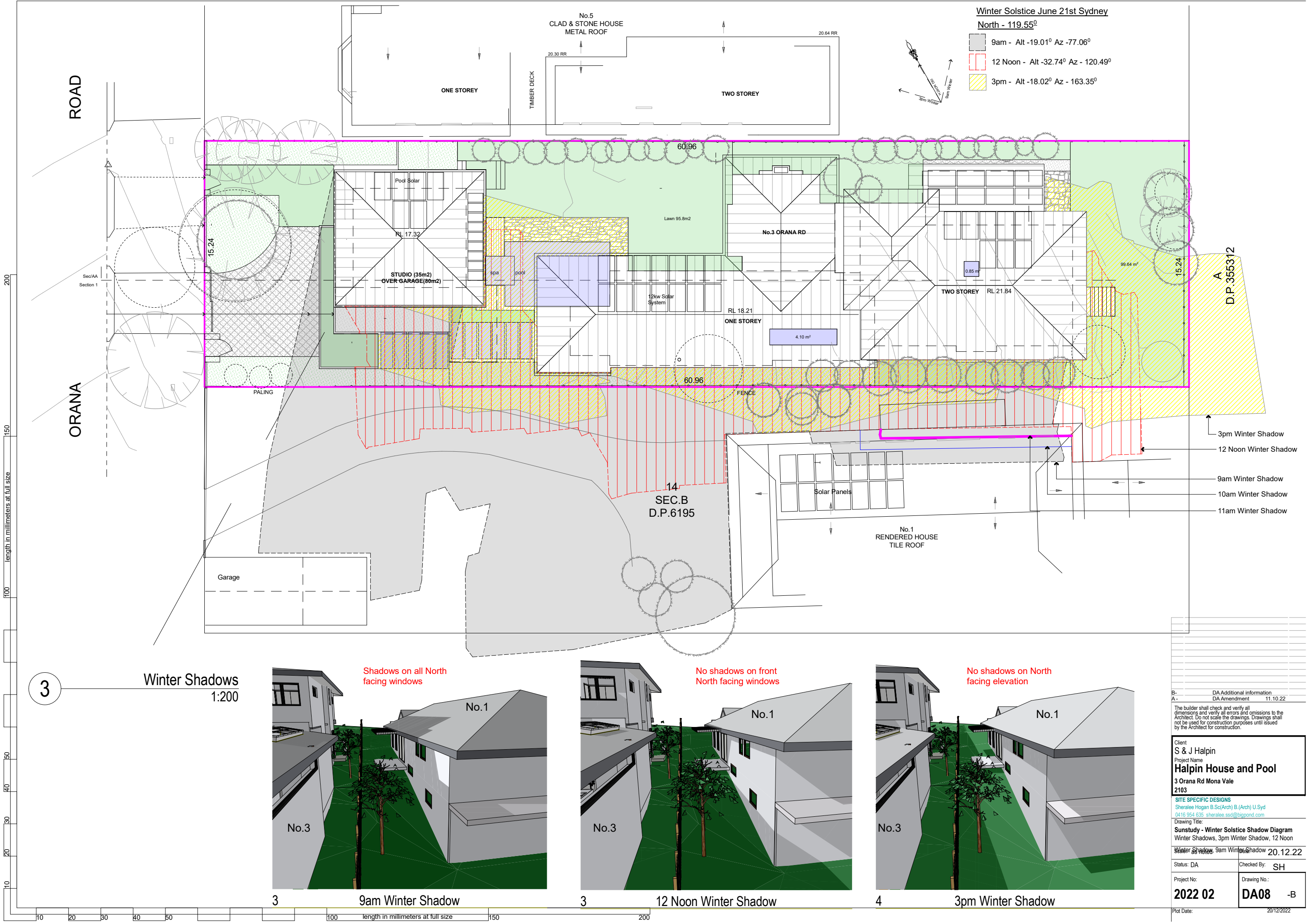
Drawing Title:
Elevations - Elevations
South Elevation

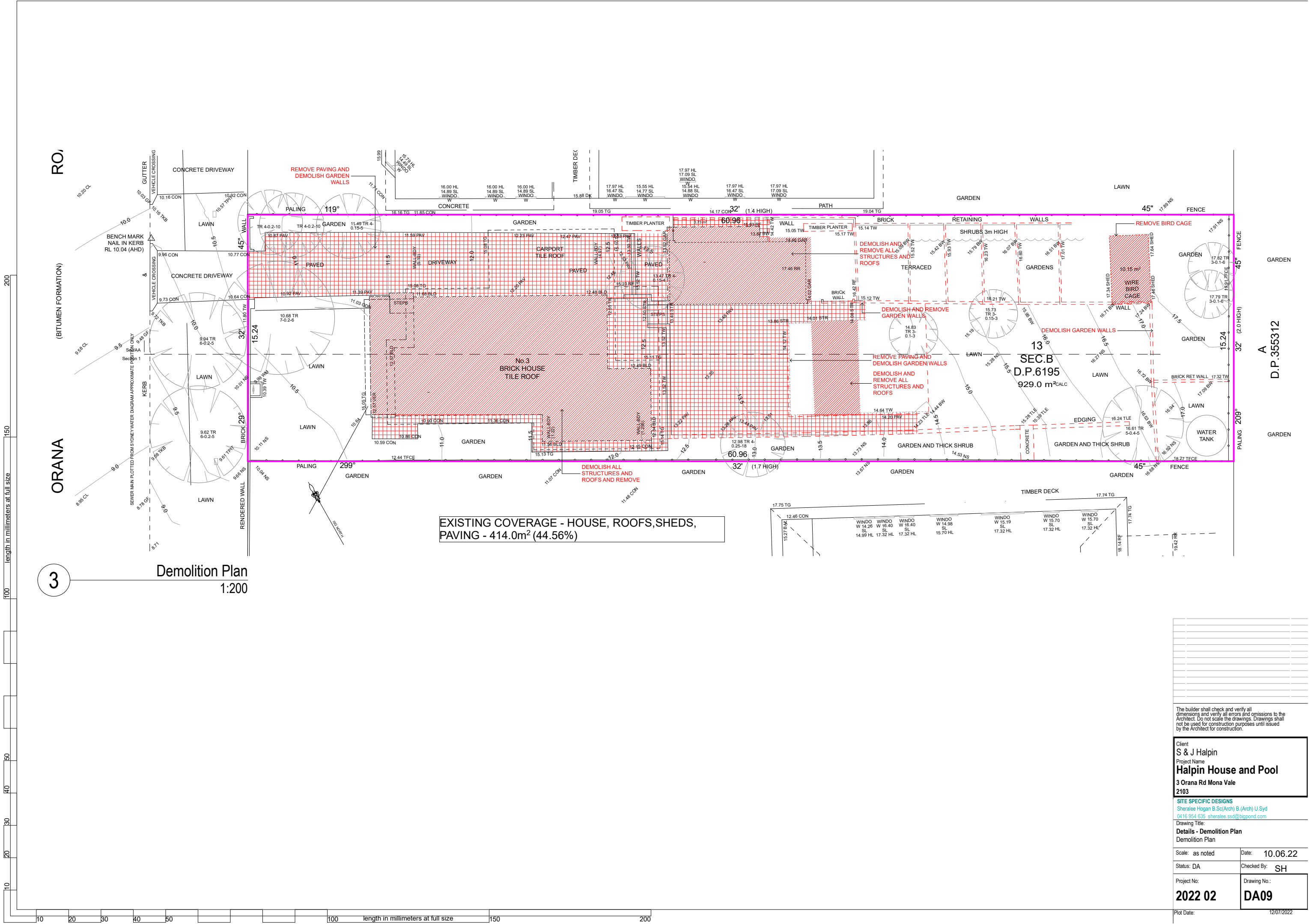
Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA07 -A

