

**SYDNEY
BUILDING
APPROVALS
CENTRE**

- Principle Certifying Authority
- Building Regulation Consultation
- NatHERS Certifications
- Town Planning
- Building Approvals
- Inspections

RESIDENTIAL • INDUSTRIAL • COMMERCIAL

SYDNEY BUILDING APPROVALS CENTRE PTY LTD

ABN 96 081 945 904

Unit 18 Christies Homemaker Centre

173-185 Canterbury Road, Bankstown NSW 2200

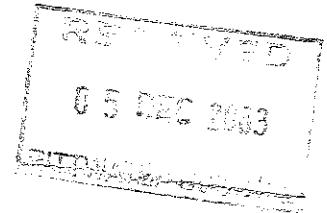
Phone: 9790 4741

Fax: 9796 4792

DX 11215 BANKSTOWN www.sbac.com.au

Date: 3 December 2003

Pittwater Council
DX 9018 MONAVALÉ



**PREMISES: Lot 101, DP 1043971, 214 Garden Street, WARRIEWOOD
CONSTRUCTION CERTIFICATE: CC173/03**

Dear Sir/Madam,

Please find enclosed a Construction Certificate, Notification of work to commence (Form 7), Plans, Engineers details & specification for the above premises.

Should you require any further assistance to the matter please do not hesitate to contact Sydney Building Approvals Centre on Tel: 9790 4741.

Yours Faithfully

Peter Ruck
Building Surveyor

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CONSTRUCTION CERTIFICATE No. CC173/03

Environmental Planning and Assessment Act 1979 (as amended)

Date of determination:

3 December 2003

Attachments:

Development address:

Lot 101, DP 1043971, 214 Garden St,
WARRIEWOOD NSW 2102

Applicant:

Wincrest Homes Pty Ltd
DX 8272 PARRAMATTA

**Plans and specifications
approved**

Plans, drawings & specifications
Two storey dwelling & Detached garage.
Class 1a & 10a

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of s 81 A(5) of the *Environmental Planning and Assessment Act 1979*

Signature:



Date of endorsement:

3 December 2003

Certificate no:

CC173/03

Certifying Authority

Name of certifying authority:
Accreditation no.: B.S.A.P.

Peter Ruck
2603

Development consent

Number and date of
Determination:

1061/2002
7 March 2003

Pittwater Council

ABN: 61340837871

TAX INVOICE OFFICIAL RECEIPT

05/12/2003 Receipt No 131576

To SYDNEY BUILDINGS APPROVALS
CENTRE PTY LTD

DX 11215
BANKSTOWN

Qty/ Applic	Reference	Amount
1	RMIC-Rord	\$27.27
GL Rec 1 X DA N1061/02		
	GST	\$2.73
GL Rec		
To GL Receipt:		

Total Amount:	\$30.00
Includes GST of:	\$2.73

Amounts Tendered	
Cheque	\$30.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 05/12/2003 11:08:50 AM
Cashier GKilroy

Sydney Building Approvals Centre

Application for a construction certificate

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply to us for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.

1. Details of the applicant

Mr ☒	Ms ☐	Mrs ☐	Dr ☐	Other ☐		
First name		Family name		Company/Organisation		
				Wincrest Homes		
Unit/street no.		Street name				
		P. O. Box 3606				
Suburb or town		State	Postcode			
PARRAMATTA		NSW	2124			
Daytime telephone		Fax	Mobile			
9635 1644		9633 4806				
Email						
amfawincrest.com.au						

2. Identify the land

Unit/street no.		Street name	
214		GARDEN ST.	
Suburb or town		Postcode	
WARRIEWOOD			
Lot no.	Section		
101			
DP/MPS no.	Volume/folio		
1043971			

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$ 262000.00 including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work:

two storey dwelling

For building work, what is the class of the building under the Building Code of Australia?

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

1061/2002

What date was development consent granted?

7/3/03.

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐.

1. If you are going to carry out **building work**:

☐ a copy of any compliance certificates on which you rely

☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any) and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

☒ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist us to assess whether the work will reduce the fire protection capacity of the building.

5. continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
- a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component, process or design on which you seek to rely
- Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.*
- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
- a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- The lists must describe the extent, capability and the basis of design of each measure.*
- ☐ the attached schedule, completed for the development
- The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.*

You may also need to pay a long service levy under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments, the first instalment of the levy) before we can issue a certificate to you.

5. continued

3. If you are going to **change the use of a building** or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):
- ☐ a list of any fire safety measures you propose to include in the building or on the land
 - ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
 - ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia
- The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.*

6. Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application.

Signature

SETABE PTY LTD

Name

Date

17-2-05

Signature

CH. LAMANA

Name

Date

The applicant, or the applicant's agent, must sign the application.

Signature

M. Lomana

Name, if you are not the applicant

WINCREST HOMES P/L

Date

19.2.03

7. Privacy policy

The information you provide in this application will enable us to assess your application. If the information is not provided, your application may not be accepted. Please let us know if the information you have provided in your application is incorrect or changes.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

LAND 531.9 m²

Residential buildings only

Please complete the following details on residential structures:

HOUSE 319.69 m²

TWO STOREY

ONE

- Will the new dwelling(s) be attached to other new buildings?

NO

- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

NO

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)		TILES		Concrete or slate	✓	TIMBER	
Brick (veneer) ✓		Concrete or slate					
Concrete or stone				Not specified		Not specified	
Fibre cement							
Curtain glass							
	☐		☐				
	☐						
	☐						
Not specified							

Sydney Building Approvals Centre

Notice to commence building or subdivision work and appointment of a principal certifying authority

This form can be used to:

- notify the council that you intend to commence building or subdivision work
- notify the council and us, if the Minister of Urban Affairs and Planning granted development consent or a complying development certificate, that you have appointed a principal certifying authority

To complete this form, please place a cross in the boxes ☐ and fill out the white sections as appropriate.

1. Details of the applicant

First name	Family name	Company/Organisation
		Wincrest Homes
Unit/street no.	Street name	
	P.O. Box 3606	
Suburb or town	State	Postcode
PARRAMATTA	NSW	2104
Daytime telephone	Fax	Mobile
9635 1644	9633 4806	
Email		
amfawincrest.com.au		

2. Details of the land to be developed

Unit/street no.	Street name
	GARDEN ST.
Suburb or town	Postcode
WARRIEWOOD	2102
Lot no.	Section
101	
DP/MPS no.	Volume/folio
1043971.	

3. Description of the work proposed

Type of work proposed:

- Building ☒
- Subdivision ☐

Description of the work:

Two storey dwelling

4. Details of the development approvals granted

Details of the development consent

Development application no.

Date the consent was granted

OR

Complying development certificate no.

Date the certificate was issued

Where a construction certificate has been issued for the building:

Construction certificate no.

CC 173/03.

Date the certificate was issued

3/12/03.

5. Steps taken by the applicant

Indicate the steps you have taken by placing a cross in the appropriate boxes ☐

☐ I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work.

☒ I have appointed a principal certifying authority.

Name of the principal certifying authority:

Sydney Building Approvals

Address of the principal certifying authority:

173-185 Canterbury Road
BANKSTOWN, NSW, 2200

Telephone no. of the principal certifying authority:

9790 4741

Where the principal certifying authority is an accredited certifier:

Accreditation body of the certifier:

B.S.A.P.

Accreditation no. of the certifier:

2603.

6. Residential building work

1. Are you going to build a house or other dwelling or alter or add to a dwelling?

No ☐

Yes ☒ Please complete part 2 below.

2. Are you an owner-builder?

Yes ☐ What is your owner-builder permit no.?

No ☒ Will the work be carried out by someone who is licensed to do so?

Yes ☒ What is the name of the builder?

Wincrest Homes Pty Ltd

What is the telephone no. of the builder?

9635 1644

What is the contractor licence no. of the builder?

38383.

6. continued

Have you attached to this notice evidence that the licensed person is insured to carry out this type of work?

Yes ☒

No ☐

No ☐

Have you attached to this notice a declaration (signed by each owner of the land) that the reasonable market cost of the labour and materials to be used is less than \$3000?

Yes ☐

No ☐

7. Date the work will commence

8. Signatures

The principal certifying authority must sign the notice.

I acknowledge that I have seen evidence that the builder is licensed and insured, or that I have seen evidence that the building works are to be undertaken by a person with an owner-builder permit.

I acknowledge that I have been appointed by the applicant to carry out the role of the Principal Certifying Authority for this development.

Signature



Name

Peter Ruck.

Date

3/12/03.

The applicant, or the applicant's agent, must sign the notice.

Signature



Name. If you are not the applicant



Date



9. Privacy policy

The information you provide in this notice is required under the *Environmental Planning and Assessment Act 1979* if you are going to erect a building or carry out subdivision work. If you do not provide the information you cannot commence the work. The information will be held by us and by the council. Please let us know if the information you have provided in this notice is incorrect or changes.

Home Owners Warranty

certificate of insurance

Setlee Pty Ltd
P O Box 3606
PARRAMATTA NSW 2150

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989 has been issued by: Royal & Sun Alliance Insurance Australia ACN 005 297 807 ABN 48 005 297 807

In Respect Of: Single Dwelling

At: Lot No: 101 Unit No: House No:

Garden St
WARRIEWOOD NSW 2102

Carried Out By: Wincrest Homes Pty Limited
ABN:

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

Signed for and on behalf of the insurer:

HIA INSURANCE SERVICES P/L
ABN 84 076 460 967
An associated company of
Aon Risk Services Australia Ltd
PO Box 241
Ryde NSW 2112
Telephone (02) 9808 7222
Facsimile (02) 9808 7233
CLAIMS ENQUIRY LINE
1800 554 255

Certificate No: 269459
Owner's Copy
Issue Date 23/05/2003

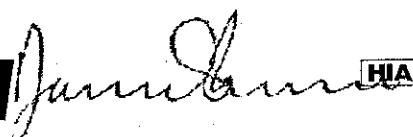
Please note that Aon Risk Services Australia Ltd ABN 17 000 434 720 is arranging the insurance policy as agent of the insurer below.

They also act as agent of the insurer below and not as agent of the insured in dealing with or settling any claim.

Total includes Policy Fees, Stamp Duty and GST.

Insurer:

- Royal & Sun Alliance Insurance
Australia Ltd

AON  **HIA INSURANCE SERVICES**
Tailormade for the trade



PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME
EP	EUCALYPTUS PUNCTATA
ER	EUCALYPTUS ROBUSTA
CG	CERATOPETALUM GUMMIFERUM
MQ	MELALEUCA QUINQUENERVIA

COMMON NAME	POT SIZE	NO.	HEIGHT	SPREAD
GREY GUM	45LT	1	10m	6m
SWAMP MAHOGANY	45LT	1	20m	10m
NSW XMAS TREE	45LT	1	6m	3m
PAPERBARK	45LT	1	10m	5m

SHRUBS AND GROUNDCOVERS

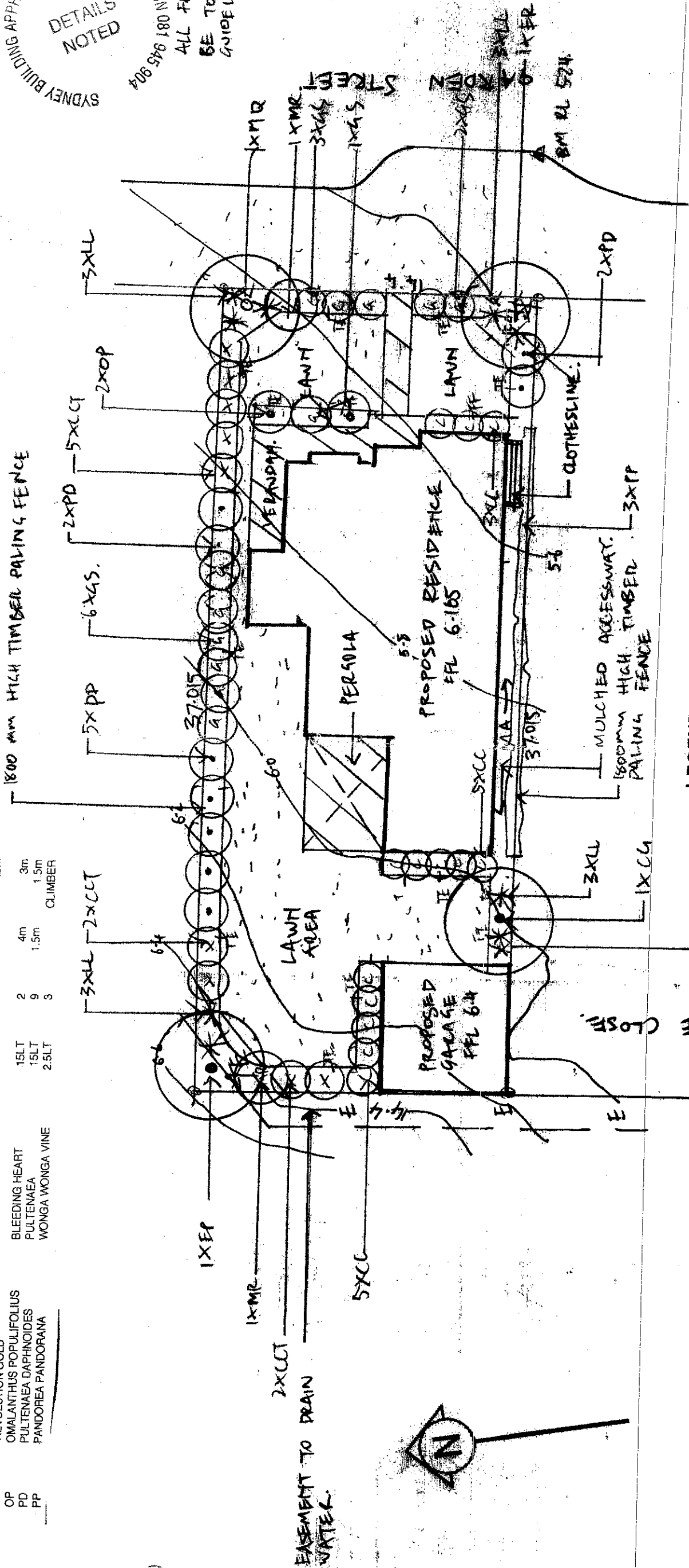
CCCT	CALLISTEMON CITRINUS	9	2m	2m
CC	CALLISTEMON 'CAPTAIN COOK'	13	1.5m	1.5m
GS	GREVILLEA SERVICEA	12	2m	1m
LL	LOMANDRA LONGIFOLIA	12	1m	1m
MR	MELALEUCA BRACCTEATA	2	2m	1.5m
OP	OMALANTHUS POPULIFOLIUS	2	4m	3m
PD	PULTENAEA DAPHNOIDES	9	1.5m	1.5m
PP	PANDOREA PANDORANA	3		CLIMBER

SYDNEY BUILDING APPROVALS CENTRE PTY LTD ACN 180 445 904
 DETAILS NOTED
 ALL FENCE SHALL BE TO ESTATE GUIDELINES.

J. STORCH B.L. Arch (UNSW) AAILA Landscape Architect

I hereby certify that all landscape works designed herein by A Total Concept Landscape Architects comply with Building Code of Australia & Pittwater Council's Landscape DCP/Policy Plan no. 23 - Landscape and Vegetation Management and draft Warriewood Valley Development Control Plan.

1800 mm HIGH TIMBER PALING FENCE



LEGEND

- FFL 6.9 PROPOSED LEVEL
- EXISTING CONTOUR
- PAVED AREAS
- LAWN AREAS
- CLOTHESLINE
- TIMBER LAWN EDGE
- DRAINAGE EASEMENT

- Note:
- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 - All detailing of drainage to paved areas shall be by others.
 - All levels shall be determined by others and approved on site by client.
 - Do not scale from drawings.
 - If in doubt contact Landscape Architect.
 - All boundaries shall be surveyed prior to commencement of construction works.

LANDSCAPE PLAN
 LOT 101 GARDEN STREET, WARRIEWOOD

PREPARED FOR
 WINCREST HOMES
 18 PITT STREET, PARRAMATTA NSW 2124
 DESIGNED BY

A Total Concept
 Landscape Architects
 47 Carter Street Cammeray NSW 2062
 Design: J Storch Scale: 1:200 November 2002
 Sheet 1/3

Outline Landscape Specification

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Sprays approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden. Note it is areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractor's responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging: Install 125 x 25mm approved tanalith impregnated pine edging to lines as indicated. Secure 450x50x50mm hardwood stakes pointed at end at maximum 1500mm centres to edging using 2x 50mm galvanised steel nails per stake. Top of edging shall finish flush with surrounding surfaces.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered.

Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make Turfing: Prepare for, level & lay cultivated 'wintergreen' couch turves to all areas nominated on plan as being lawn. Allow to retrim and return council's nature strip as required.

good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return council's nature strip as required. Clotheslines & Letterboxes: Install clotheslines to position as indicated to manufacturer's instructions. Clothesline type shall be equal to 'Hills Quickdry'. Install selected letter boxes to positions as indicated on Plan to comply with Australia Post specifications and requirements. Letterbox type to be free standing on post and capable of holding A4 envelopes.