Plot Date: 13/10/2022





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Halpin House and Pool
3 Orana Rd Mona Vale
2103

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0416 954 635 sheralee.ssd@bigpond.com

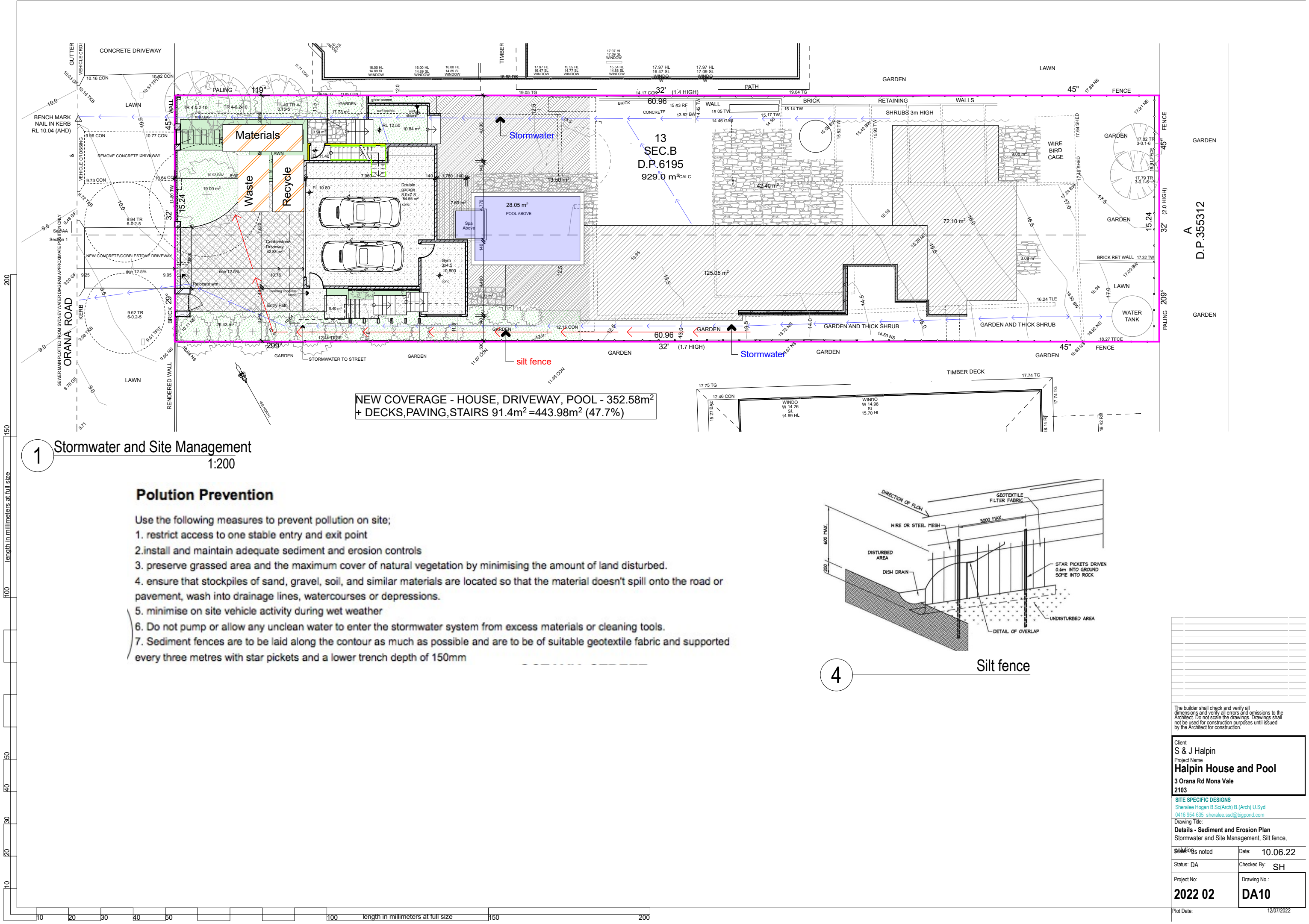
Drawing Title:
Details - Demolition Plan
Demolition Plan

Scale: as noted Date: 10.06.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA09

Plot Date: 12/07/2022

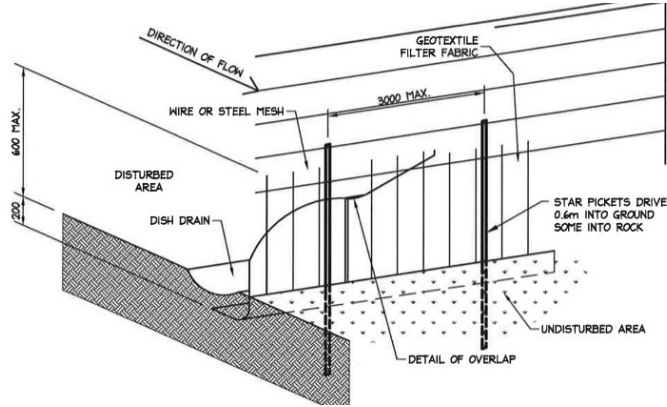


1 Stormwater and Site Management
1:200

Polution Prevention

- Use the following measures to prevent pollution on site;
1. restrict access to one stable entry and exit point
 2. install and maintain adequate sediment and erosion controls
 3. preserve grassed area and the maximum cover of natural vegetation by minimising the amount of land disturbed.
 4. ensure that stockpiles of sand, gravel, soil, and similar materials are located so that the material doesn't spill onto the road or pavement, wash into drainage lines, watercourses or depressions.
 5. minimise on site vehicle activity during wet weather
 6. Do not pump or allow any unclean water to enter the stormwater system from excess materials or cleaning tools.
 7. Sediment fences are to be laid along the contour as much as possible and are to be of suitable geotextile fabric and supported every three metres with star pickets and a lower trench depth of 150mm