Fencing: An approved 1800mm high lapped and capped paling fence shall be installed to all lines as indicated on plans. All timber for use in fence shall be tanalith impregnated hardwood of grade suitable for intended use. Fence shall rake up slopes rather than stepping. All components of fence shall be preprimed prior to assembly and painted approved colours upon installation using premium quality paints. All metal used in construction of fencing shall be galvanised steel.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Council's landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owner's representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time. Plant replacement shall be at

(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractor's expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties** Adjust and / or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturer's recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

LANDSCAPE SPECIFICATION LOT 101 GARDEN STREET, WARRIEWOOD

PREPARED FOR
WINCREST HOMES P/L

DESIGNED BY

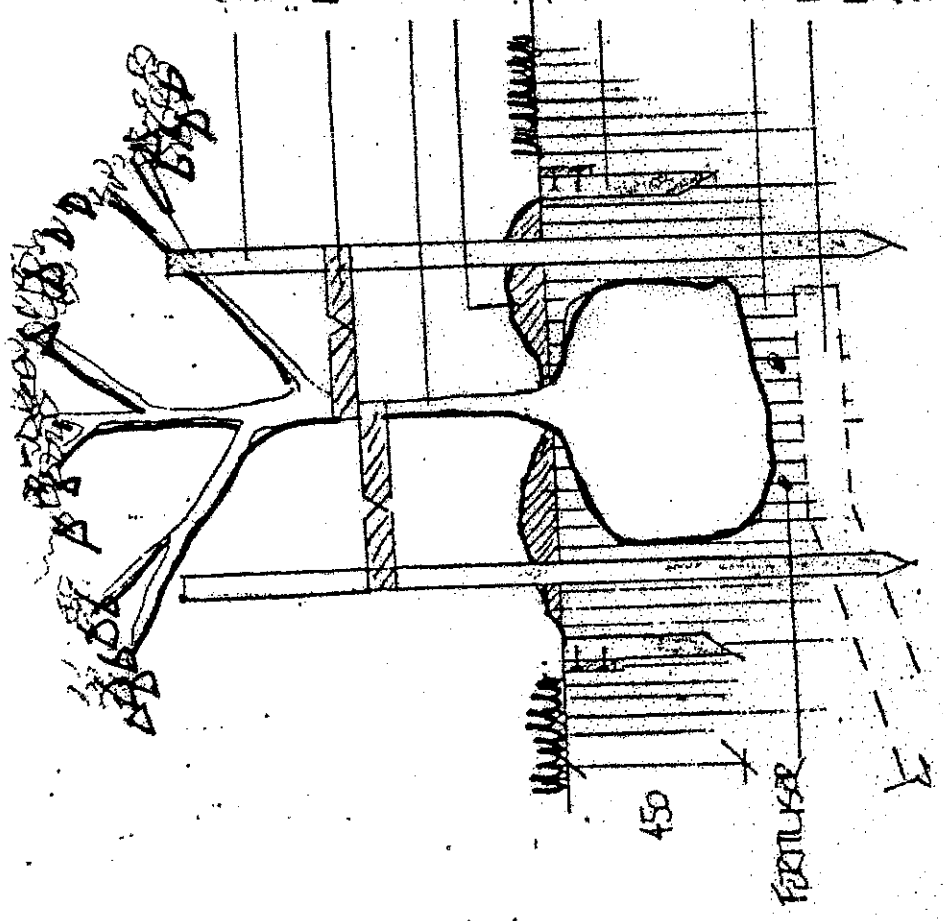
A Total Concept

Landscape Architects

47 Carter Street Cammeray NSW 2062

Design: J Storch Scale: 1:200 NOVEMBER 2002

2/3



BUILDING APPROVALS CENTRE PTY LTD AC 19081
 STAKES DRIVEN FIRM INTO GROUND
 HESSEAN WASSING TIES
 TREE
 MULCH AS SPECIFIED

TIMBER EDGING & STAKING AS SPECIFIED

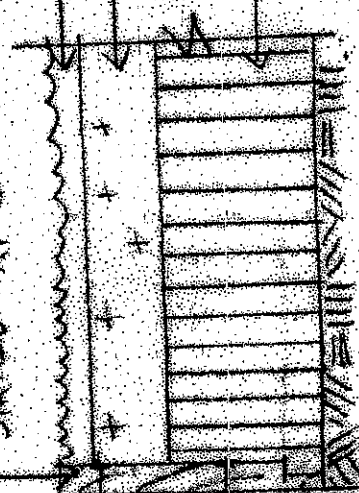
SITE SOIL
 100MM Ø AGRICULTURAL DRAINAGE LINE CONNECTED TO STORMWATER SYSTEM (MUST BE INSTALLED IF SUBGRADE IS NON FREE DRAINING)

DETAIL 1:
 TYPICAL TREE STAKING
 (DO NOT SCALE)

150 X 25 MM TANALITH IMPREGNATED PINE EDGING, STAKED AT 1500 MM CENTRES.

25MM THICK TURF.
 50MM TOPSOIL

CULTIVATE SUBSOIL TO 100MM.



600 X 50 X 50 MM HARDWOOD STAKE ATTACHED TO EDGE BY 2X75MM GALVANISED NAILS

DETAIL 2:
 TYPICAL TIMBER EDGING
 (DO NOT SCALE)

25MM Ø PINE BARK MULCH.

TOPSOIL TO 225MM.

DETAILS PAGE
 LOT 101 GARDEN STREET,
 WARRIEWOOD

PREPARED FOR
 WINCREST HOMES P/L

DESIGNED BY
A Total Concept
 Landscape Architects

47 Carter Street Cammeray NSW 2062
 Design: J Storch Scale: AS SHOWN NOVEMBER 2002
 3/3

173/03

Hydraulic Plans

Including Rainwater Tank Details,

Elevation Details,

Retaining Wall Details

and

Stormwater System

for

Proposed Single Residential Development at

Lot 101, D.P. Unregistered,

Garden Street,

FERNBROOK SANCTUARY

(WARRIEWOOD)

21 October 2003

Pittwater Council

Consent No. N1061/02

Our Job Number: D1295

Nasseri Associates

**Civil, Hydraulic and Structural Engineering
Suite 9, 5-19 Burnt Street, Seaforth NSW 2092**

P O Box 714 Balgowlah NSW 2093

Tel. (02) 9948 8555

Mobile. 0410 308064

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Email. jnasseri@bigpond.net.au



Table of Content	Sheet
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Hydraulic Details:

1. Notes	1
2. Overall Site Plan	2
3. Drainage Plan (1 in 200)	3
4. Elevation Details	4
5. Silt Arrestor Pit & Retaining Wall details	5

IMPORTANT NOTE:

The following hydraulic plans should be read in conjunction with;

1. Architectural plans from Wincrest Homes Pty Ltd, job no. 6660 dated 27 August 2002 (Phone: (02) 9635 1644).
2. Pittwater Council's DA Conditions (In particular Condition B23).

GENERAL NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH PITTWATER COUNCIL STANDARD SPECIFICATIONS AND TO THE SUPERVISING ENGINEER'S SATISFACTION.
2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS FROM WINCREST HOMES Pty. Ltd. JOB No. 6660, DATED 27 AUGUST 2002 (TEL (02) 9635 1644).
3. ALL STORMWATER PIPES TO BE 90 DIA. UPVC AT 1% MIN. FALL, UNLESS NOTED OTHERWISE. PIPE UNDER DRIVEWAY TO BE SEWER GRADE.
4. DEPTH AND LOCATION OF SEWER & SERVICES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.
5. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENTATION CONTROL MEASURED AS NECESSARY, AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.
6. ENSURE FINISHED GROUND LEVELS ARE SLOPING AWAY FROM THE DEVELOPMENT & INTO PITS OR YARD SUMPS.
7. PLAN IS SUBJECT TO COUNCIL APPROVAL.

IMPORTANT NOTES

THE FOLLOWING IMPORTANT STORMWATER NOTES ARE FROM CONSENT No. N1061/02, DATED 7 MARCH 2003 FROM PITTWATER COUNCIL (CONDITION B23):

1. RAINWATER TANKS MUST HAVE A TOTAL VOLUME OF 6.3m³ AND AN OVERFLOW PIPE, WHICH IS CONNECTED TO THE MAIN STORMWATER SYSTEM.
2. THE TANK IS TO COLLECT THE MAJORITY OF ROOF RUNOFF AND STORE IT FOR IRRIGATION PURPOSES ONLY.
3. ALL TANK OVERFLOW IS TO BE DIRECTED TO THE SITE'S PIPED STORMWATER DISPOSAL DRAINAGE SYSTEM.
4. ALL RAINWATER TANK ARE TO BE INSTALLED AND MAINTAINED TO PREVENT CROSS CONNECTION WITH THE POTABLE WATER SUPPLY.
5. NO 'TOPPING UP' DEVICE (FROM THE POTABLE WATER SUPPLY) SHALL BE PROVIDED FOR THE RAINWATER TANKS.
6. ALL RAINWATER SERVICES SHALL BE CLEARLY LABELLED 'NON-POTABLE WATER' WITH APPROPRIATE HAZARD IDENTIFICATION.
7. PIPEWORK USED FOR RAINWATER SERVICES SHALL BE COLOURED PURPLE IN ACCORDANCE WITH AS 1344.1 VALVES AND APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS 1319.
8. CONNECTION OF AN AUTOMATIC IRRIGATION SYSTEM TO THE RAINWATER TANK TO ENSURE FULL UTILISATION OF THE STORED WATER AND TO MAINTAIN THE REQUIRED IRRIGATION RATE IS ENCOURAGED.

SYDNEY BUILDING APPROVALS CENTRE PTY LTD ACN 081 945 904
DETAILS
NOTED

NASSERI ASSOCIATES

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J. NASSERI
B.E., M.I.E. Aust.
NPER, CP Eng.

21 October 2003

SYMBOLS & NOTATIONS

SYMBOLS & NOTATIONS	SYMBOLS & NOTATIONS
--- STORMWATER LINES	SL FINISHED SURFACE LEVEL
o DOWNPIPE	FFL FINISHED FLOOR LEVEL
• 100 DIA YARD SUMP	FPL FINISHED PLATFORM LEVEL
225x100 GRATED BOX DRAIN	X SEDIMENT CONTROL BARRIER
INV INVERT LEVEL (PIPE / PIT)	--- PROPOSED BOUNDARY
NS NATURAL SURFACE LEVEL	-S- SEWER

HYDRAULIC DETAILS

NOTES

DESIGNED	JN	DRAWN	ME	CHECKED	JN	SCALE	AS SHOWN
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CAD REF.
ENG/ WINCREST

JOB NO: D1295

SHEET 1 OF 5



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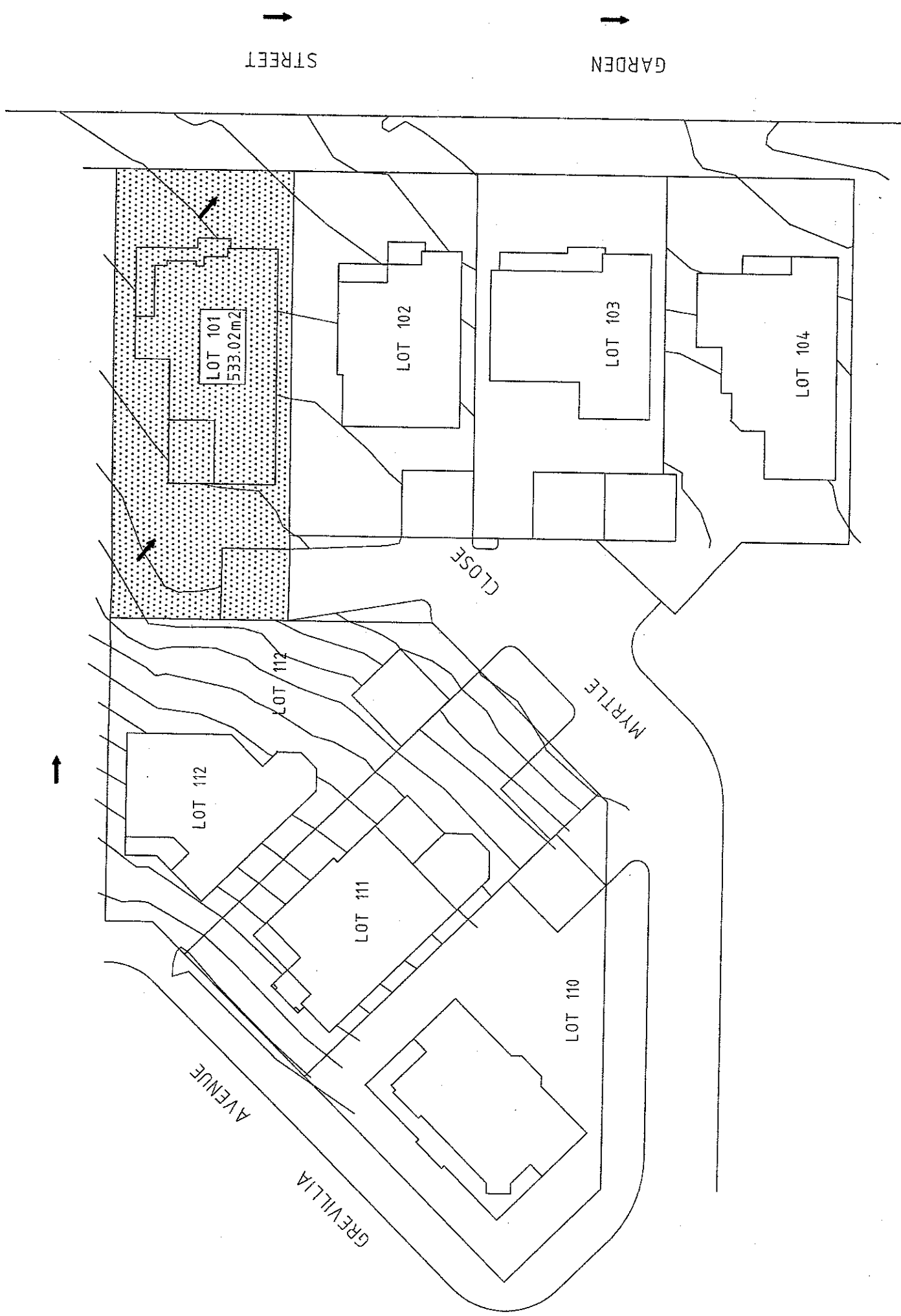

J. NASSERI
B.E., M.I.E. Aust.
NPER, CP Eng.
21 October 2003

SYMBOLS & NOTATIONS	
--- STORMWATER LINES	SL FINISHED SURFACE LEVEL
o DOWNPIPE	FEL FINISHED FLOOR LEVEL
● 100 DIA YARD SUMP	FPL FINISHED PLATFORM LEVEL
--- 225x100 GRATED BOX DRAIN	---X SEDIMENT CONTROL BARRIER
INV INVERT LEVEL (PIPE / PIT)	--- PROPOSED BOUNDARY
NS NATURAL SURFACE LEVEL	---S SEWER

ISSUE	AMENDMENTS	DATE
CLIENT: WINCREST HOMES		
LOT 101 GARDEN STREET, WARRIEWOOD		
DESIGNED JN	DRAWN ME	CHECKED JN
SCALE AS SHOWN		
CAD REF. ENG./WINCREST	JOB NO: D1295	SHEET 2 OF 5

HYDRAULIC DETAILS

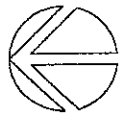
OVERALL SITE PLAN



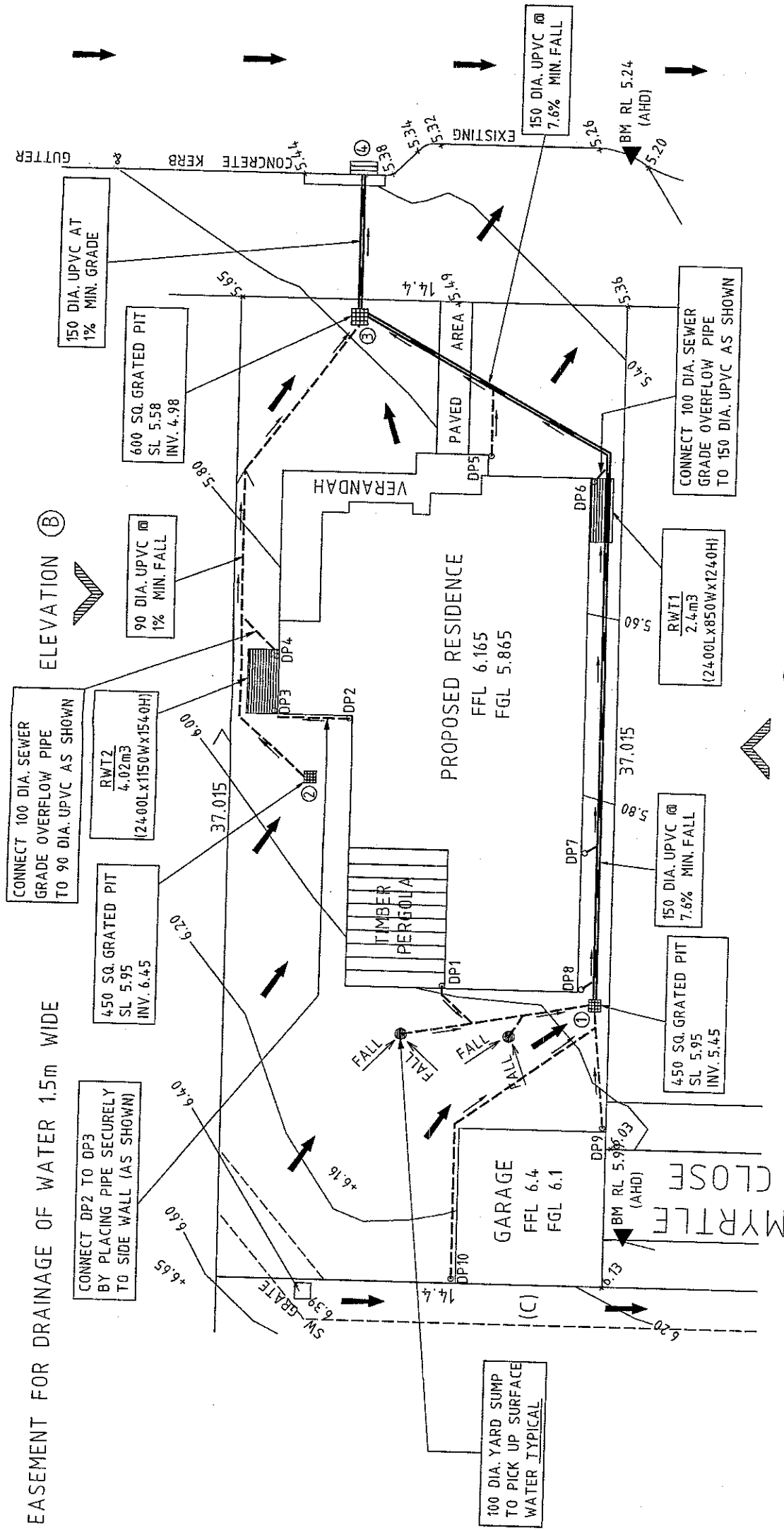
OVERALL SITE PLAN

SCALE 1:400

SYDNEY BUILDING APPROVALS CENTRE PTY LTD ACN 981 245 904
DETAILS NOTED



(C) EASEMENT FOR DRAINAGE OF WATER 1.5m WIDE



DRAINAGE PLAN

SCALE 1:200

PIT SCHEDULE

PIT No.	PIT SIZE (mmxmm)	TOP RL (m)	INVERT RL (m)	DEPTH (mm)	REMARKS
①	450 x 450	5.95	5.45	500	Medium duty grate, hinged & locked
②	450 x 450	5.95	5.45	500	Medium duty grate, hinged & locked
③	600 x 600 SILT ARRESTOR	5.58	4.98	600	Medium duty grate, hinged & locked
④	EXISTING GULLY PIT	5.40	4.50	900	EXISTING GULLY PIT

NASSERI ASSOCIATES

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SYMBOLS & NOTATIONS

SYMBOLS & NOTATIONS	SL	FINISHED SURFACE LEVEL
--- STORMWATER LINES	FFL	FINISHED FLOOR LEVEL
• DOWNPIPE	FPL	FINISHED PLATFORM LEVEL
• 100 DIA YARD SUMP	---	SEDIMENT CONTROL BARRIER
225x100 GRATED BOX DRAIN	---	PROPOSED BOUNDARY
INVERT LEVEL (PIPE / PIT)	---	SEWER
NATURAL SURFACE LEVEL	---	

J. NASSERI
B.E., M.I.E. Aust.
NPER, CP Eng.
21 October 2003

HYDRAULIC DETAILS

DRAINAGE PLAN

CAD REF. ENG/WINCRES

SCALE AS SHOWN

CHECKED JN

DRAWN ME

CLIENT: WINCREST HOMES

LOT 101 GARDEN STREET, WARRIEWOOD

DATE

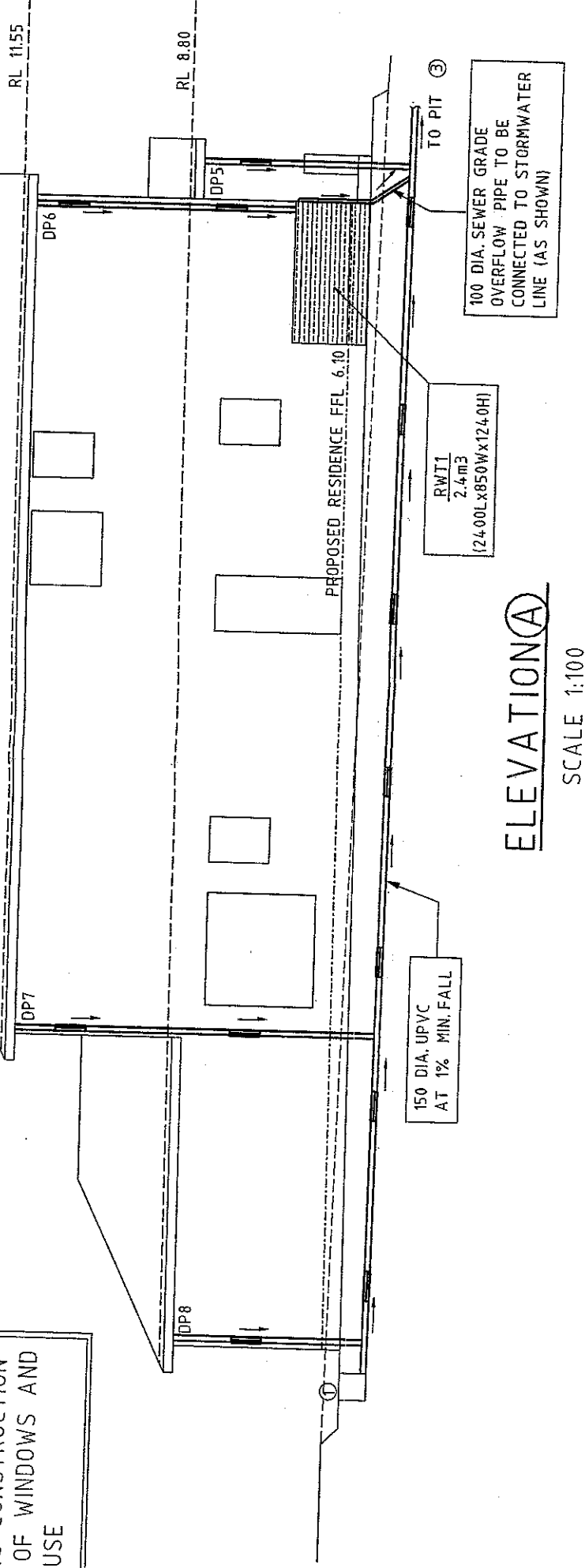
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JOB NO: D1295

SHEET 3 OF 5

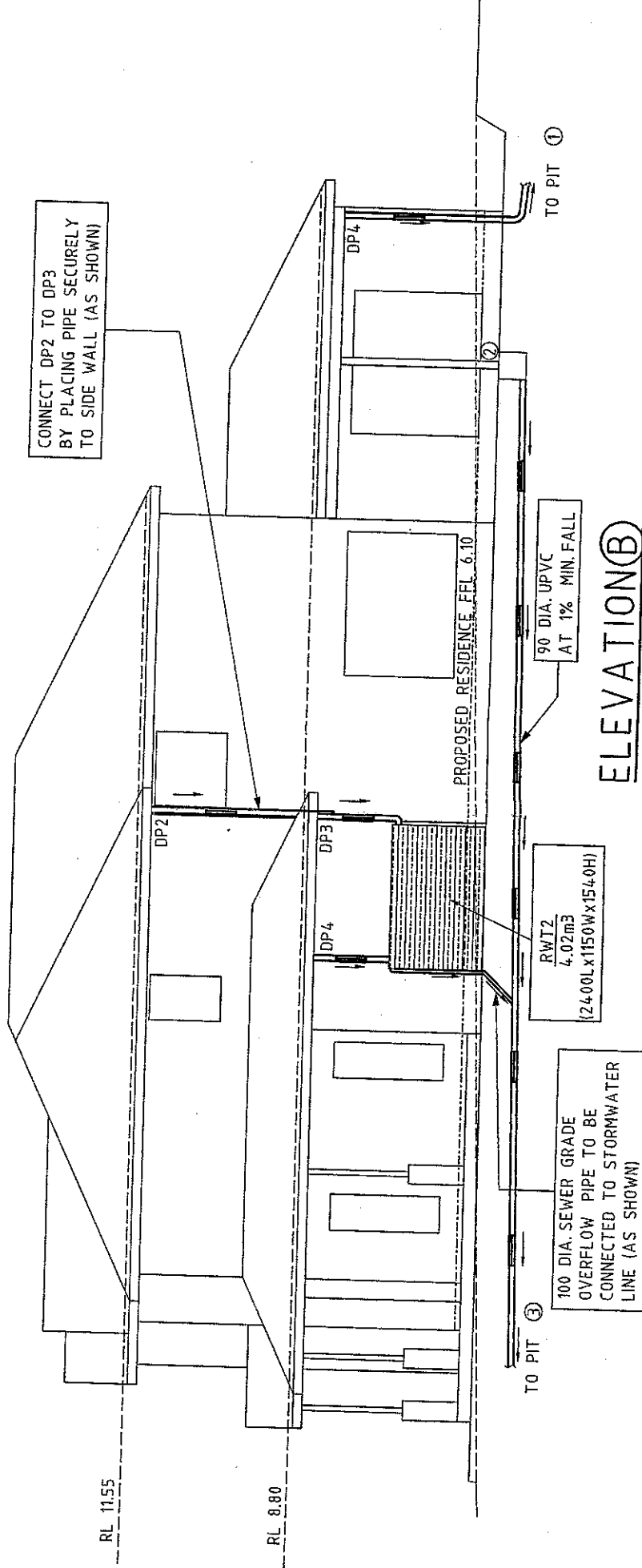
IMPORTANT NOTE

THE LOCATION OF RAINWATER TANKS CAN BE ALTERED DURING CONSTRUCTION TO SUIT THE POSITION OF WINDOWS AND DOORS AROUND THE HOUSE



ELEVATION A

SCALE 1:100



ELEVATION B

SCALE 1:100

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21 October 2003

SYMBOLS & NOTATIONS

SYMBOLS	NOTATIONS
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INV INVERT LEVEL (PIPE / PIT)	--- PROPOSED BOUNDARY
NS NATURAL SURFACE LEVEL	-S- SEWER

CLIENT: WINCREST HOMES
LOT 101 GARDEN STREET, WARRIEWOOD

ISSUE
AMENDMENTS
DATE

HYDRAULIC DETAILS

ELEVATIONS

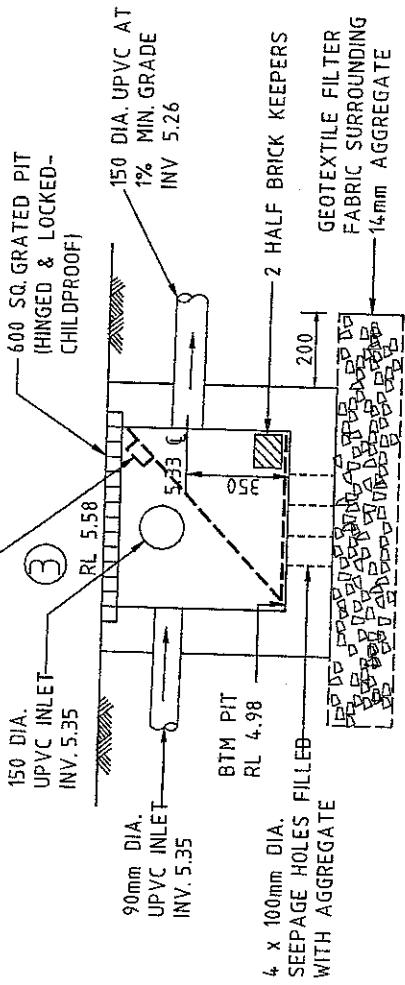
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JOB NO: D1295

SHEET 4 OF 5

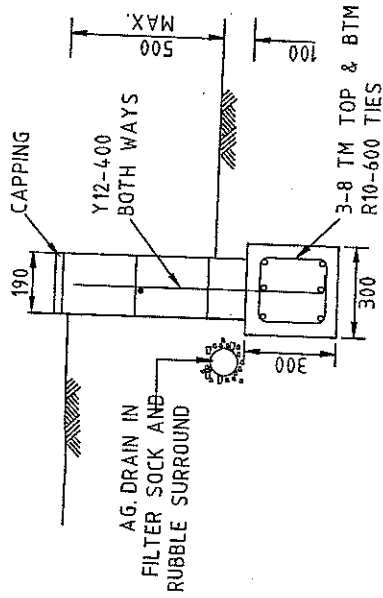
SYDNEY BUILDING APPROVALS CENTRE PTY LTD
NOTED
DETAILS
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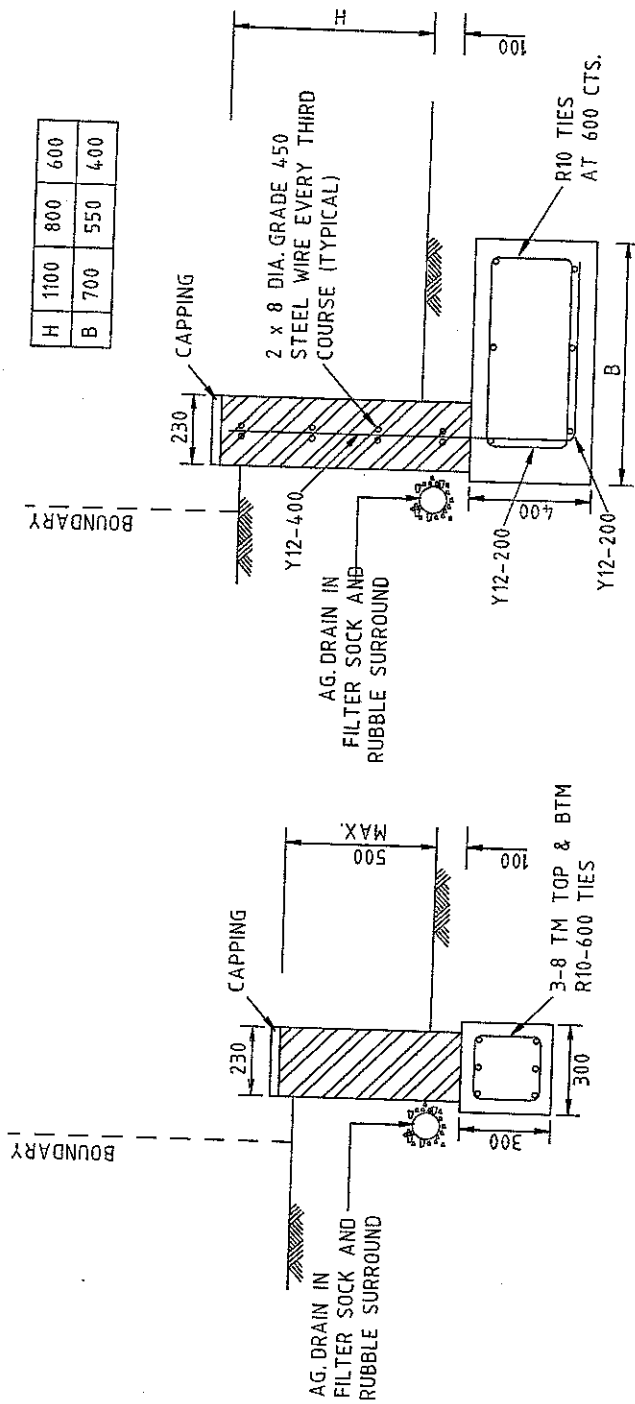


DETAIL C
SILT ARRESTOR PIT

SCALE 1:25



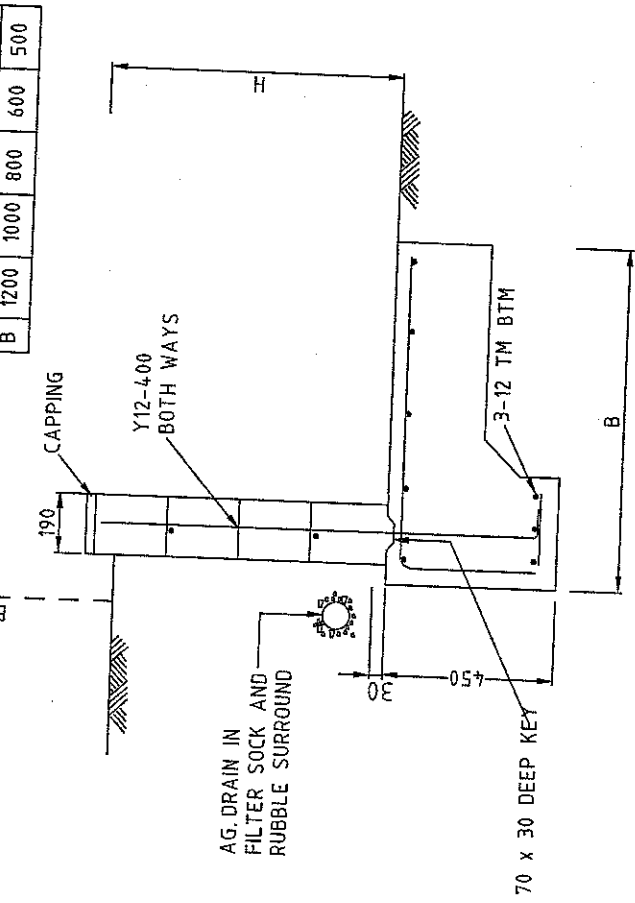
UNDER 500mm HIGH



UNDER 500mm HIGH

OPTION 1:

BRICK RETAINING WALL



OVER 500mm HIGH

OPTION 2:

BLOCK RETAINING WALL

NASSERI ASSOCIATES
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[Signature]
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B.E., M.I.E. Aust.
NPER, CP Eng.
21 October 2003

SYMBOLS & NOTATIONS	
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NS NATURAL SURFACE LEVEL	- S - SEWER

HYDRAULIC DETAILS

RETAINING WALL DETAILS

DESIGNED JN	DRAWN ME	CHECKED JN	SCALE AS SHOWN	CAD REF. ENG/WINCEST	JOB NO: D1295	SHEET 5 OF 5
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BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

P.O. BOX 279, FAIRFIELD 1860



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PHONE: 9726 7666
FAX: 9728 4376
DX: 25080 FAIRFIELD

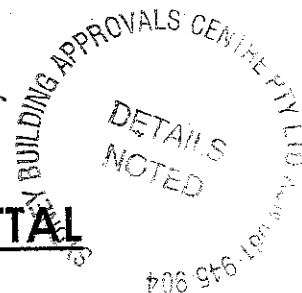


WINCREST HOMES PTY. LTD.

OUR REF: 21606

YOUR REF: 6660/080/02

See clith



DOCUMENT/DRAWING TRANSITTAL

FOR: *Setlee Pty Ltd*

AT: *Lot 101 Garden Street, Warriewood*

ATTENTION: *Bill Love*

PLEASE NOTE THE FOLLOWING:-

- ☐ Dropped Edge Beam Included
- ☐ Additional Piers Required
- ☐ Other _____

DOCUMENTS ATTACHED INCLUDE

- | | |
|--|---|
| ☐ Waffle Raft Slab Plans | ☐ Site Classification Report |
| ☐ Deep Beam Details | ☐ Wind & Durability Classification |
| ☐ Steel Beam Details | ☐ Control Joints Sketch |
| ☐ Building over Sewer Details | ☒ Other <i>Revision 'A'</i> |

E-05A

SIGNED

DATE

17-04-03

BARRY T. SYME & ASSOCIATES PTY LTD

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P.O. BOX 279, FAIRFIELD 1860

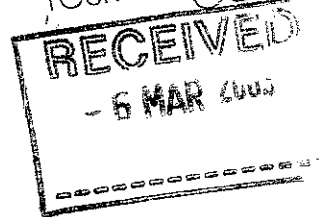


WINCREST HOMES PTY. LTD.



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NPER STRUCTURAL
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FAX: 9728 4376
DX: 25080 FAIRFIELD

OUR REF: 21606
YOUR REF: 6660/080/01



DETAILS
NOTED

DOCUMENT/DRAWING TRANSITTAL

FOR: Setlee P/L
AT: Lot 101 Garden St Warriewood
ATTENTION: Alan Torres

- PLEASE NOTE THE FOLLOWING:-
- ☐ Dropped Edge Beam Included
 - ☐ Additional Piers Required
 - ☐ Other _____

BARRY T. SYME & ASSOCIATES PTY LTD
CONSULTING STRUCTURAL ENGINEERS
P.O. BOX 279, FAIRFIELD 2165

With Compliments

*Please note,
This is Class "P" due to site conditions,
otherwise - same as Class "M".*

BARRY T. SYME

BARRY T. SYME, B.E., M.I.E. Aust. CPEng.
NPER-3 STRUCTURAL A.C.N.003
PHONE: 9726 7666 FAX: 9728 4376 DX: 25080 FAIRFIELD

DOCUMENTS ATTACHED INCLUDE

- ☒ Waffle Raft Slab Plans
- ☒ Deep Beam Details
- ☒ Steel Beam Details
- ☐ Building over Sewer Details

- ☒ Site Classification Report
- ☒ Wind & Durability Classification
- ☒ Control Joints Sketch
- ☐ Other _____

SIGNED

03.03.05
DATE

1ST FLOOR, 39-41 HARRIS STREET, FAIRFIELD 2165

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P.O. BOX 279, FAIRFIELD 1860



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FAX: 9728 4376
DX: 25080 FAIRFIELD

3rd March, 2003

Our Job **21606**

Your Ref **6660/080/01**

Wincrest Homes Pty Ltd
P. O. Box 3606
PARRAMATTA NSW 2124

SITE INSPECTION REPORT

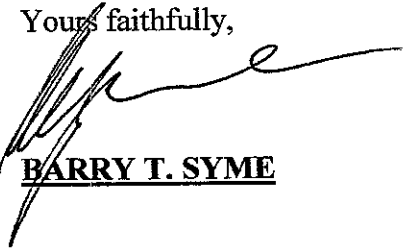
Address of Construction	Lot 101 Garden Street, Warriewood.
Client	Setlee Pty Ltd.
Site Classification	P.
Slab Classification	P-SR.
Date of Site Inspection	28 th February, 2003.
Soil Profile	Topsoil over Sandy Fill.
Number of Test Holes	1.
Bore Diameter	75mm.
References	(1) AS 2870 1996 "Code for Residential Slabs and Footings" (2) Classification for N.S.W. Soils for Housing (N.S.W. Builders Licensing Board).

Please be advised that in accordance with the requirements of Reference (1) Section 2 and Reference (2) Part 5, Site Classification of the above building allotment has been carried out.

In accordance with Reference (1) Section 2, Reference (2) Part 5.4 (b) (i) the above profile has been classified by the writer as a site of Reactivity, Class "P".

This classification has been carried out in accordance with the requirements of the above Codes.