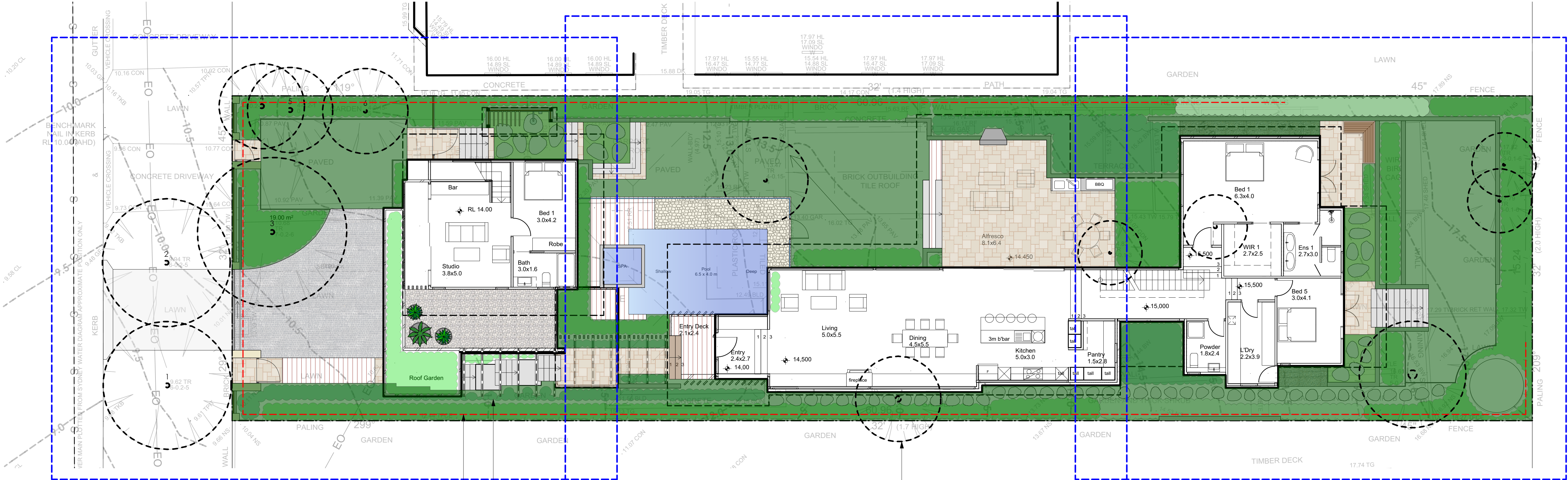
4 Silt fence



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Client S & J Halpin	
Project Name Halpin House and Pool	
3 Orana Rd Mona Vale 2103	
SITE SPECIFIC DESIGNS Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd 0416 954 635 sheralee.ssd@bigpond.com	
Drawing Title: Details - Sediment and Erosion Plan Stormwater and Site Management, Silt fence,	
Scale: As noted	Date: 10.06.22
Status: DA	Checked By: SH
Project No: 2022 02	Drawing No.: DA10
Plot Date:	12/07/2022

ORANA ROAD
(BITUMEN FORMATION)



See Detail Plan on Sht-103

See Detail Plan on Sht-104

See Detail Plan on Sht-105

Red dashed line indicates sedimentation control fence to be implemented throughout construction to appropriate standard

Green shaded area indicates compliant landscape area

All existing trees onsite are to be removed. All trees are exempt from the TPO.

Legend

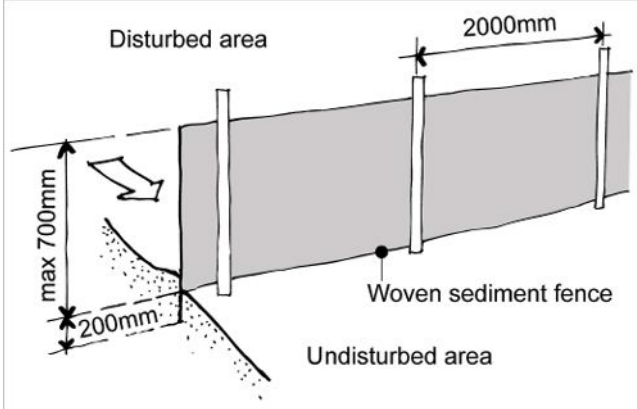
- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- + 88.88 PROPOSED LEVEL
- +TW 88.88 TOP OF WALL LEVEL
- Paving 1 MATERIAL NAME
- Fall SURFACE FALL DIRECTION
- SURFACE DRAINS
- +88.88 SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

Existing Tree Table

Number	Name	Action
1	Callistemon	Remove
2	Callistemon	Remove
3	Macadamia	Remove
4	Palm	Remove
5	Palm	Remove
6	Palm	Remove

AREA CALCULATION

	AREA (m2)	PERCENTAGE
Site	929	
Landscape total as per DCP	456.87	49.18%



Sedimentation Control Fence
Not to scale.
Source: www.yourhome.gov.au



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

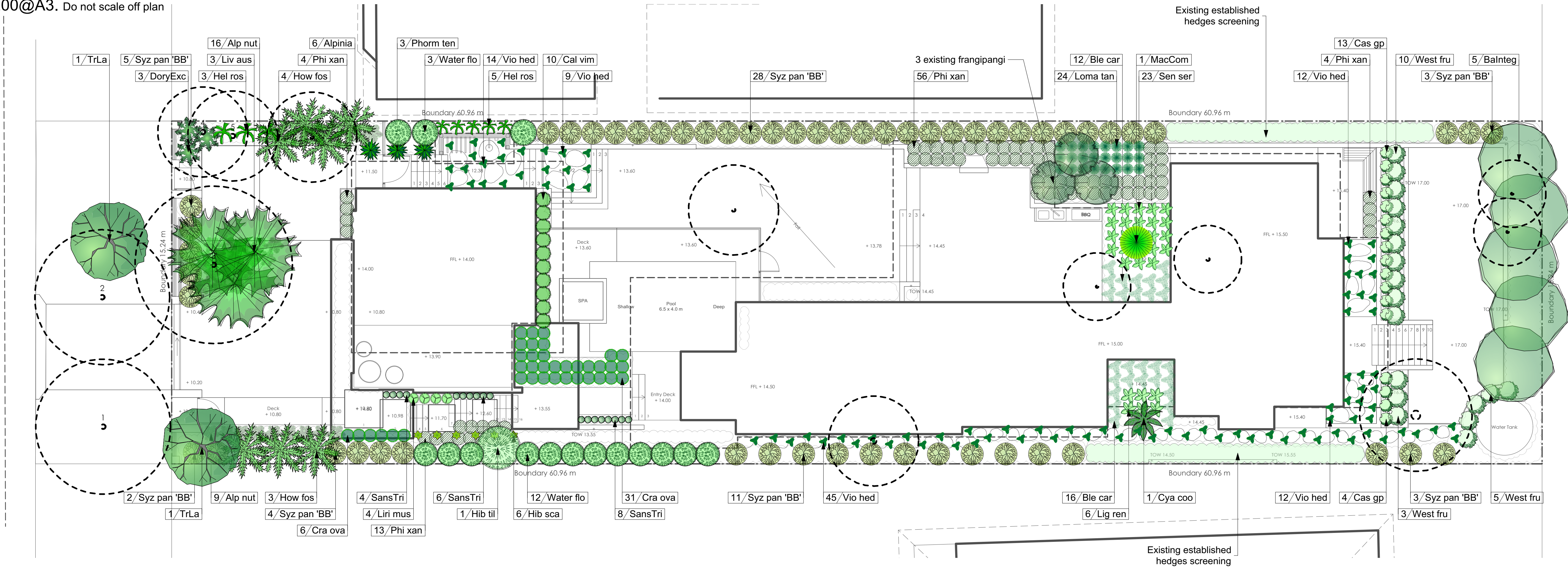
C 05/07/22 Issue for DA.
B 23/06/22 DRAFT issue for DA.
A 27/04/22 DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	3 Orana Road, Mona Vale		22101
CLIENT	S & J Halpin	DATE # See above DWG #	
DWG	Master Landscape Plan	SCALE @ A1 See Plan	Sht-101
CHKD	JK	DRAWN RAR	
		REVISION	