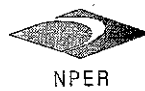
Yours faithfully,


BARRY T. SYME

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

P.O. BOX 279, FAIRFIELD 1860



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PHONE: 9726 7666
FAX: 9728 4376
DX: 25080 FAIRFIELD

3rd March, 2003

Our Job **21606**

Your Ref **6660/080/01**

Wincrest Homes Pty Ltd

P. O. Box 3606

PARRAMATTA NSW 2124

STRUCTURAL CERTIFICATE

RE:

LOT 101 GARDEN STREET, WARRIEWOOD

External Garage Wall (2.9m Max. Height)

BCA. 96 Clause 3.3.1 Reinforced/Unreinforced Masonry

Wind Design Class: N2 (Vu), W33N (Vp)

Structure: Category H1 : Domestic

Please be advised that structural sufficiency of the external garage wall has been assessed by the writer. The assessment has been carried out in accordance with the requirements of AS 3700 masonry code, AS 1170:4 Earthquake Code, and BCA 96 CL 3.3.1.

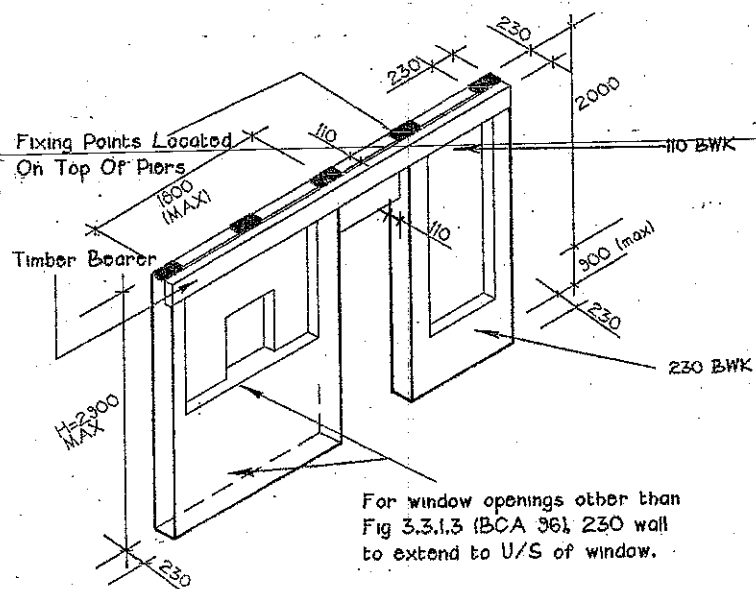
Accordingly this certificate verifies that the structural design of the wall as per the sketch, complies with the performance requirements P2.1 as specified in section 2 of Building Code of Australia - Volume 2, Housing Provisions and Section 3.3.1.

This certificate applies to construction, which is within the sketch parameters as shown below and for the wind design class of N2 (Vu), W33N (Vp).

Should you have any queries whatsoever, please do not hesitate to contact the writer at any time.

Yours faithfully,

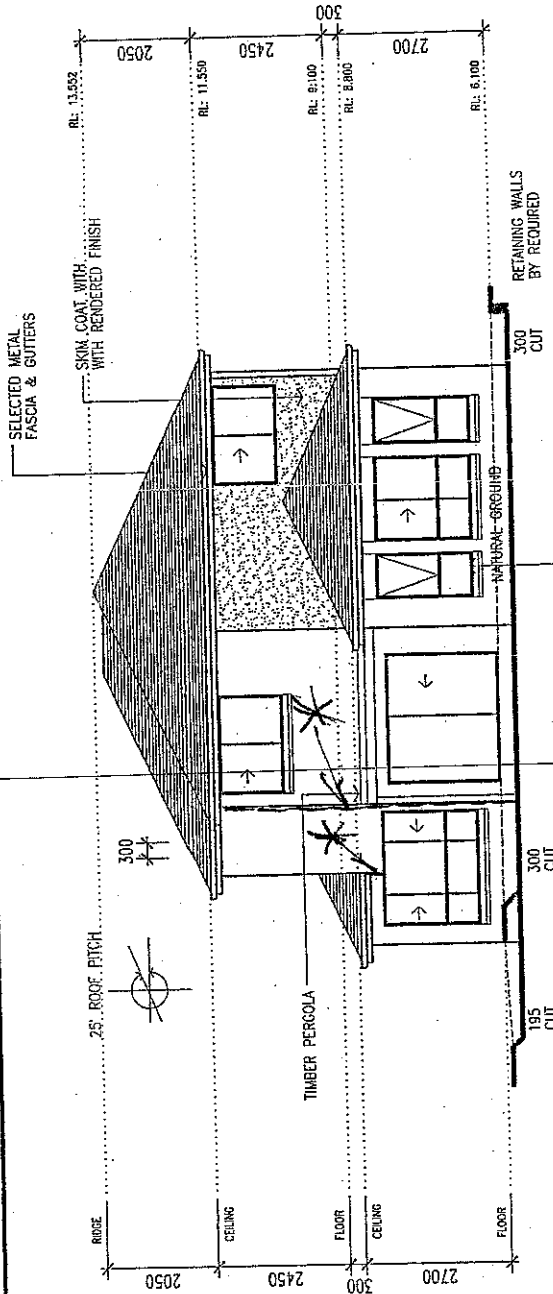
BARRY T. SYME



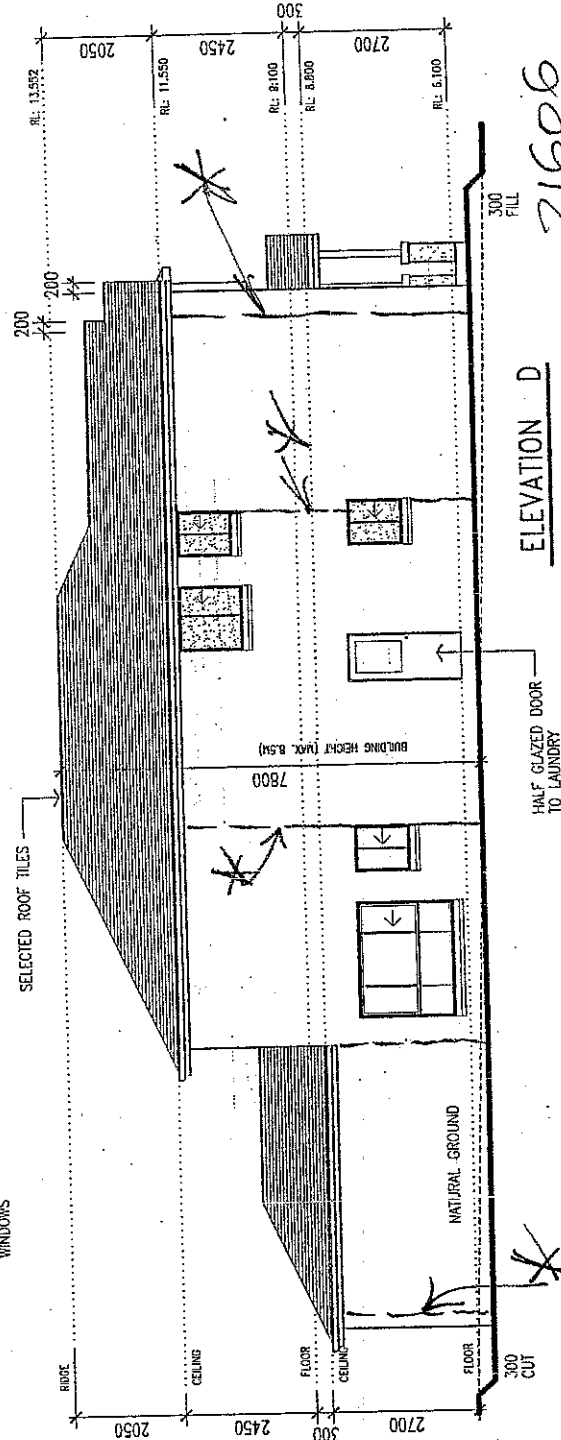
TYPICAL BRICKWALL DETAIL

NOTE:

- GROUND FLOOR WINDOW HEAD HEIGHT : 2057
- FIRST FLOOR WINDOWS TO BE PLACED DIRECTLY UNDER 300 EAVE LINE
- INFILL PANELS ABOVE SLIDING DOORS AND EXTERNAL DOORS WHERE REQ'D
- GARAGE DOOR HEAD HEIGHT 2140mm



ELEVATION C



ELEVATION D

ELEVATIONS

ISSUE A B	AMENDMENTS REISED PLANS (02) REVISED PLANS (02)	DATE 04.09.02 14.11.02	CLIENT: SETLEE	PROPOSED RESIDENCE FOR: SETLEE			
				PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARREWOOD NSW			
Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Homes Pty Ltd.			Wincrest HOMES Wincrest Homes Pty Ltd ACN 002 985 755 Gold Builders Licence N 36363 18 Pitt St, Parramatta NSW 2150 PH: (02) 9635 1644 Fax: (02) 9633 4806				
DESIGN NAME: FS04 DESIGN N: - FACADE: -			JOB N: 6660 DATE: 27.08.02 DRAWN: GG/RT CHECKED: SCALE: 1:100 DRAWING N: DF DO NOT SCALE DRAWING				

21606
Central SOWS

This architectural drawing shows a building facade with a prominent, textured, sloped roof section on the left. The facade features several windows of varying sizes, including a large multi-paned window on the right. The drawing is a black and white line sketch with stippling for shading.

- GROUND FLOOR WINDOW HEAD HEIGHT : 2057
- FIRST FLOOR WINDOWS TO BE PLACED DIRECTLY UNDER 300 EAVE LINE
- INFILL PANELS ABOVE SLIDING DOORS AND EXTERNAL DOORS WHERE REQ'D
- GARAGE DOOR HEAD HEIGHT 2140mm

TIMBER FRAMED
SLIDING WINDOWS

ELEVATION A

200

1

Summary

10

FLOOR

subject

form

Abstract

ELEVATIONS

AMENDMENTS

DATE _____

REVISED PLANS (GG)
REVISED PLANS (GG)

04.09.02	14.11.02
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Wincrest Homes Ply Ltd.



Wincrest
Homes

Wincrest Homes Pty Ltd
ACN 002 989 755
Gold Builders Licence N 35383
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

PROPOSED RESIDENCE FOR:

ETLS

PROPOSED RESIDENCE AT:

LOT 101

GARDEN STREET

WARRIEWOOD NSW

CONSENT:

DESIGN NAME: F504

DESIGN N :

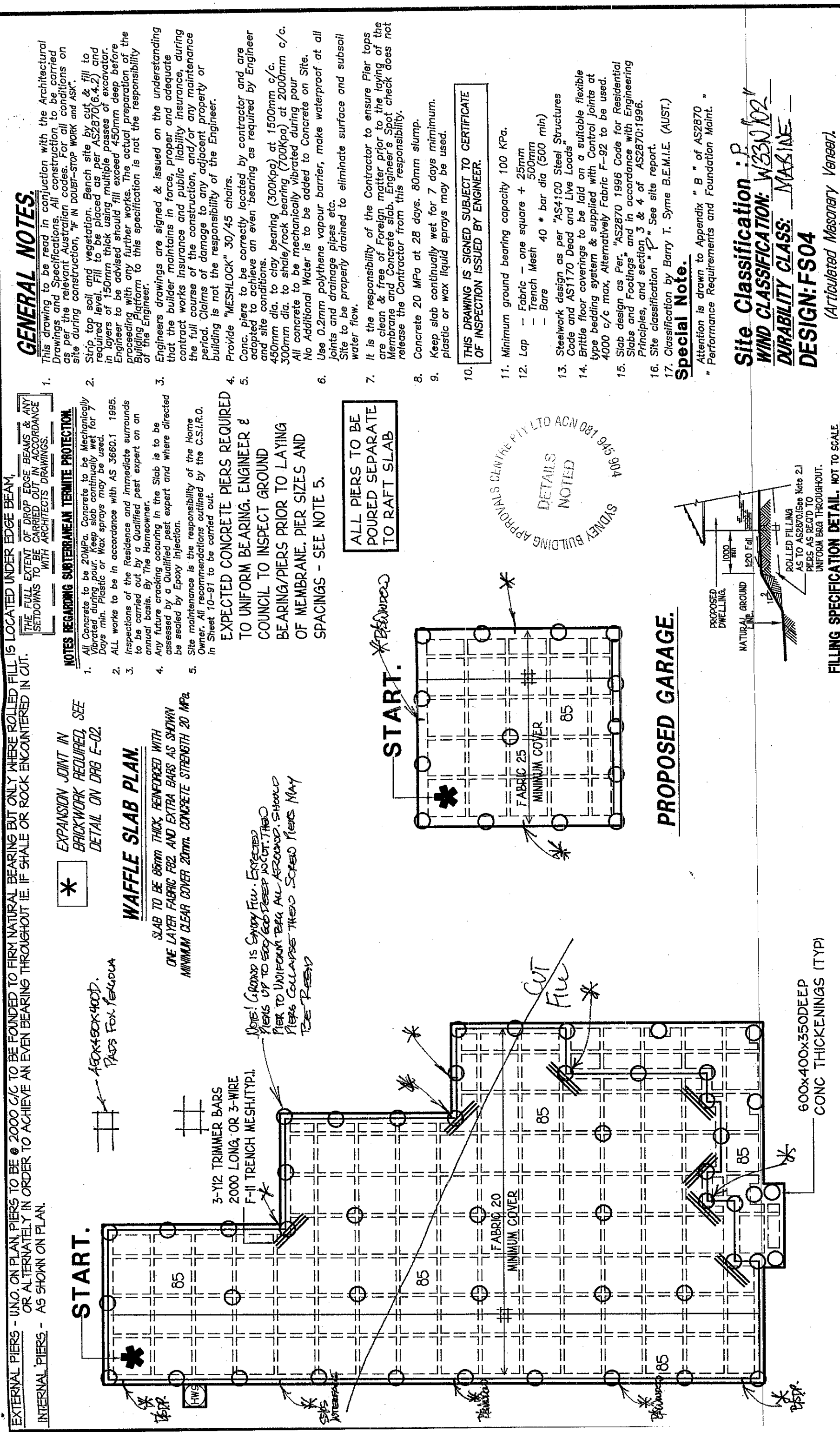
JOB #: 6660 DATE: 27.08.02

cc/PT

DRAWN: GG/KI	CHECKED:
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SCALE: 1:100 DRAWING N : OF

DO NOT SCALE DRAWING



GENERAL NOTES.

- This drawing to be read in conjunction with the Architectural Drawings and Specifications. All construction to be carried out as per the relevant Australian codes. For all conditions on site during construction, "IF IN DOUBT STOP WORK AND ASK".
- Strip top soil and vegetation. Bench site by cut & fill to required level. Fill to be placed as per AS2870(6.4.2) and in layers of 150mm thick using multiple passes of excavator. Engineer to be advised should fill exceed 450mm deep before proceeding with any further works. The actual preparation of the Building Platform to this specification is not the responsibility of the Engineer.
- Engineers drawings are signed & issued on the understanding that the builder maintains in force, proper and adequate contract works insurance and public liability insurance, during the full course of the construction, and/or any maintenance period. Claims of damage to any adjacent property or building is not the responsibility of the Engineer.
- Provide "MESHLOCK" 30/45 chairs.
- Conc. piers to be correctly located by contractor and are adapted to achieve an even bearing as required by Engineer and site conditions.
- 450mm dia. to clay bearing (300Kpa) at 1500mm c/c.
- 300mm dia. to shale/rock bearing (700Kpa) at 2000mm c/c.
- All concrete to be mechanically vibrated during pour.
- No Additional Water is to be added to Concrete on Site.
- Use 0.2mm polythene vapour barrier, make waterproof at all joints and drainage pipes etc.
- Site to be properly drained to eliminate surface and subsoil water flow.
- It is the responsibility of the Contractor to ensure Pier tops are clean & free of Foreign matter prior to the laying of the Membrane and Concrete slab. Engineer's Spot check does not release the Contractor from this responsibility.
- Concrete 20 MPa at 28 days. 80mm slump.
- Keep slab continually wet for 7 days minimum. plastic or wax liquid sprays may be used.
- THIS DRAWING IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER.
- Minimum ground bearing capacity 100 KPa.
- Lap - Fabric - one square + 25mm
- Trench Mesh 500mm
- Bars 40 * bar dia (500 min)
- Steelwork design as per "AS4100 Steel Structures Code and AS170 Dead and Live Loads"
- Brittle floor coverings to be laid on a suitable flexible type bedding system & supplied with Control joints at 4000 c/c max, Alternatively Fabric F-92 to be used.
- Slab design as per "AS2870 1996 Code for Residential Slabs and Footings" and in accordance with Engineering Principles, and section 3 & 4 of AS2870:1996.
- Site classification "P". See site report.
- Classification by Barry T. Syme B.E.M.I.E. (AUST.)

Special Note.

Attention is drawn to Appendix "B" of AS2870 "Performance Requirements and Foundation Maint."

Site Classification: P
WIND CLASSIFICATION: W33N102
DURABILITY CLASS: MASHINE
DESIGN: FS04
(Articulated Masonry Veneer)

SCALE	Don't
JOB No.	21606
DRG. No	REV.
E-01	
SHEET 1 OF 4	

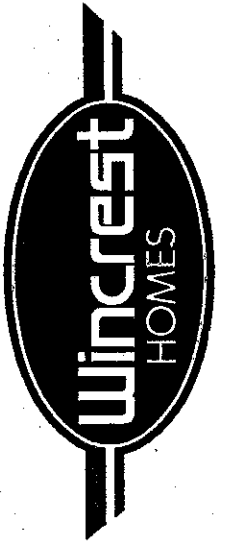
PROJECT	FOR: SETLEE AT: LOT Garden St WARRIEWOOD
TITLE	WAFFLE SLAB PLAN

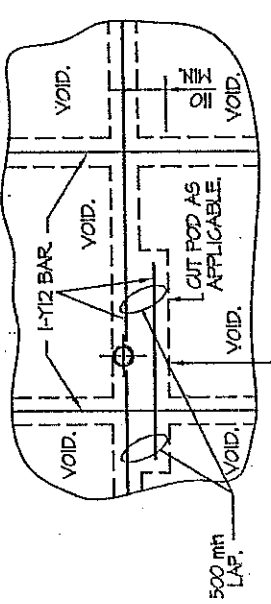
DRAWN	A.Z.
CHKD	B.S.
DATE	28/4/03
APPROVED	B.T. SYME B.E.M.I.E. (AUST)

BARRY T. SYME & ASSOCIATES PTY LTD
CONSULTING STRUCTURAL ENGINEERS
PH. 726 7666

ABEA Australian Building Engineers Association
ACSEE Australian Consulting Engineers Association
Inst. of Engineers Australia

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FAIRFIELD 2165 ABN.66 010 374 866





PIPE THRU RIB DETAIL

AS APPLICABLE

NOTES: THE MINIMUM STEM WIDTH SHALL BE 100 mm AND ADDITIONAL REINFORCEMENT FOR EXTERNAL RIBS WHERE STEM WIDTH EXCEEDS 150 mm SHALL BE PROVIDED AS FOLLOWS:

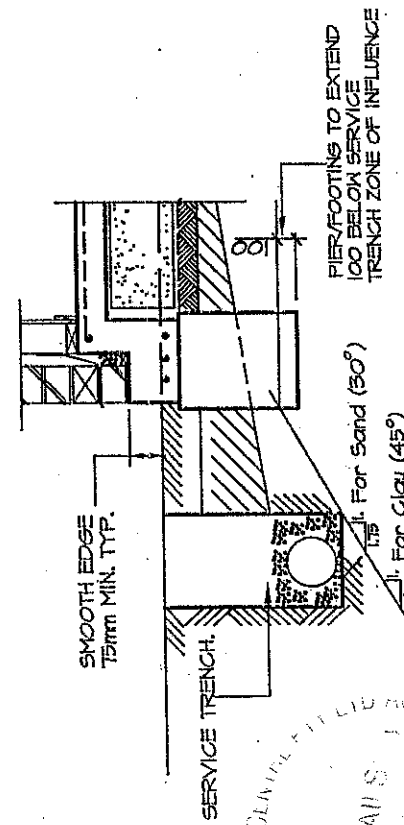
STEM WIDTH, mm	EXTRA TOP STEEL	EXTRA BTM STEEL
151 TO 220	1Y12	2Y12
221 TO 330	2Y12	3Y12
331 TO 440	3Y12	4Y12

A MORE EXTENSIVE DISCUSSION OF THIS MATERIAL IS CONTAINED IN THE CIRCO PAPERLET 10-41. GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE AND ITS RECOMMENDATIONS SHOULD BE FOLLOWED.