Jamie King Landscape Architect
22 Coonanga Road, Avalon, NSW, 2107
W: www.jamieking.com.au
T: 0421 517 991
E: jamie@jamieking.com.au

Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.

ROAD
ORANA



Legend

- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP



ALPINIA NUTANS



ALPINIA



BANKSIA



BLECHNUM



CALLISTEMON



CASUARINA



CRASSULA



CYATHEA



DORYANTHES



HELICONIA



HIBBERTIA SCANDENS



HIBISCUS RUBRA



HOWEA



LIGULARIA



LIRIOPE



LIVISTONA



LOMANDRA TANIKA



MACROZAMIA



PHILODENDRON



PHORMIUM



SANSEVIERIA



SENECIO SERPENS



SYZYGIUM



TRISTANIOPSIS



VIOLA HEDERACEA



WATERHOUSIA



WESTRINGIA

ID	Quantity	Latin Name	Common Name	Scheduled Size	Mature Height	Mature Spread
Alp nut	25	Alpinia nutans	Dwarf cardamom	200mm	0.9 - 1.5m	0.9 - 1.2m
Alpinia	6	Alpinia zerumbet 'Variegated'	Ginger	200mm	0.9 - 1.5m	0.9 - 1.2m
Balnteg	5	Banksia integrifolia	Coastal Banksia	25lt	15m	3.5 - 6m
Ble car	28	Blechnum cartilagineum	Gristle Fern	200mm	0.0 - 0.3m	0.5m
Cal vim	10	Callistemon viminalis 'slim'	Narrow Bottlebrush	150mm	0.9 - 1.5m	0.9 - 1.2m
Cas gp	17	Casuarina glauca prostrate	Swamp Oak	200mm	0.3m	0.3m
Cra ova	37	Crassula ovata	Jade plant	200mm	0.5m	0.5m
Cya coo	1	Cyathea cooperi	Rough Tree Fern	200mm	5 - 10m	6 - 10m
DoryExc	3	Doryanthes excelsa	Gymea Lily, Giant Lily	25lt	1.5 - 3m	1.2 - 2.0m
Hel ros	8	Heliconia rostrata	Heliconia	200mm	3m	1m
Hib sca	6	Hibbertia scandens	Golden Guinea Flower	150mm	0.0 - 0.3m	3.5 - 6m
Hib til	1	Hibiscus tiliaceus rubra	Cottonwood	25lt	5 - 10m	3.5 - 6m
How fos	7	Howea fosteriana	Kentia Palm	45lt	5 - 10m	3.5 - 6m
Lig ren	6	Ligularia reniformis	Tractor Seat Plant	200mm	1m	1.5m
Liri mus	4	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lillyturf	150mm	0.45 - 0.6m	0.3 - 0.6m
Liv aus	3	Livistona australis	Cabbage-tree Palm	25lt	15 - 20m	6 - 10m
Loma tan	24	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	150mm	0.45 - 0.6m	0.6 - 0.9m
MacCom	1	Macrozamia communis	Burrawang	200mm	0.5 - 1m	1m
Phi xan	77	Philodendron 'Xanadu'	Xanadu	200mm	0.8m	1 - 1.2m
Phorm ten	3	Phormium tenax	New Zealand Flax	200mm	1.5 - 3m	1.2 - 2.0m
SansTri	18	Sansevieria trifasciata	Mother in law toung	200mm	0.3m	0.8m
Sen ser	23	Senecio serpens	Blue Chalksticks	200mm	0.3m	0.5m
Syz pan 'BB'	56	Syzygium paniculatum 'Backyard Bliss'	Lillypilly 'Backyard Bliss'	200mm	5 - 10m	6 - 10m
TrLa	2	Tristaniopsis laurina	Kanooka, Water Gum	45lt	15m	5m
Vio hed	92	Viola hederacea	Native Violet	100mm	0.0 - 0.3m	1.2 - 2.0m
Water flo	15	Waterhousea floribunda	Weeping Lilly Pilly	45lt	5 - 10m	3.5 - 6m
West fru	18	Westringia fruticosa	Coastal Rosemary	150mm	0.9 - 1.5m	0.9 - 1.2m

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C 05/07/22 Issue for DA.
B 23/06/22 DRAFT issue for DA.
A 27/04/22 DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	3 Orana Road, Mona Vale		22101
CLIENT	S & J Halpin	DATE # See above	DWG #
DWG	Planting Plan	SCALE @ A1 See Plan	Sht-102
CHKD	JK	REVISION	

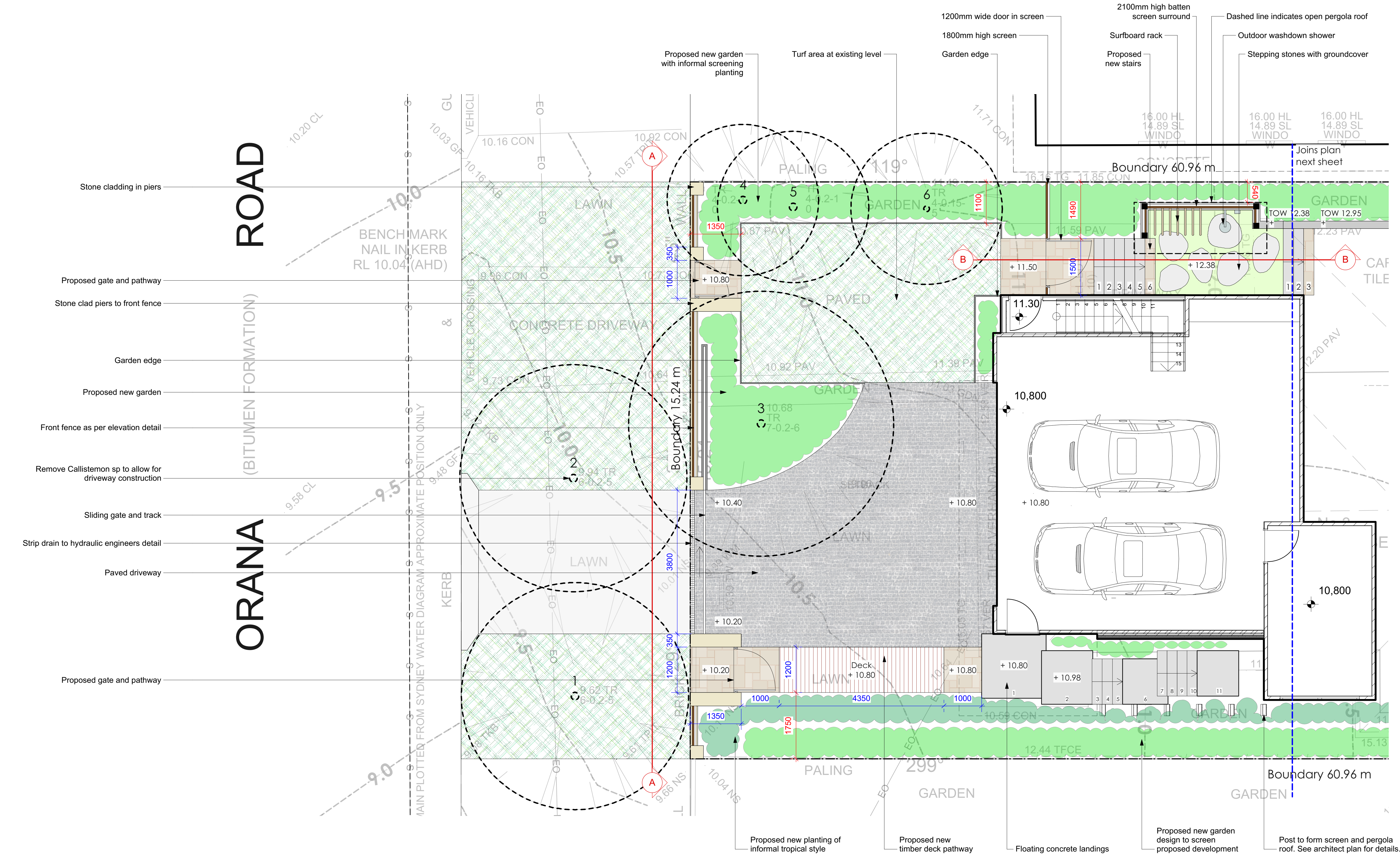


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ROAD

ORANA



Legend

- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

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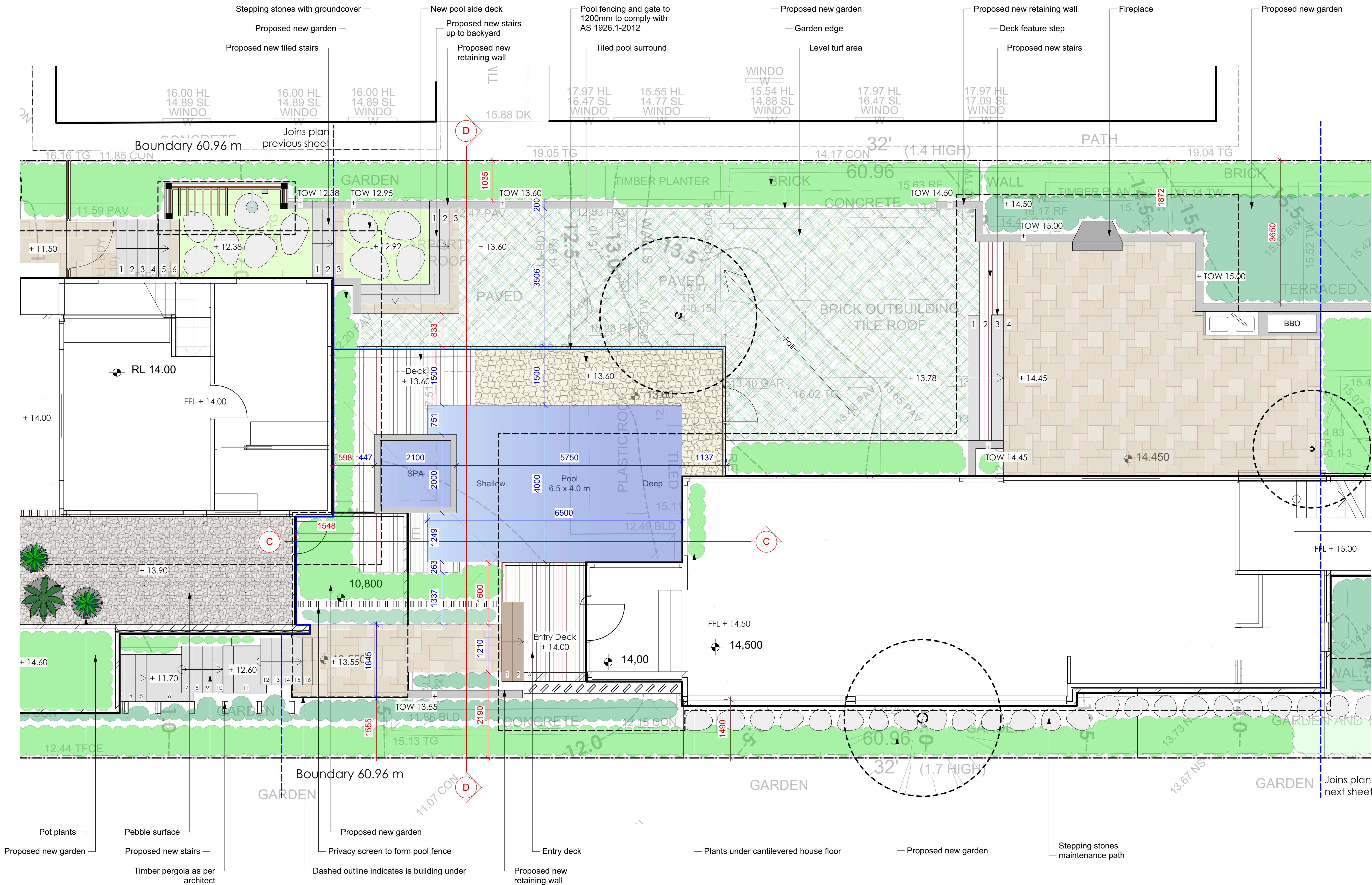
C 05/07/22 Issue for DA.
B 23/06/22 DRAFT issue for DA.
A 27/04/22 DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT			22101
CLIENT			S & J Halpin
DWG			Front Yard Detail Plan
CHKD			JK
DATE #	See above	DWG #	
SCALE @ A1	See Plan		Sht-103
DRAWN	RAR		
REVISION			