THE SITE SHALL BE GRADED OR DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR THE HOUSE. THE GROUND IMMEDIATELY ADJACENT TO THE HOUSE SHALL BE GRADED TO A UNIFORM FALL OF 50mm MINIMUM AWAY FROM THE HOUSE OVER THE FIRST METRE.

PLANTING OF TREES SHOULD BE AVOIDED NEAR THE FOUNDATION OF A HOUSE OR NEIGHBOURING HOUSE ON REACTIVE SITES AS THEY CAN CAUSE DAMAGE DUE TO DRYING OF THE CLAY AT SUBSTANTIAL DISTANCES.

RECOMMENDED SITE PREPARATION



SERVICE TRENCH DETAIL

(BUILDER TO ENSURE DETAIL COMPLIANCE)

SITE CLASSIFICATION "P"

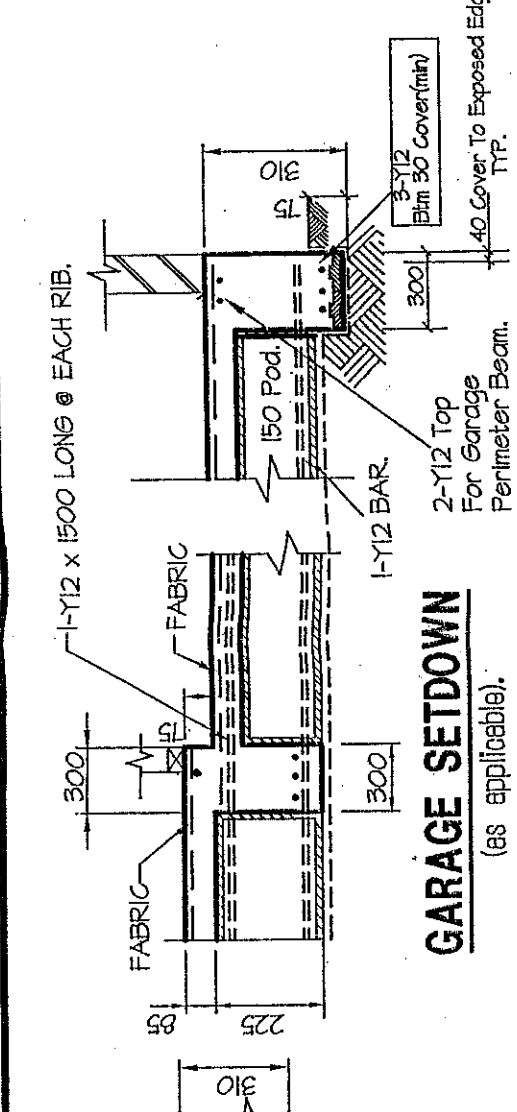
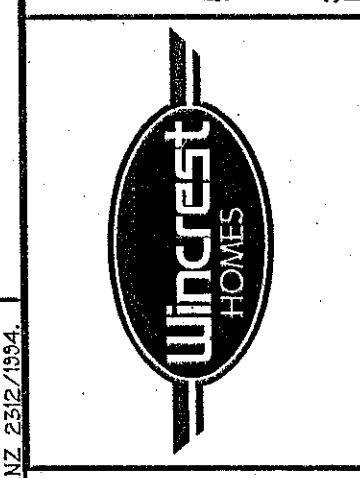
DESIGN CODE: AS2870.1996

SCALE	Don't
JOB No.	21606
DRG. No.	REV.
E-02	
SHEET 2 OF 4	

PROJECT FOR: **SETTEE**
AT: **LOT 101 GARDEN ST**
TITLE: **RIBBED RAFT SLAB DETAILS**

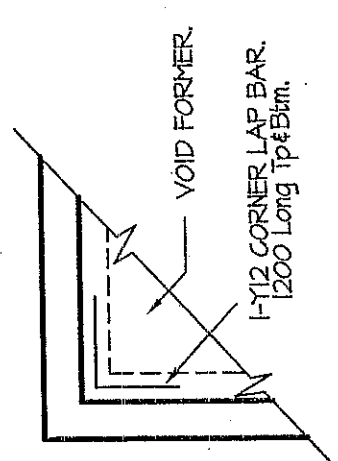
DRAWN	Sharief
CHKD	B.S.
DATE	28/2/03
APPROVED	
B.T.SYME B.E.M.E.(AUST)	

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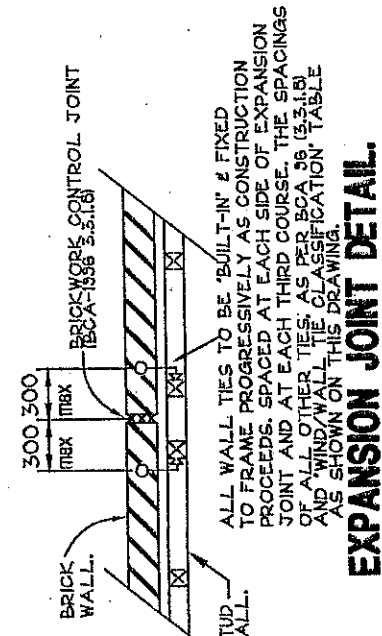


GARAGE SETDOWN

(as applicable).

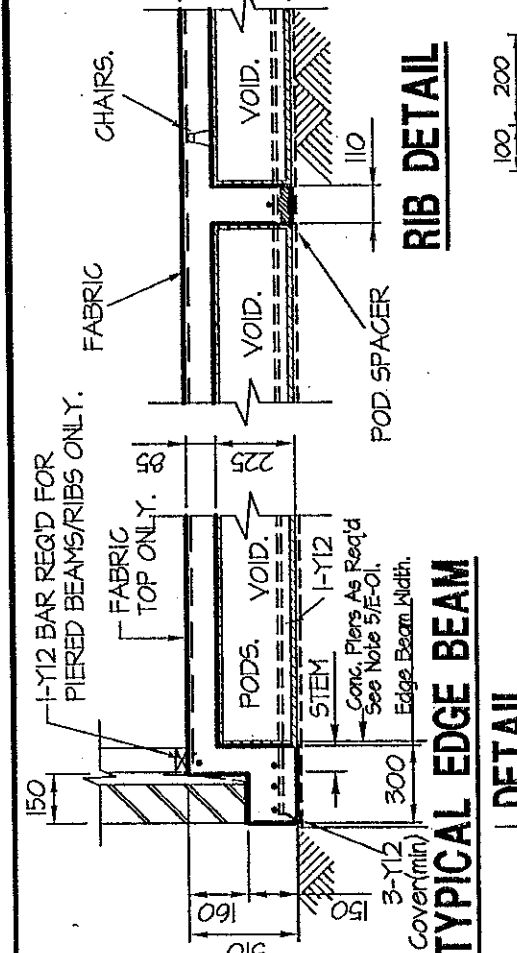


CORNER DETAIL



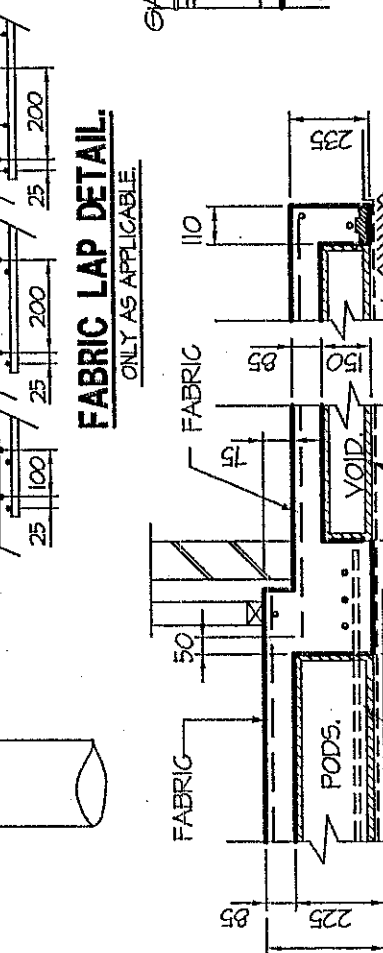
EXPANSION JOINT DETAIL

500mm/c max.



TYPICAL EDGE BEAM

DETAIL

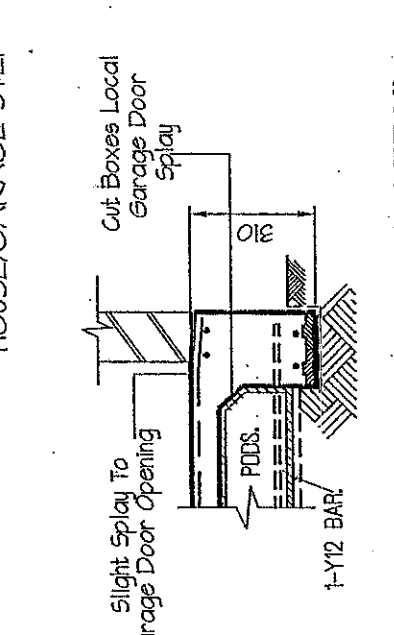


FABRIC LAP DETAIL

ONLY AS APPLICABLE

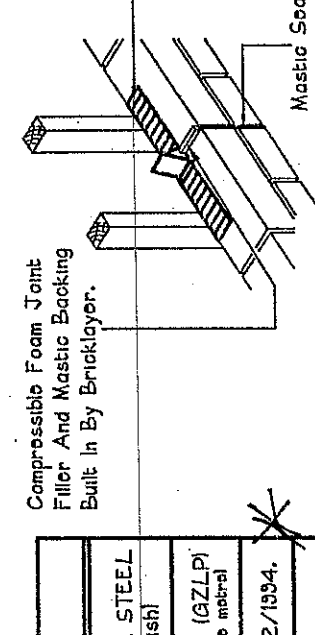
PERIMETER BEAM

HOUSE/GARAGE STEP



GARAGE DOOR REBATE DETAIL

Compressible Foam Joint Filler And Mastic Backing Built In By Bricklayer.



GARAGE/VERANDAH DETAIL

1-Y12 BAR.

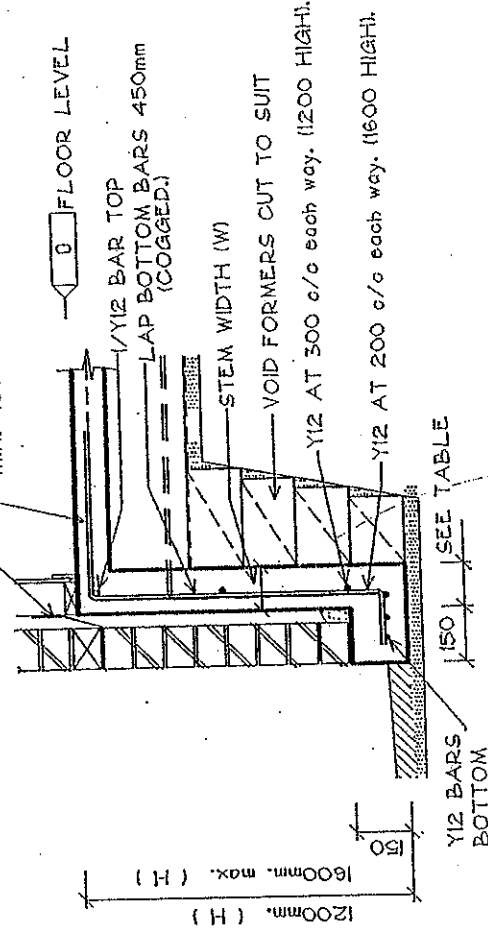
DURABILITY CLASSIFICATION			
CATEGORY	WALL TIES	GRADE OF BRICKS	MORTAR
(durability)	AS 3700	AS/NZS 4456.10	AS 3700 (Surface finish)
severe marine	R4 (Stainless or Polymer)	EXPOSURE	M4 (1:4)
marine	R3	GENERAL PURPOSE	M3 (1:5)
exterior	R2	GENERAL PURPOSE	M2 (1:2.5)
		GENERAL PURPOSE	M2 (1:2.5)

WIND/WALL TIE CLASSIFICATION			
WIND Class	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
M1	W28N1	600	600
M2	W33N2	600	600
M3	W41N3	600	430 (5 COURSES)
WALL TIE SPACINGS AROUND OPENINGS 500mm EACH WAY.			
POLYMER WALL TIES RATED 'LIGHT DUTY ONLY' (W28N1)			
(Vp = PERMISSIBLE STRESS METHOD)			

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING

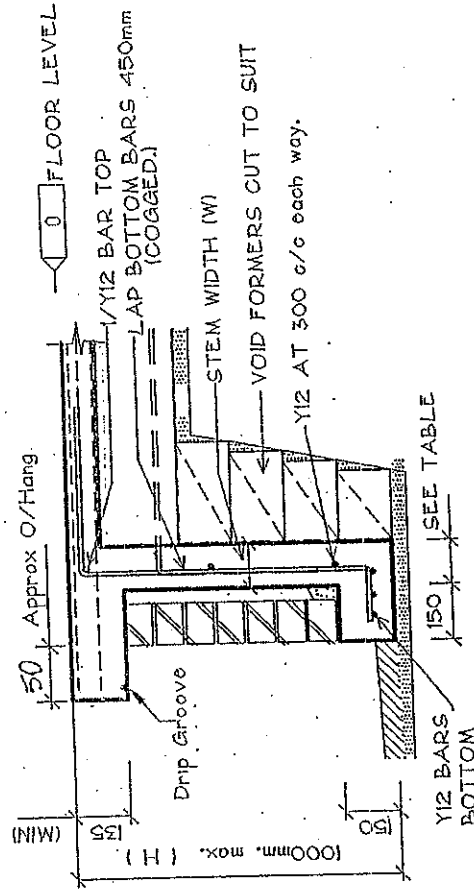
EMBOSSED POLYTHENE CAVITY
FLASHING AND D.P.C.

MIN. 450 LONG



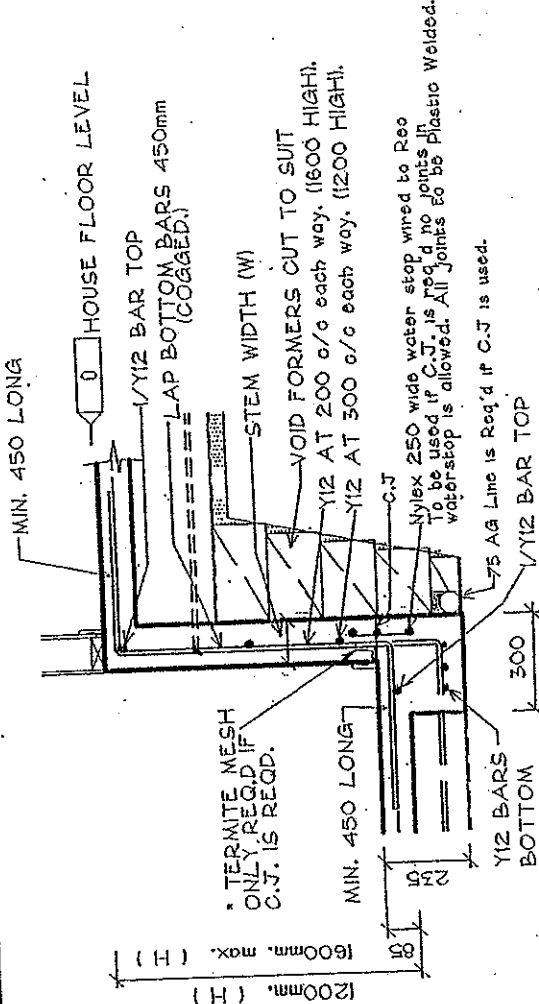
MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150
1600	200

DROP EDGE BEAM
(TYPICAL)



MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150

VERANDAH DROP EDGE BEAM
(TYPICAL)



MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150
1600	200

HOUSE TO GARAGE DROP BEAM
(TYPICAL)

SYDNEY BUILDING APPROVALS CENTRE PTY LTD
DETAILS NOTED

RAFT/STEEL REINFORCED SLAB - CONCRETE SECTIONS.



BARRY T. SYME &
ASSOCIATES PTY LTD
CONSULTING STRUCTURAL
ENGINEERS
PH. 726 7666



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FAIRFIELD 2165 A.B.N.66 010 374 866

PROJECT FOR:	sharif	CHKD	DATE	APPROVED
SETTEE	B.S.		24/2/03	
AT: LOT 101 GARDEN ST.				
WARRIEWOOD				

WAFFLE RAFT DETAILS

SCALE	Don't
JOB No	21606
REV.	
E-03	
SHEET 3 OF 4	



*DIMENSIONS SHALL NOT BE OBTAINED BY SCALING.

DETAILS NOTED

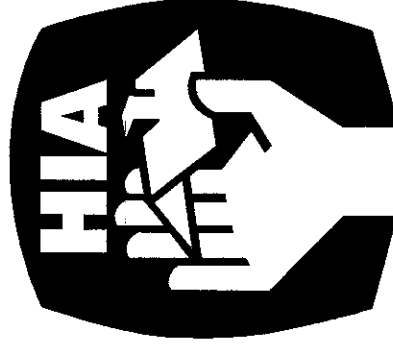
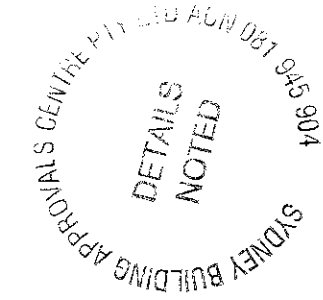
NOTE: -STEELWORK DESIGNED IN ACCORDANCE WITH AS4100 "STEEL STRUCTURES CODE" AND AS1170.1/AS1170.2 " DEAD AND LIVE LOADS AND WIND LOADS." STRUCTURAL STEEL TO BE GRADE (BHP 300 PLUS) U.N.O. SURFACE PREPARATION & FINISH TO COMPLY WITH AS/NZS 2312 - 1994.	DURABILITY CLASSIFICATION.	
	CATEGORY (durability,)	STRUCTURAL STEEL (Surface finish)
	severe marine	GALVANISED (GZLP) (606g per square metre)
	marine	AS/ ANZ 2312 /1994.
	exterior	AS/ ANZ 2312 /1994.

NOTE:
ALL BOLTED JOINTS TO
BE SPANNER TIGHTENED.