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- Legend**
- MULCH AREA
 - TURF AREA
 - TIMBER DECKING
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 - UNIT PAVING
 - STAIRS
 - PEBBLE
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 - SURFACE DRAINS
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 - EXISTING TREE TO RETAIN
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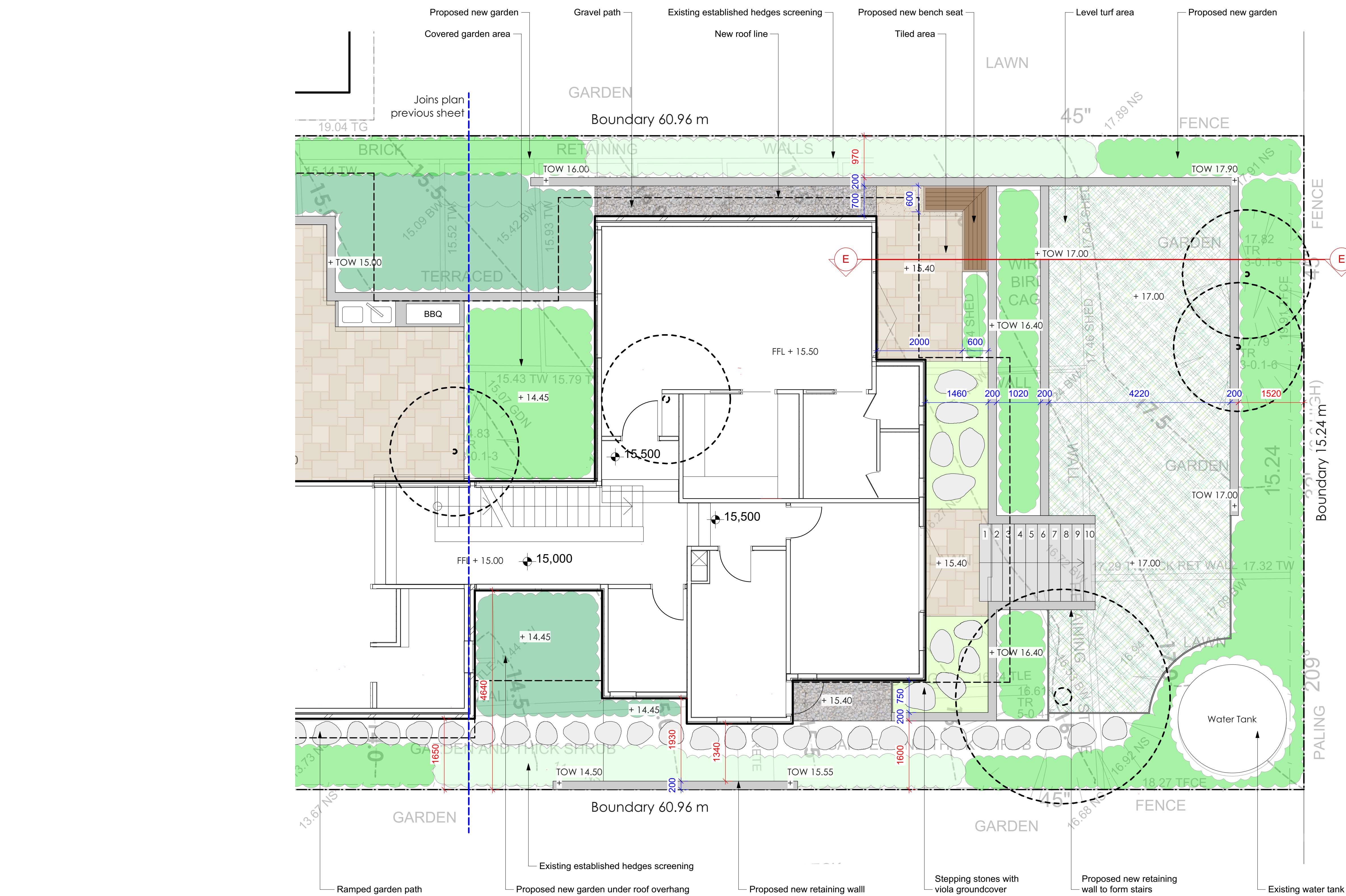
C 05/07/22 Issue for DA.
B 23/06/22 DRAFT issue for DA.
A 27/04/22 DRAFT issue for review.

ISSUE	DATE	REVISION
PROJECT	3 Orana Road, Mona Vale	
CLIENT	S & J Halpin	
DWG	Middle Yard Detail Plan	
CHKD	JK	REVISION
PROJECT #	22101	
DATE #	See above	DWG #
SCALE @ A1	See Plan	Sht-104
DRAWN	RAR	
CHKD	JK	

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Legend

- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
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- STAIRS
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- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