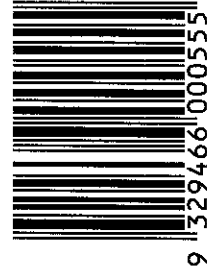
Design: FS04

SCALE Don't		JOB No. 21606		REV.
		DRG. No.		
E-04				
SHEET 4 OF 4				
PROJECT FOR:SETLEE AT:Lot 101 Garden St WARRIEWOOD				
TITLE BEAM DETAILS.				
DRAWN A.Z.	CHKD B.S.	DATE 28/12/03	APPROVED 	
B.T. SYME BE.MIE(AUST)				





Housing Industry
Association



ADDRESS OF PROPERTY: LOT 101
GARDEN ST WARRIEWOOD

GENERAL HOUSING SPECIFICATIONS

between

SETLEE PTY LTD
OWNER

and

WINCREST HOMES PTY LTD
CONTRACTOR

CONTRACTOR LICENCE NO: 38393

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GENERAL HOUSING SPECIFICATIONS
(Revised November 2000)

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2.0 STATUTORY REQUIREMENTS

2.1 The Works

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

2.2 Regulations, Notices and Fees

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities. Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

2.3 Insurance

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority, unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and instal smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.
All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets and shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions.

All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site - whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

6.0 FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or ponding of water on the surface, or as directed by the Engineer.

6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA 96 Housing Provisions.

12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings

Provide Gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions.

11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733. Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

6.11 Curing

All slabs shall be cured in accordance with AS 3600.

7.0 RETAINING WALLS

7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewerer and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and the down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates are to be tenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. The brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904

THE ORIGIN OF LEVELS IS THE
SSM132035 RL=382 (AHD) FOUND NEAR
THE INTERSECTION OF MAHOGANY
BOULEVARD AND GARDEN STREET.

LGA : PITTWATER
PARISH : NARRABEEN
COUNTY : CUMBERLAND
UBD Ref : 138 B10

CONSTRUCTION CERTIFICATE
issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(i), 81A(2) & 81A(4)

Construction Certificate No: Cc13/03 Plan No: 2603
FENCING TO BOUNDARIES AS PER
THE ESTATE DESIGN GUIDELINES

'C' EASEMENT FOR DRAINAGE OF WATER 1.5
WIDE

STORMWATER TO
EASEMENT

FENCING TO BOUNDARIES AS PER
THE ESTATE DESIGN GUIDELINES

SW GRATE

KIKUYU TURF
TO REAR

LOT 101
532.9m²

PROPOSED
GARAGE
FGL 5.8
FFL 6.1

PROPOSED
RESIDENCE
FGL 5.800
FFL 6.100

112

LOT 102
278.30'45" ~ 37.015

102

PROPOSED
RESIDENCE
FGL 5.800
FFL 6.100

KIKUYU TURF
TO FRONT

PAVED PATH

PVC
PIPE

LETTERBOX AND FENCING
TO BOUNDARIES AS PER
THE ESTATE DESIGN GUIDELINES

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

POSSIBLE B.O.S./B.A.S.
DATE ORDERED: ---
DATE RECEIVED: ---

MYRTLE CLOSE
TO GREVILLEA
TO AVENUE

RETAINING WALLS
IF REQUIRED

SEDIMENT CONTROL
FENCE

FENCING TO BOUNDARIES AS PER
THE ESTATE DESIGN GUIDELINES

RETAINING WALLS
IF REQUIRED

SPRAY CORNER at
Mahogany
Boulevard

SITE COVERAGE: 40.9%
FLOOR SPACE RATIO: 1: 0.53



1 : 200

SITE PLAN

Fernbrook Sanctuary

Approved Date: 21-11-07

Approved By: [Signature]

Note: Pittwater Council approval required
prior to site start

Stockland

Stockland (Constructors) Pty Limited
A B N: 71 000 064 835

ISSUE

REVISED PLANS (GG)
REVISED PLANS (GG)

AMENDMENTS

DATE

04.06.02
14.11.02

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Wincrest Homes Pty Ltd
ACN 002 989 755
Gold Builders Licence N 58383
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

CLIENT:

PROPOSED RESIDENCE FOR:
SETLEE

ADDRESS:

PROPOSED RESIDENCE AT:
LOT 101
GARDEN STREET
WARRIEWOOD NSW

DESIGN NAME: FS04

DESIGN N : ---
FACADE: ---

JOB N: 6660

DATE: 27.08.02

DRAWN: GG/RT

CHECKED: ---

SCALE: 1:200

DRAWING N : OF

DO NOT SCALE DRAWING

NOTE:
720 LIFT OFF HINGED
TO W.C (REFER DETAIL)

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904
CONSTRUCTION CERTIFICATE
Issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)

Construction Certificate No: SC 173/03 Plan No:

Engineer: Peter Ruck Accreditation No: 2603

Date: 3/12/03

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

Fernbrook Sanctuary

Note: Provide opening doors from lounge

Approved Date: 21-11-02

Approved By: [Signature]

Note: Pittwater Council approval required prior to site start

Stockland

Stockland (Constructors) Pty Limited
A B N: 71 000 064 835

DESIGN NAME: FS04

DESIGN N: -

FACADE: -

JOB N: 6660 DATE: 27.08.02

DRAWN: GG/RT CHECKED:

SCALE: 1:100 DRAWING N: OF

DO NOT SCALE DRAWING

PROPOSED RESIDENCE FOR:

SETLEE

PROPOSED RESIDENCE AT:

LOT 101
GARDEN STREET
WARREWOOD NSW

CLIENT:

ADDRESS:



Wincrest Homes Pty Ltd
ACN 002 985 735
Gold Builders Licence N 38385
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

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DATE

04.05.02
14.11.02

AMENDMENTS

REVISED PLANS (GG)
REVISED PLANS (GG)

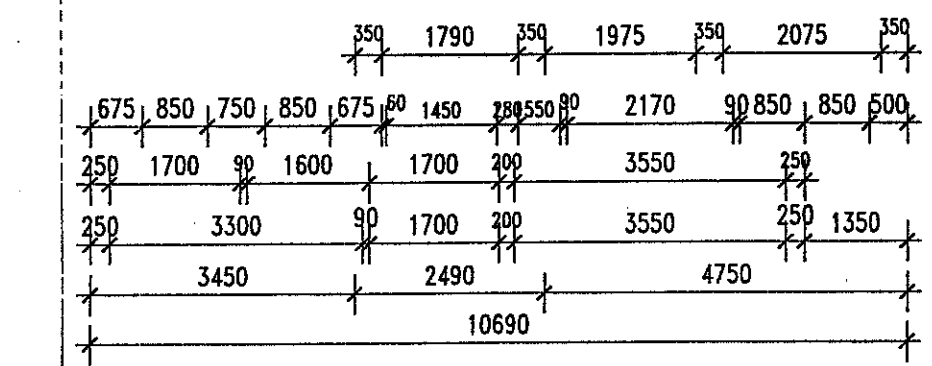
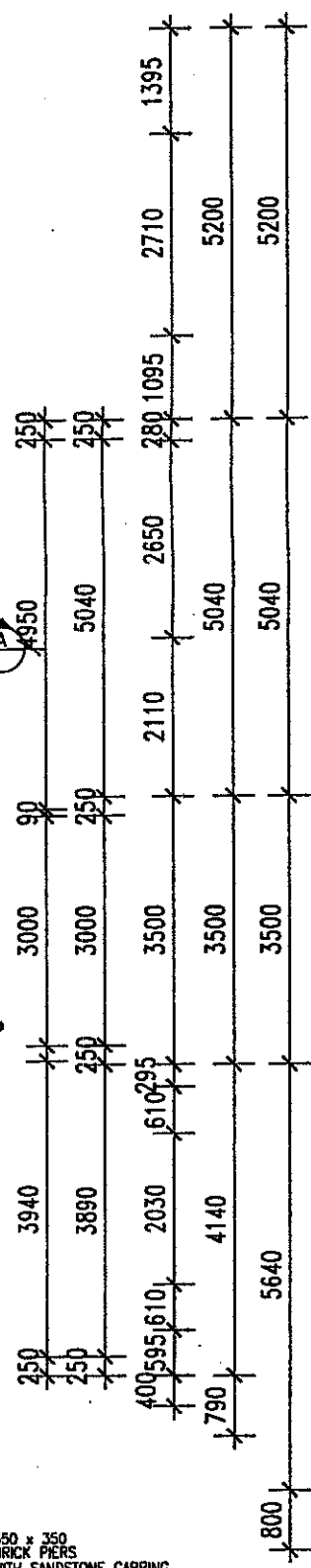
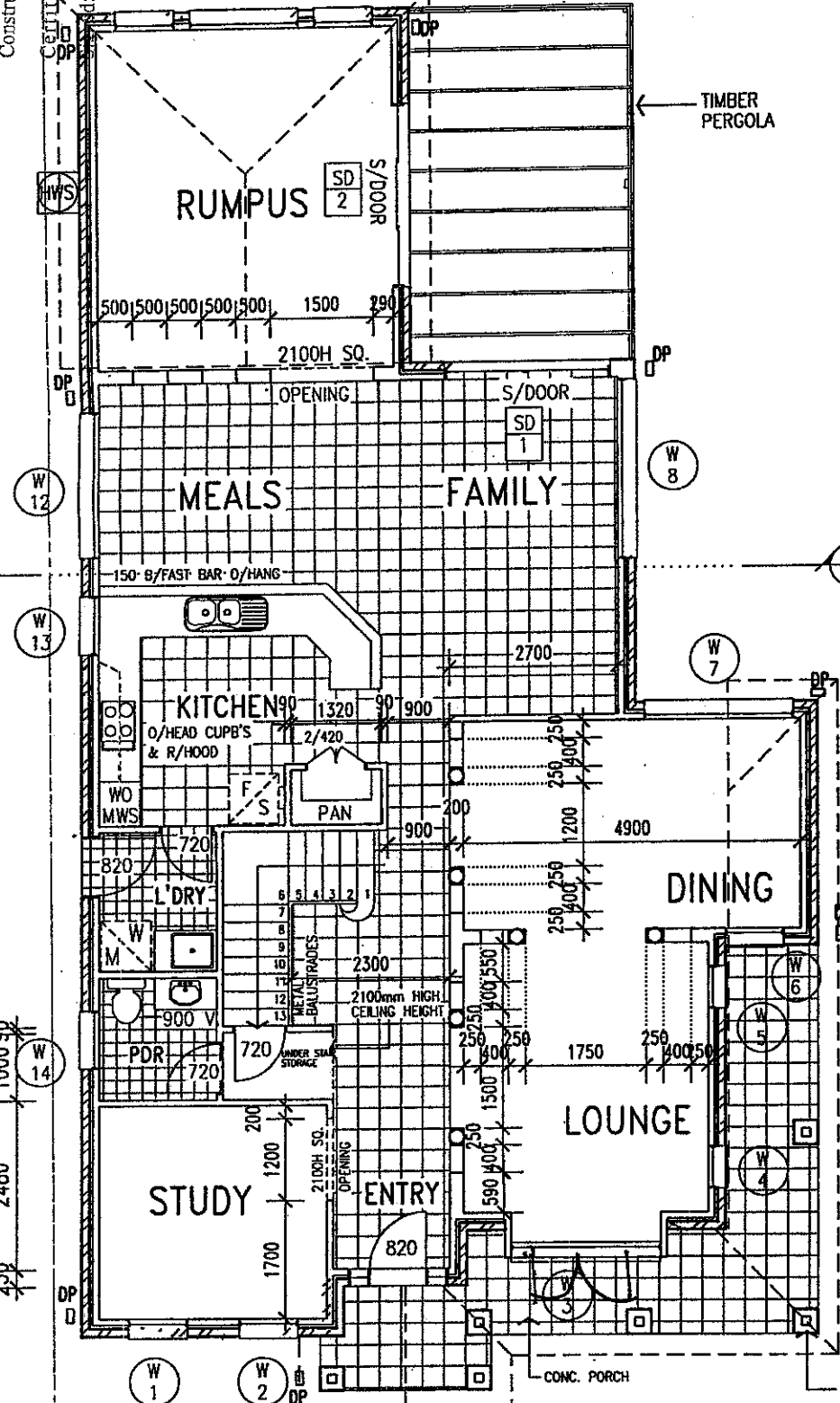
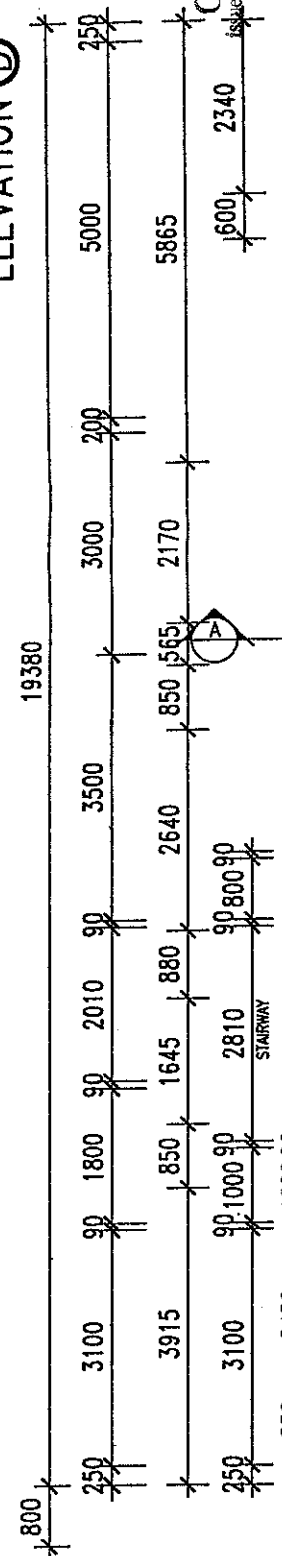
ISSUE

A
B

ELEVATION B

GROUND FLOOR PLAN

ELEVATION D



AREA:

GROUND	: 149.571 m ²
FIRST	: 119.693 m ²
GARAGE	: 34.866 m ²
PORCH	: 15.562 m ²
TOTAL	: 319.692 m ²

ELEVATION A

SYDNEY BUILDING APPROVALS
CENTRE PLY LTD
ACN 081 945 904
CONSTRUCTION CERTIFICATE
issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)
Construction Certificate No: **CC173/03** Plan No:
Certifier: Peter Ruck Accreditation No: 260
Signed: _____ Date: **3/12/03**

NOTE:
720 LIFT OFF HINGED
TO W.C (REFER DETAIL)

THE COUNCIL OF PITTSWATER
APPROVED
DEVELOPMENT CONSENT PLAN

ELEVATION ©

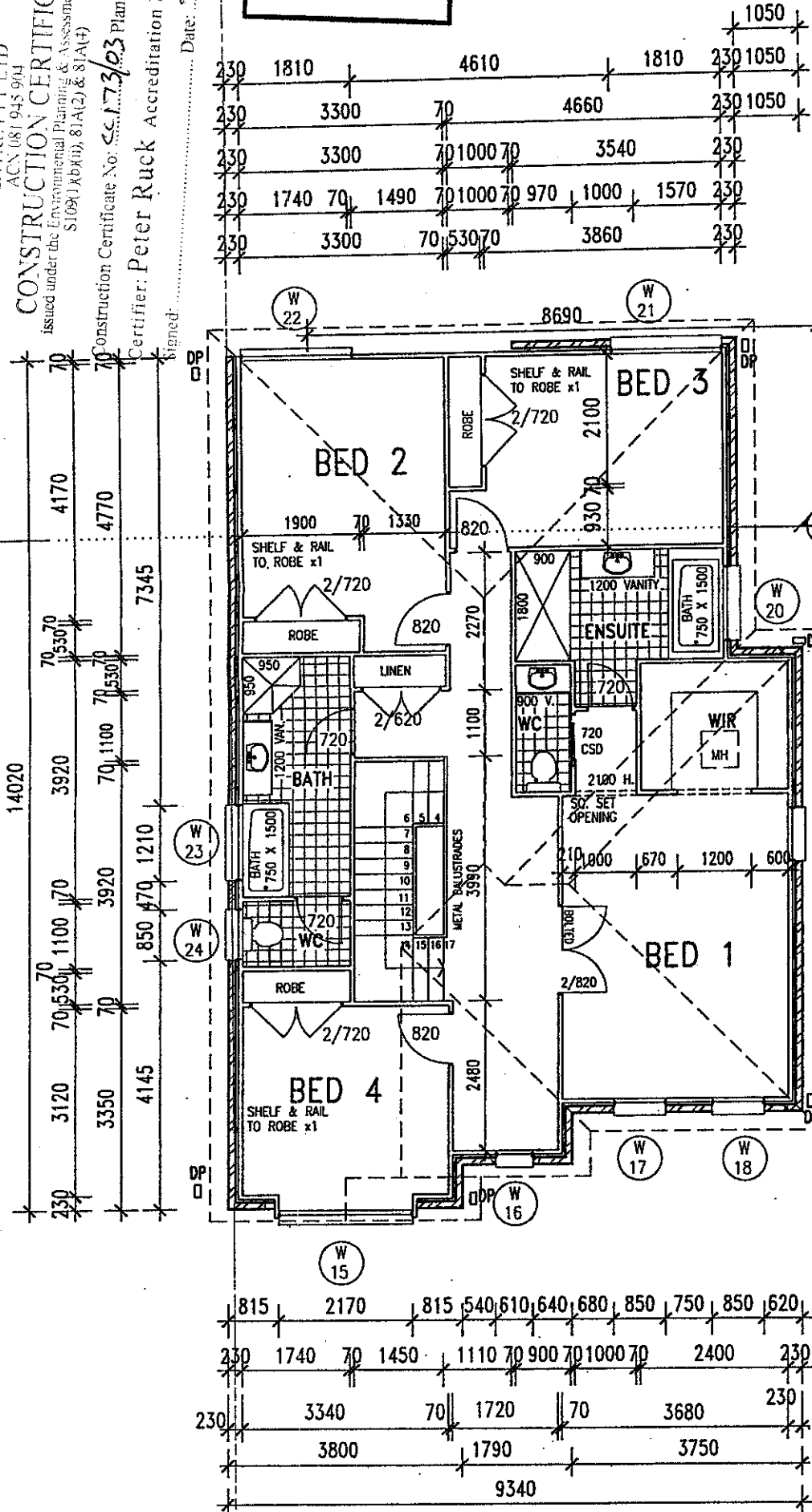
Fernbrook Sanctuary

Approved Date: **21-11-02**
Approved By: *[Signature]*
Note: Pittwater Council approval required
prior to site start

Stockland

Stockland (Constructors) Pty Limited
A B N: 71 000 064 835

ELEVATION ©



ELEVATION (A)

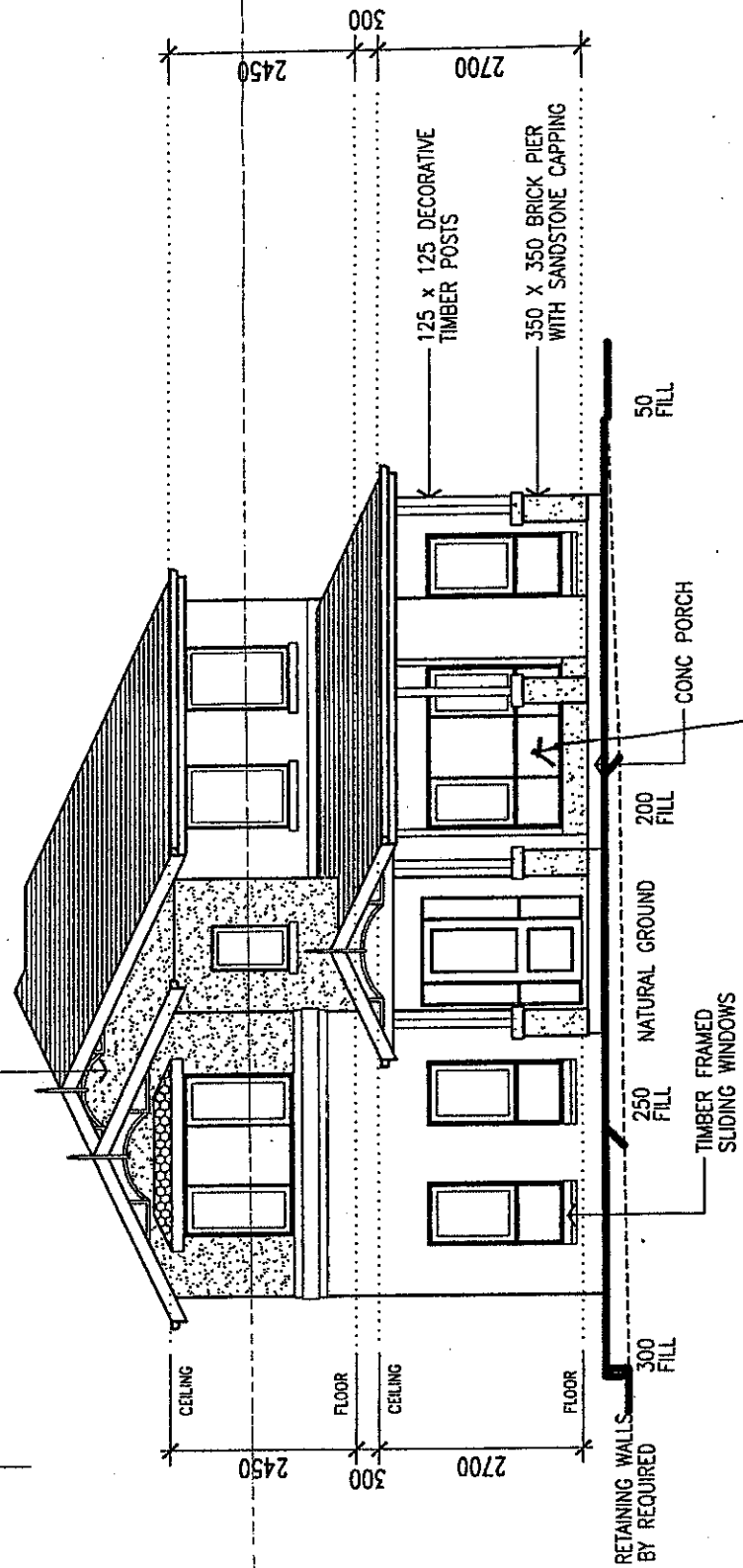
ELEVATION (B)

FIRST FLOOR PLAN

ISSUE	AMENDMENTS	DATE	DESIGN NAME: FS04
A	REVISED PLANS (GG)	04.09.02	DESIGN N: -
B	REVISED PLANS (GG)	14.11.02	FACADE: -
Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Homes Pty Ltd.			JOB N: 6660 DATE: 27.08.02
Wincrest Homes Pty Ltd ACN 002 989 755 Gold Builders Licence N 38383 18 Pitt St, Parramatta NSW 2150 Ph: (02) 9635 1644 Fax: (02) 9633 4806			DRAWN: GG/RT CHECKED:
PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARRIEWOOD NSW			SCALE: 1:100 DRAWING N: OF
CLIENT: SETLEE			DO NOT SCALE DRAWING
PROPOSED RESIDENCE FOR: SETLEE			

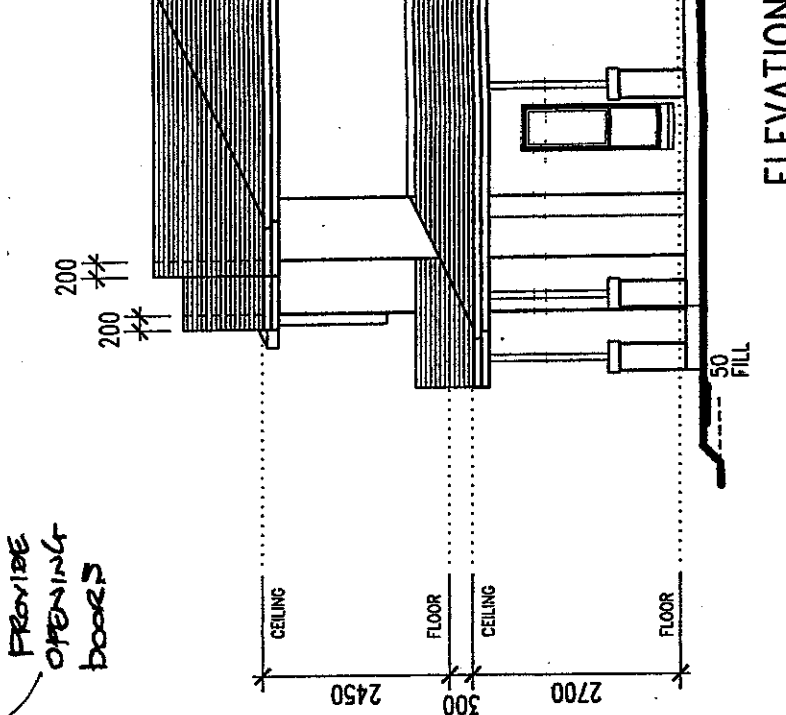
25° ROOF PITCH

SKIM COAT WITH
WITH RENDERED FINISH



ELEVATION A

Provide
opening
boards



ELEVATION B

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904

CONSTRUCTION CERTIFICATE

issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)

Construction Certificate No: 5517363 Plan No:

Certifier: Peter Ruck Accreditation No: 260.

Signed: Date: 3/12/03

NOTE:

- GROUND FLOOR WINDOW HEAD HEIGHT : 2057
- FIRST FLOOR WINDOWS TO BE PLACED DIRECTLY UNDER 300 EAVE LINE
- INFILL PANELS ABOVE SLIDING DOORS AND EXTERNAL DOORS WHERE REQ'D
- GARAGE DOOR HEAD HEIGHT 2140mm

Fernbrook Sanctuary

THE COUNCIL OF THE CITY OF PITTSBURGH
Approved By: [Signature]

APPROVED

DEVELOPMENT CONSENT PLAN

Stockland

Stockland (Constructors) Pty Limited
A B N: 71 000 064 835

ELEVATIONS

ISSUE	AMENDMENTS	DATE	CLIENT:	PROPOSED RESIDENCE FOR:	DESIGN NAME: FSO4
A	REVISED PLANS (GG)	04.09.02		SETLEE	DESIGN N : -
B	REVISED PLANS (GG)	14.11.02		PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARREWOOD NSW	FACADE: JOB N: 6660 DATE: 27.08.02 DRAWN: GG/RT CHECKED: SCALE: 1:100 DRAWING N : OF DO NOT SCALE DRAWING



Wincrest Homes Pty Ltd
ACN 002 989 755
Gold Builders Licence N° 36393
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

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CENTRE PTY LTD
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CONSTRUCTION CERTIFICATE

issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)

Construction Certificate No: 6611303 Plan No:

Certifier: Peter Ruck Accreditation No: 260

Signed: Date: 3/12/03

THE COUNCIL OF PITWATER

APPROVED
DEVELOPMENT CONSENT PLAN

Fernbrook Sanctuary

Approved Date: 21-11-07

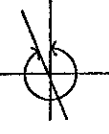
Approved By: *[Signature]*

Note: Pittwater Council approval required
prior to site start

Stockland

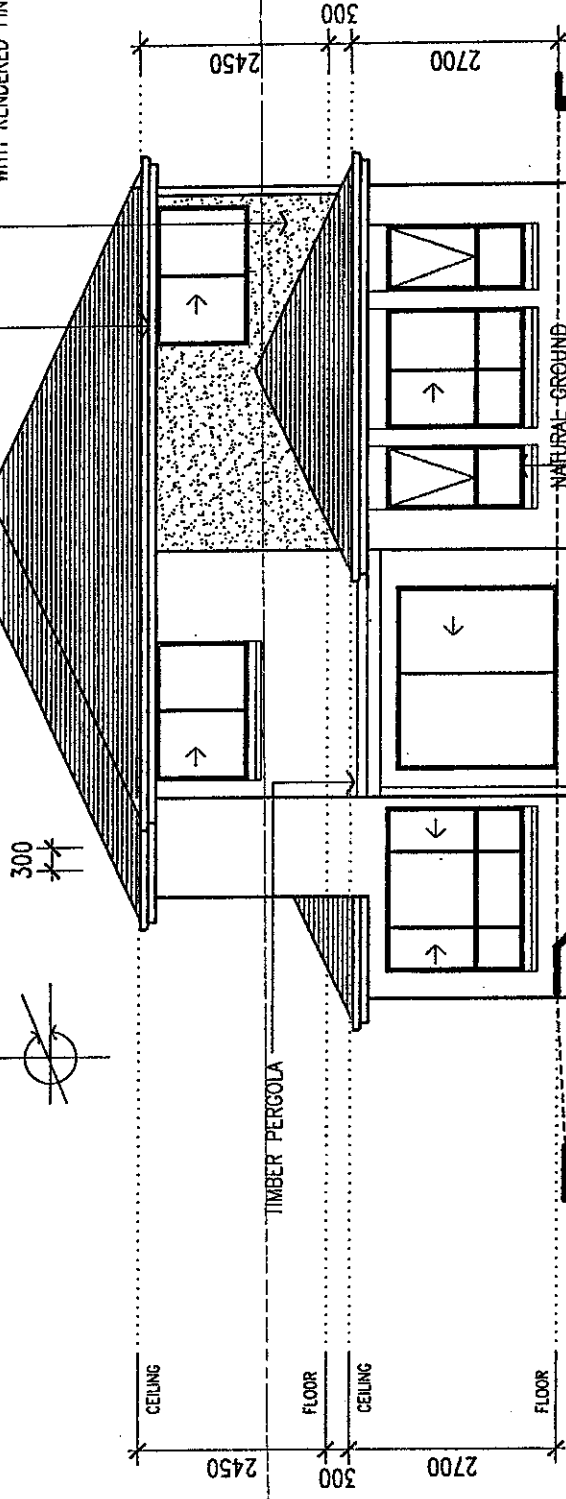
Stockland (Constructors) Pty Limited
A B N: 71 000 064 835

25° ROOF PITCH



SELECTED METAL
FASCIA & GUTTERS

SKIM COAT WITH
WITH RENDERED FINISH



ELEVATION C

ALUMINIUM FRAMED
WINDOWS

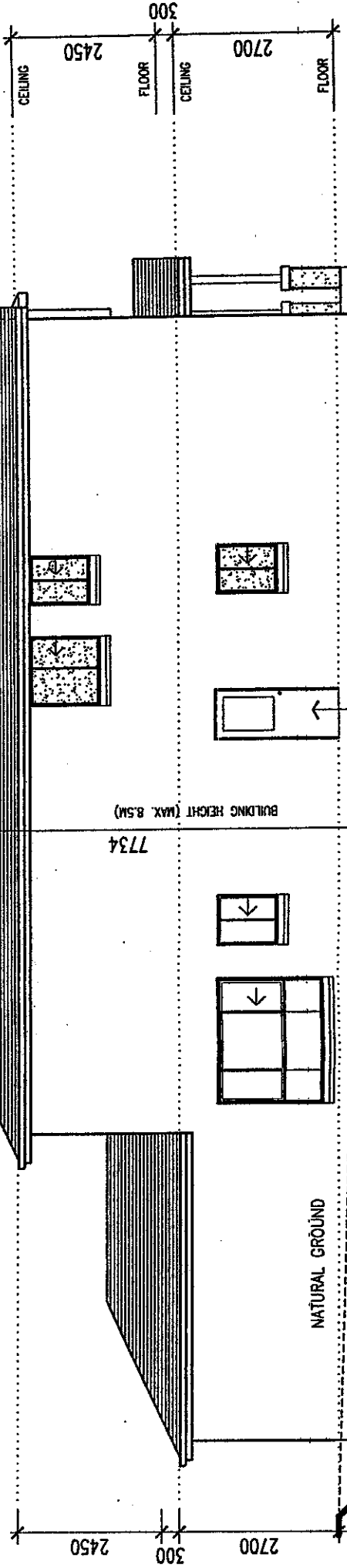
NATURAL-GROUND

RETAINING WALLS
BY REQUIRED

SELECTED ROOF TILES

200

200



ELEVATION D

HALF GLAZED DOOR
TO LAUNDRY

NATURAL GROUND

ELEVATIONS

ISSUE	AMENDMENTS	DATE	CLIENT:	PROPOSED RESIDENCE FOR:	DESIGN NAME:
A	REVISED PLANS (GG)	04.05.02	SETLEE	PROPOSED RESIDENCE AT:	FSO4
B	REVISED PLANS (GG)	14.11.02		LOT 101 GARDEN STREET WARREWOOD NSW	DESIGN N: - FACADE: -
			ADDRESS:	JOB N: 6660	DATE: 27.08.02
				DRAWN: GG/RT	CHECKED:
				SCALE: 1:100	DRAWING N: OF
					DO NOT SCALE DRAWING



Wincrest Homes Pty Ltd
ACN 002 989 755
Gold Builders Licence N° 38383
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

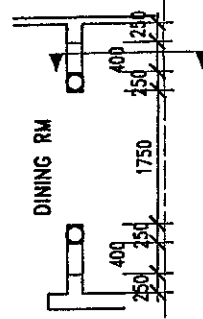
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CENTRE PTY LTD
ACN 081 945 904

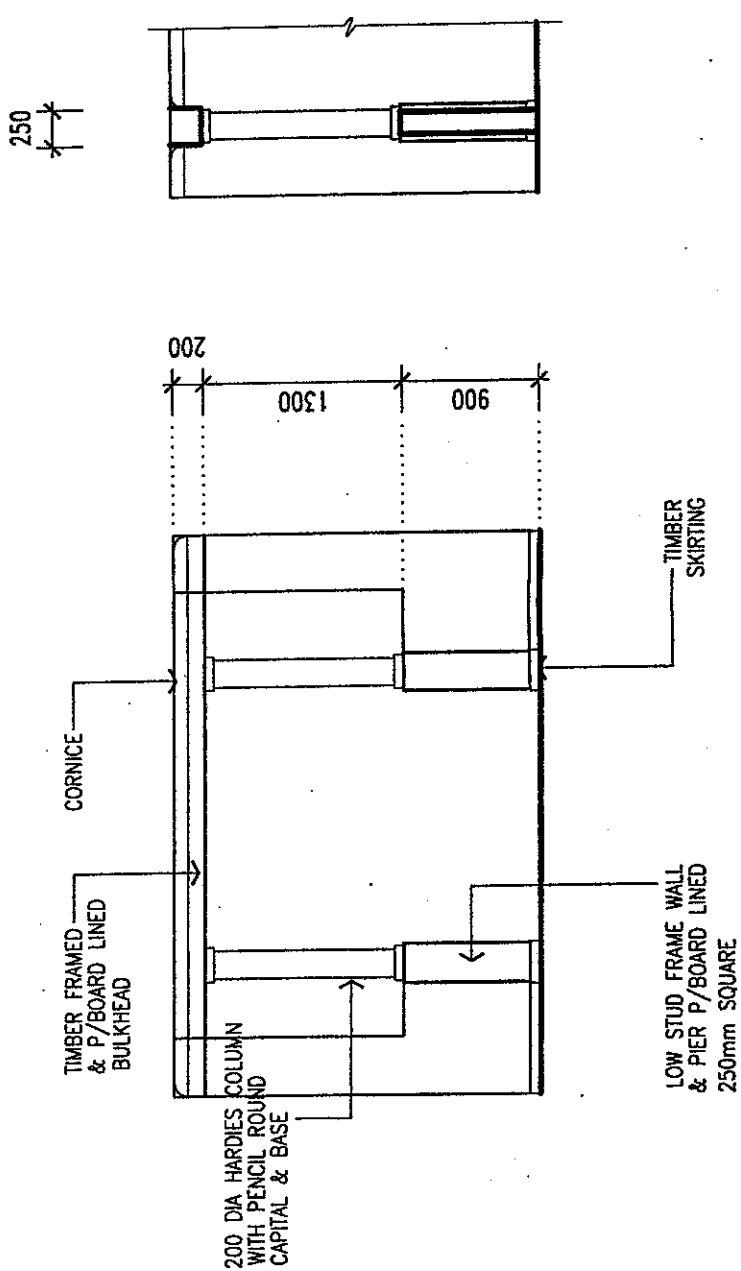
CONSTRUCTION CERTIFICATE
Issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)

Construction Certificate No: **6617363** Plan No:
Certifier: Peter Ruck Accreditation No: 260.
Started: Date: **3/12/03**

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN



PLAN



ELEVATION

SECTION

DINING ROOM ENTRY FEATURE WALL

SCALE 1:50

ISSUE	AMENDMENTS	DATE	PROPOSED RESIDENCE FOR:	DESIGN NAME: FSO4
				DESIGN N : -
A B	REVISED PLANS (GG) REVISED PLANS (GG)	04.09.02 14.11.02	CLIENT: PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARRIEWOOD NSW	FACADE:
				JOB N: 6660 DATE: 27.08.02
			DRAWN: GG/RT CHECKED:	
			SCALE: 1:100 DRAWING N : OF	
			DO NOT SCALE DRAWING	



Wincrest Homes Pty Ltd
ACN 002 989 755 38383
Gold Builders Licence N 2150
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

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Architectural floor plan of a 20' x 30' modular building. The plan shows a layout with two bedrooms (BED 2 and BED 3) on the left, a family room and meals area on the right, and a bathroom. Dimensions are provided for the overall footprint (27'00" x 30'00") and internal partitions. A gabled roof section on the left is labeled "SELECTED ROOF TILES" and "300". The plan also indicates "CEILING" and "FLOOR" levels for different sections.