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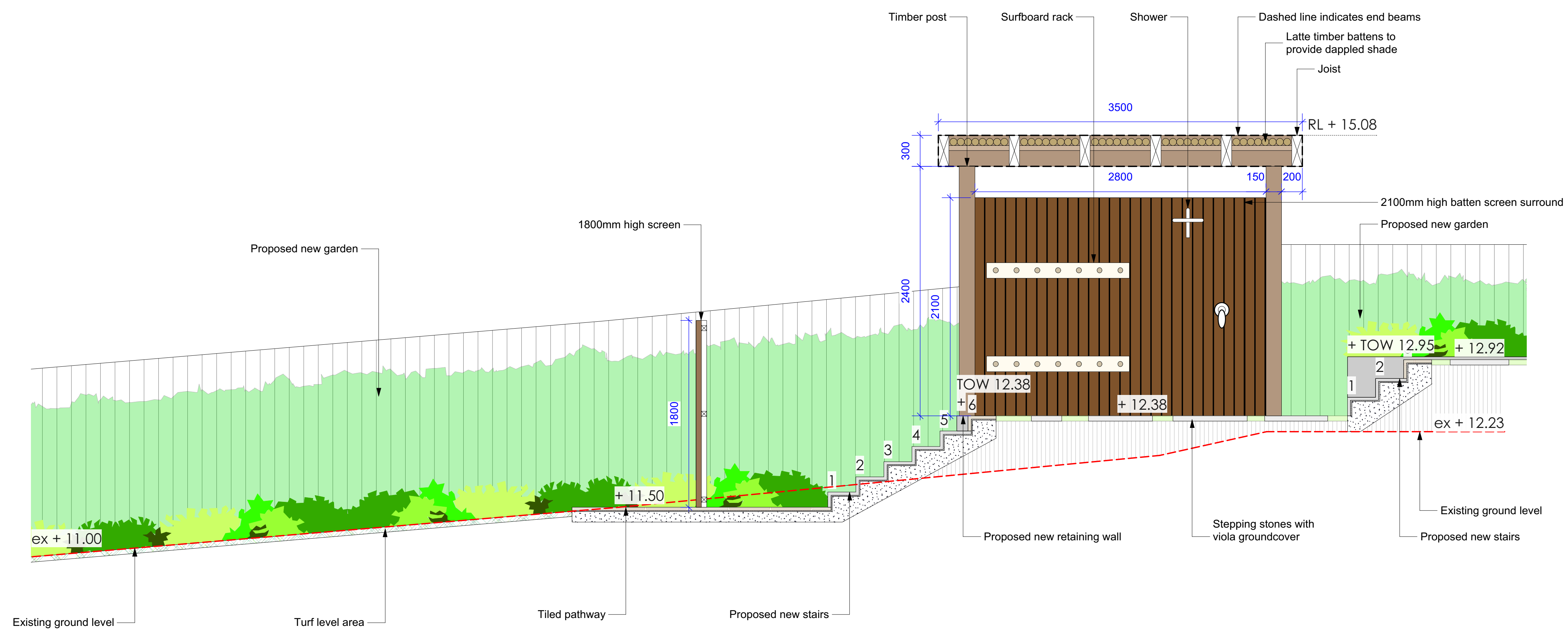
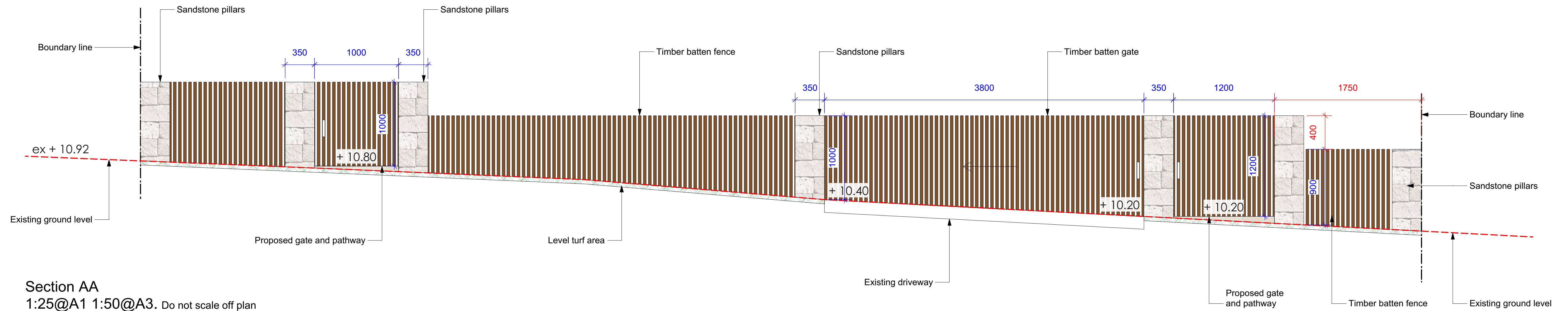
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B 23/06/22 DRAFT issue for DA.
A 27/04/22 DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	3 Orana Road, Mona Vale		22101
CLIENT	S & J Halpin	DATE # See above SCALE @ A1 See Plan	DWG # Sht-105
DWG	Upper Backyard Detail Plan	DRAWN RAR CHKD JK	REVISION

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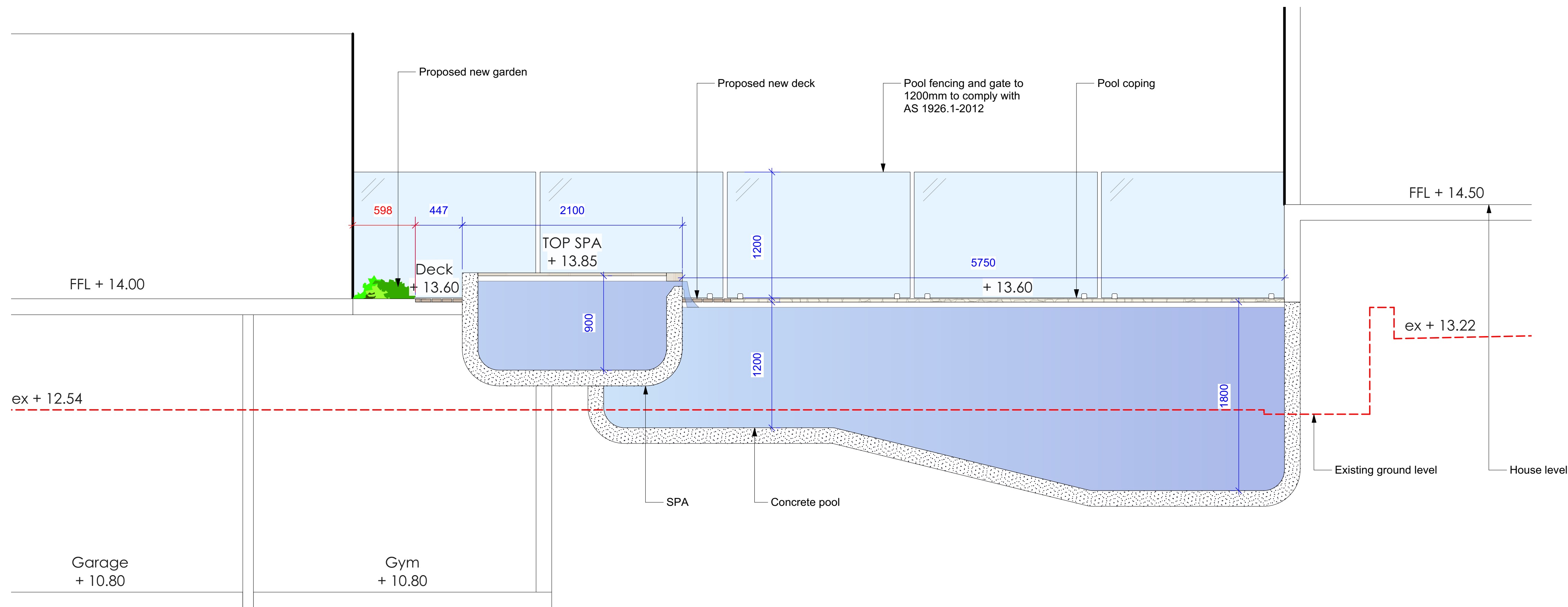


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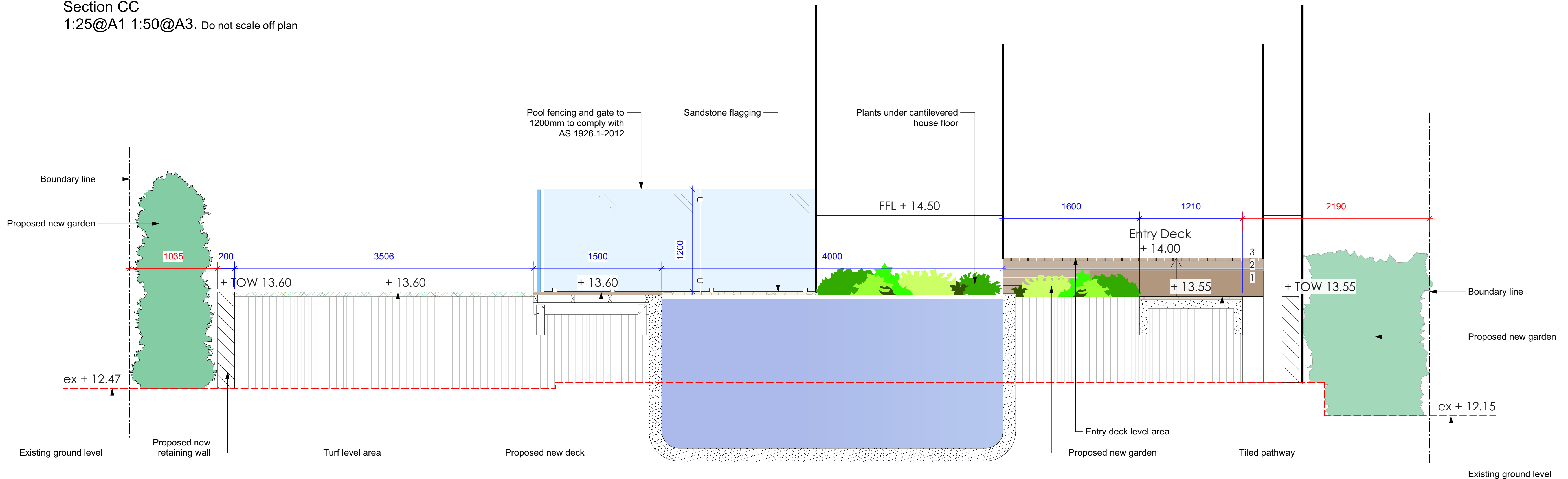
C	05/07/22	Issue for DA.	PROJECT #	22101
B	23/06/22	DRAFT issue for DA.	CLIENT	3 Orana Road, Mona Vale
A	27/04/22	DRAFT issue for review.	SCALE @ A1	See above
ISSUE	DATE	REVISION	DWG #	Sht-106
PROJECT			DRAWN	RAR
CLIENT			CHKD	JK
DWG			REVISION	
SECTIONS				
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Section CC
1:25@A1 1:50@A3. Do not scale off plan



Section DD
1:25@A1 1:50@A3. Do not scale off plan

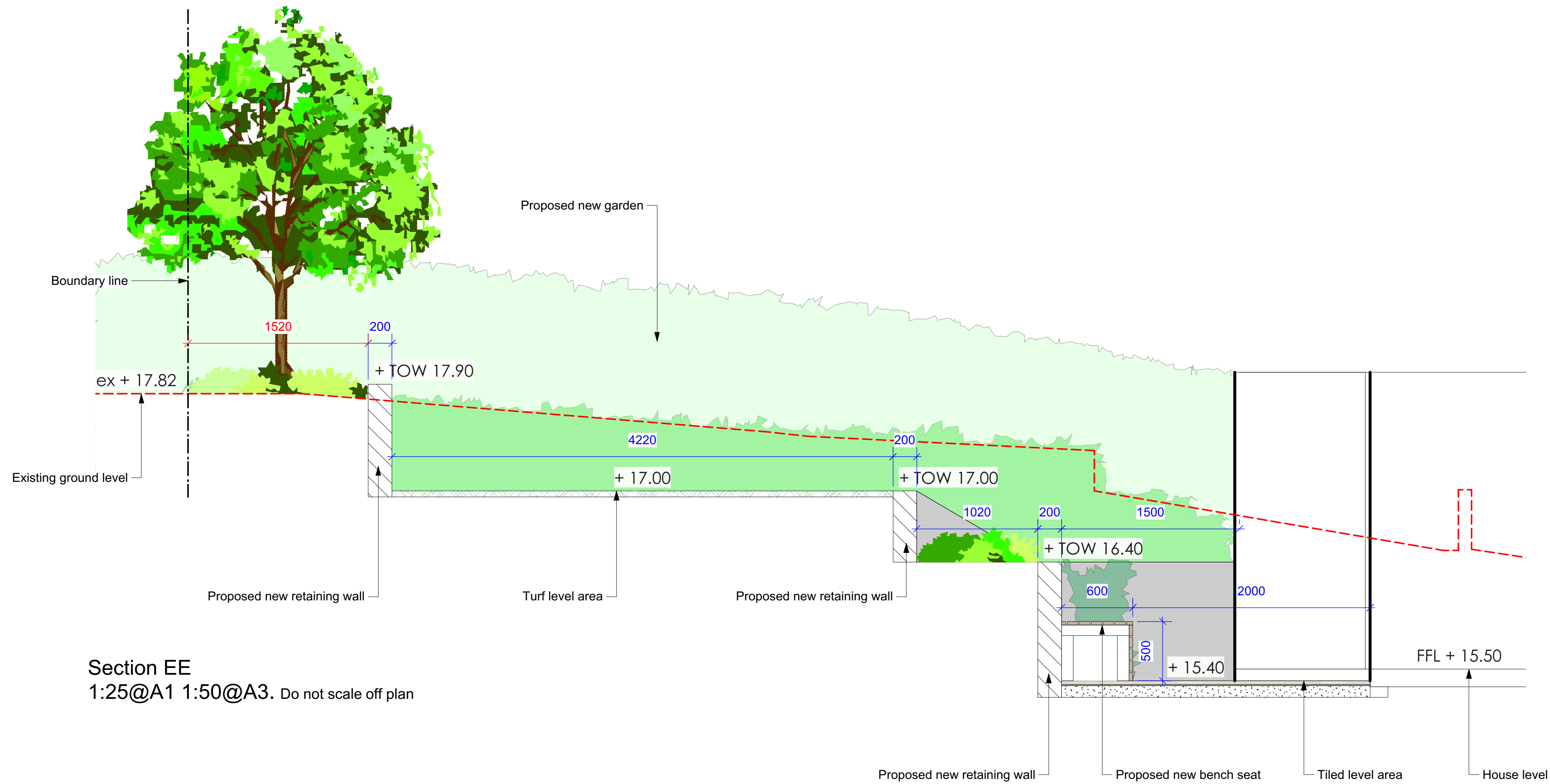
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C	05/07/22	Issue for DA.	PROJECT #	22101
B	23/06/22	DRAFT issue for DA.	CLIENT	S & J Halpin
A	27/04/22	DRAFT issue for review.	SCALE @ A1	See Plan
ISSUE	DATE	REVISION	DWG	Sections
PROJECT	3 Orana Road, Mona Vale			DWG #
CLIENT	S & J Halpin			22101
DWG	Sections			CHKD
CHKD	JK			REVISION



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Section EE
1:25@A1 1:50@A3. Do not scale off plan

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	3 Orana Road, Mona Vale		22101
CLIENT	S & J Halpin		DWG #
DWG	Sections	CHKD	JK
DATE #	See above	SCALE @ A1	See Plan
DRAWN	RAR	CHKD	JK
REVISION			

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