SECTION AA

- R/C SLAB TO ENG'S DETAILS

DESIGN/STRUCTURAL/INTERNAL

- PART B CHEMICAL SPRAY TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY
- AS/NZS 3000 – 2000 ELECTRICAL REQUIREMENTS; SAFETY SWITCH TO FRIDGE
- & LIGHT CIRCUITS. ISOLATING SWITCH FOR WALL OVEN
- R1.5 WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS
- R2.5 CEILING INSULATION TO FAMILY, MEALS, RUMPUS & FIRST FLOOR
- PAINTED TIMBER PERGOLA OVER PAVED OUTDOOR AREA
- CERAMIC TILES TO ENTRY, KITCHEN, MEALS & FAMILY ROOM AT A TILE SUPPLY VALUE OF \$24/m²
- SECTION B CARPETS TO REMAINING LIVING AREAS

ISSUE	
A	REVISED PLANS (GG)
B	REVISED PLANS (GG)

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Gold Builders Licence N 38383
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

AMENDMENTS

DATE _____

04.09.02
14.11.02

PROPOSED RESIDENCE FOR:

SETH

PROPOSED RESIDENCE AT:

LOT 101
GARDEN STREET
WARRIEWOOD NSW

ADDRESS:

DESIGN NAME: FSO4

DESIGN N :
FACADE:

JOB N: 6660

DRAWN: GG/

SCALE: 1:100

DO NOT SCALE DRAWING

NUMBER	HEIGHT	WIDTH	STYLE	TYPE
1	1800	850	CLEAR	AWNING
2	1800	850	CLEAR	AWNING
3	1800	2170	CLEAR	AWNING
4	1800	610	CLEAR	AWNING
5	1800	610	CLEAR	AWNING
6	1800	850	CLEAR	AWNING
7	1800	2170	CLEAR	SLIDING
8	1800	2650	CLEAR	SLIDING
9	1800	850	CLEAR	AWNING
10	1800	1570	CLEAR	SLIDING
11	1800	850	CLEAR	AWNING
12	1800	2170	CLEAR	SLIDING
13	1030	850	CLEAR	SLIDING
14	1030	850	CLEAR	SLIDING
15	1460	2170	CLEAR	AWNING
16	1030	610	CLEAR	AWNING
17	1370	850	CLEAR	AWNING
18	1370	850	CLEAR	AWNING
19	1200	850	CLEAR	SLIDING
20	1200	1210	OBS/T	SLIDING
21	1200	1810	CLEAR	SLIDING
22	1200	1810	CLEAR	SLIDING
23	1200	1210	OBS/T	SLIDING
24	1030	850	OBS	SLIDING
SD 1	2100	2410	CLEAR	SLIDING
SD 2	2100	THE 2000 INCH DEPARTMENT		

APPROVED
DEVELOPMENT CONSENT PLAN

ACN (18105914)
F165F0181.NOV

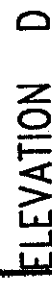
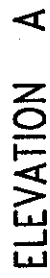
issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(iii), 8(1A2) & 8(1A4)

Construction Certificate No: CC173/03 Plan No:

Certifier: Peter Ruck Accreditation No: 260

Signed: Date: 3/12/03.

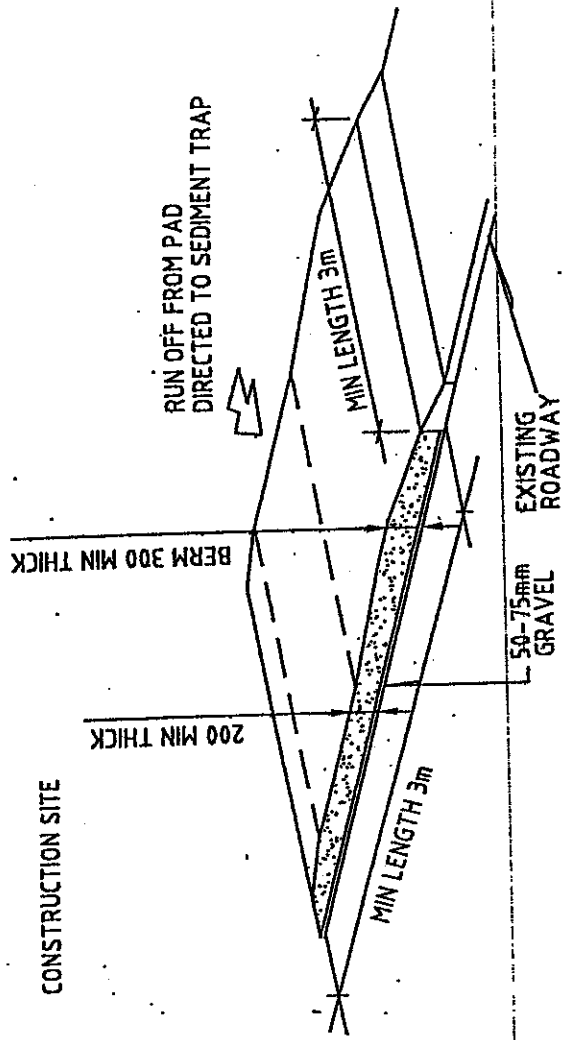
Construction Certificate No: CA17303 Plan No:
 Certifier: Peter Ruck Accreditation No: 26031203 Date: 3/12/03



Approved Date: 21-11-02
Approved By: J. Johnson
Note : Pittwater Council approval required prior to site start

Stockland (Constructors) Pty Limited
A.B.N.: 71 000 064 835

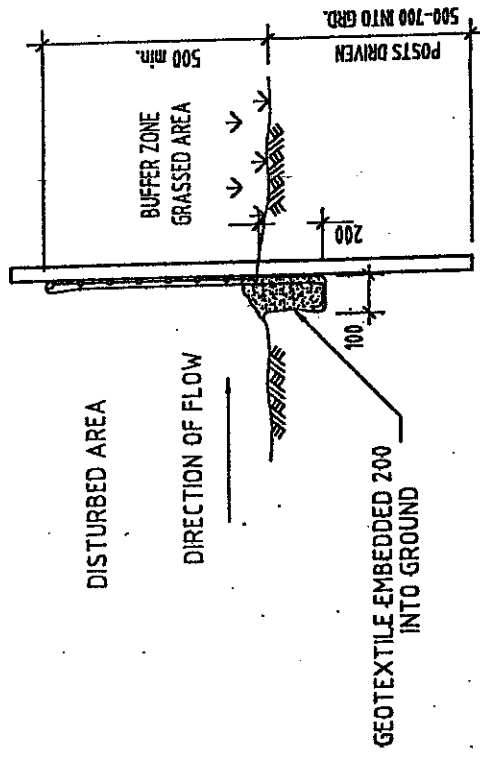
ISSUE	AMENDMENTS	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Homes Pty Ltd.	Wincrest Homes Pty Ltd ACN 002 989 755 Gold Builders Licence N° 38383 18 Pitt St, Parramatta NSW 2150 Ph: (02) 9635 1644 Fax: (02) 9635 4806	PROPOSED RESIDENCE FOR: SETLEE PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARRIEWOOD NSW	CLIENT:	DESIGN NAME: — DESIGN N°: — FACADE: —	JOB N°: 6660 DATE: 28.08.02	DRAWN: GG CHECKED:	SCALE: 1:100 DRAWING N°: OF	DO NOT SCALE DRAWING
	REVISED PLANS (GG) REVISED PLANS (GG)					04.09.02 14.11.02					



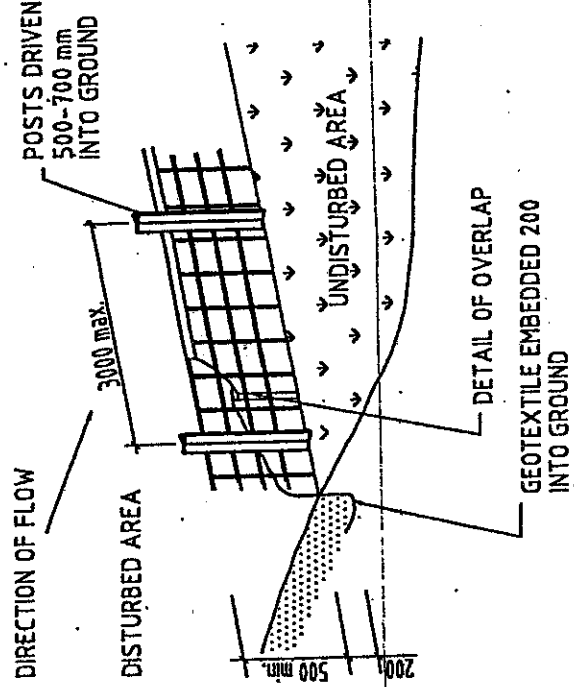
STABILISED ENTRY DETAIL

NOTES:

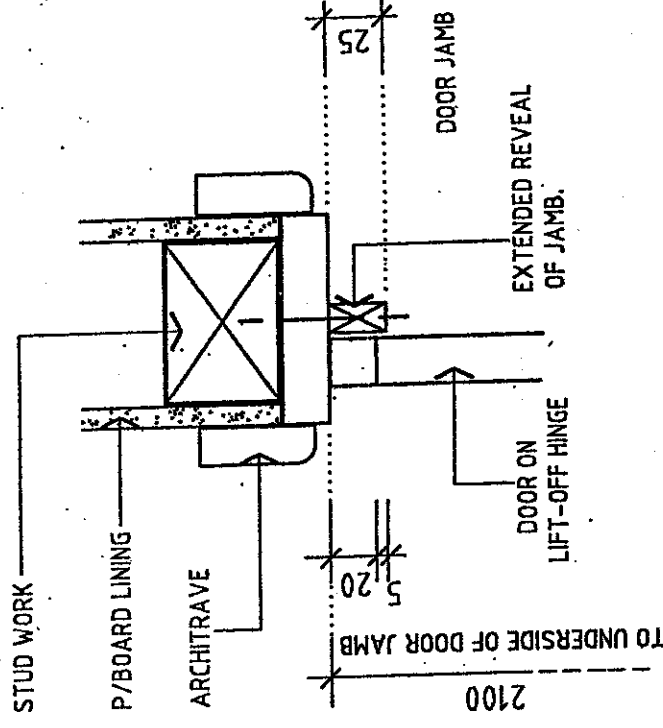
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
2. STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED
4. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE



GEOFABRIC LINED SILT FENCE



LIFT-OFF HINGE PROFILE



LIFT-OFF HINGE SECTION

STANDARD SEDIMENT CONTROL DETAILS

DRAWINGS ARE NOT TO SCALE



Wincrest Homes Pty Ltd
ACN 002 988 755
Gold Builders Licence N 38383
18 Pitt St, Parramatta NSW 2150
Ph: (02) 9635 1644 Fax: (02) 9633 4806

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STANDARD LIFT OFF HINGED DOOR DETAILS

DRAWINGS ARE NOT TO SCALE

SYDNEY BUILDING APPROVALS CENTRE PTY LTD ACN 087 046
DETAILS NOTED

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

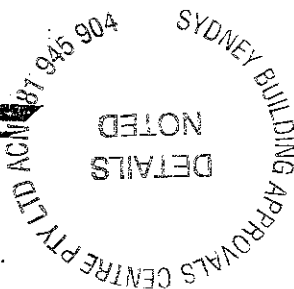
P.O. BOX 279, FAIRFIELD 1860



BARRY T. SYME, B.E., M.I.E. Aust. CPEng.(Reg)
NPER STRUCTURAL
A.B.N.66 010 374 865
PHONE: 9726 7666
FAX: 9728 4376
DX: 25080 FAIRFIELD



WINCREST HOMES PTY. LTD.



OUR REF: 21606

YOUR REF: 6660/080/01

RECEIVED

- 6 MAR 2003

DOCUMENT/DRAWING TRANSITTAL

FOR: Setlee P/L

AT: Lot 101 Garden St Warriewood

ATTENTION: Alan Torres

PLEASE NOTE THE FOLLOWING:-

- ☐ Dropped Edge Beam Included
- ☐ Additional Piers Required
- ☐ Other _____

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS
P.O. BOX 279, FAIRFIELD 2165

With Compliments

*Please note,
This is Class "P" due to site conditions,
otherwise - same as Class "M".*

BARRY T. SYME

DOCUMENTS ATTACHED INCLUDE

- ☒ Waffle Raft Slab Plans
- ☒ Deep Beam Details
- ☒ Steel Beam Details
- ☐ Building over Sewer Details

BARRY T. SYME, B.E., M.I.E. Aust. CPEng.(Reg)
NPER-3 STRUCTURAL A.C.N.003 084 357
PHONE: 9726 7666 FAX: 9728 4376 DX: 25080 FAIRFIELD

- ☒ Site Classification Report
- ☒ Wind & Durability Classification
- ☒ Control Joints Sketch
- ☐ Other _____

SIGNED

DATE

03.03.03

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

P.O. BOX 279, FAIRFIELD 1860



BARRY T. SYME, B.E., M.I.E. Aust. CPEng.(Reg)
NPER STRUCTURAL
A.B.N.66 010 374 865
PHONE: 9726 7666
FAX: 9728 4376
DX: 25080 FAIRFIELD

3rd March, 2003

Our Job **21606**

Your Ref **6660/080/01**

Wincrest Homes Pty Ltd
P. O. Box 3606
PARRAMATTA NSW 2124

SITE INSPECTION REPORT

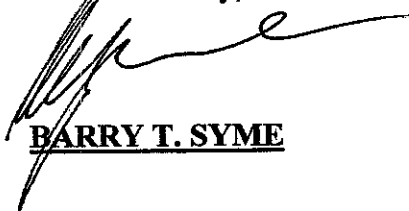
Address of Construction	Lot 101 Garden Street, Warriewood.
Client	Setlee Pty Ltd.
Site Classification	P.
Slab Classification	P-SR.
Date of Site Inspection	28 th February, 2003.
Soil Profile	Topsoil over Sandy Fill.
Number of Test Holes	1.
Bore Diameter	75mm.
References	(1) AS 2870 1996 "Code for Residential Slabs and Footings" (2) Classification for N.S.W. Soils for Housing (N.S.W. Builders Licensing Board).

Please be advised that in accordance with the requirements of Reference (1) Section 2 and Reference (2) Part 5, Site Classification of the above building allotment has been carried out.

In accordance with Reference (1) Section 2, Reference (2) Part 5.4 (b) (i) the above profile has been classified by the writer as a site of Reactivity, Class "P".

This classification has been carried out in accordance with the requirements of the above Codes.

Yours faithfully,



BARRY T. SYME

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

P.O. BOX 279, FAIRFIELD 1860



BARRY T. SYME, B.E., M.I.E. Aust. CPEng.(Reg)
NPER STRUCTURAL
A.B.N.66 010 374 865
PHONE: 9726 7666
FAX: 9728 4376
DX: 25080 FAIRFIELD

3rd March, 2003

Our Job **21606**

Your Ref **6660/080/01**

Wincrest Homes Pty Ltd

P. O. Box 3606

PARRAMATTA NSW 2124

STRUCTURAL CERTIFICATE

RE: LOT 101 GARDEN STREET, WARRIEWOOD
External Garage Wall (2.9m Max. Height)
BCA. 96 Clause 3.3.1 Reinforced/Unreinforced Masonry
Wind Design Class: N2 (Vu), W33N (Vp)
Structure: Category H1 : Domestic

Please be advised that structural sufficiency of the external garage wall has been assessed by the writer. The assessment has been carried out in accordance with the requirements of AS 3700 masonry code, AS 1170:4 Earthquake Code, and BCA 96 CL 3.3.1.

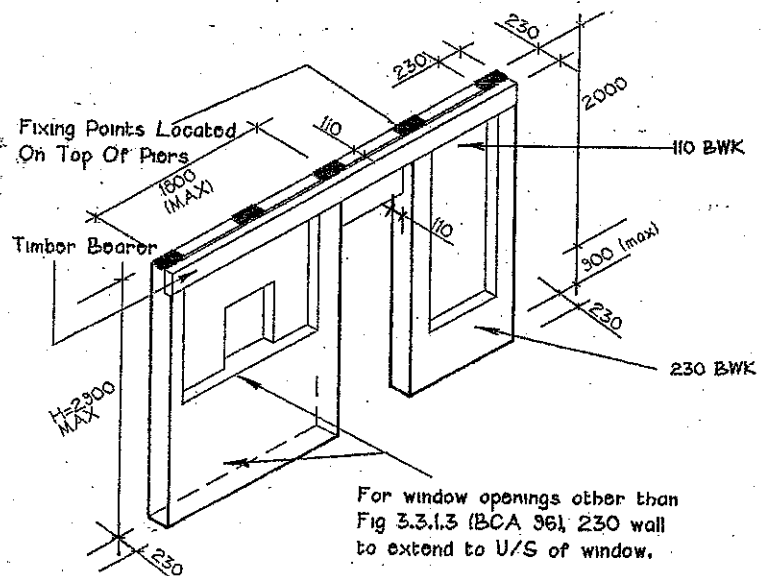
Accordingly this certificate verifies that the structural design of the wall as per the sketch, complies with the performance requirements P2.1 as specified in section 2 of Building Code of Australia - Volume 2, Housing Provisions and Section 3.3.1.

This certificate applies to construction, which is within the sketch parameters as shown below and for the wind design class of N2 (Vu), W33N (Vp).

Should you have any queries whatsoever, please do not hesitate to contact the writer at any time.

Yours faithfully,

BARRY T. SYME

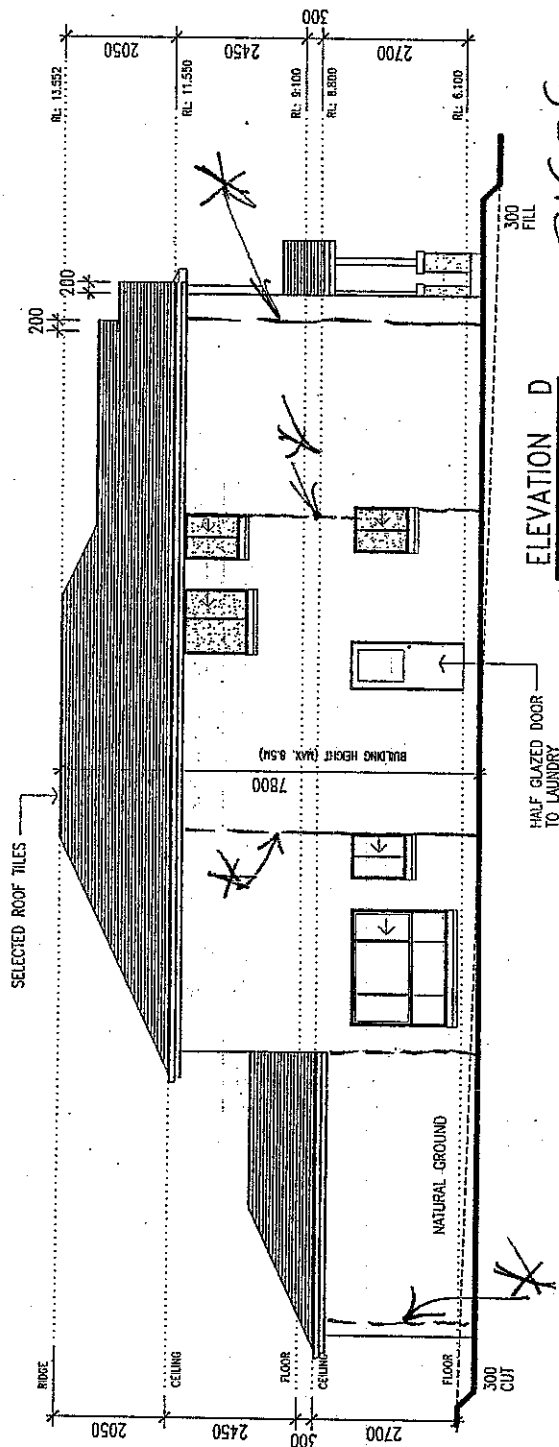


TYPICAL BRICKWALL DETAIL



- GROUND FLOOR WINDOW HEAD HEIGHT : 2057
- FIRST FLOOR WINDOWS TO BE PLACED DIRECTLY UNDER 300 EAVE LINE
- INFILL PANELS ABOVE SLIDING DOORS AND EXTERNAL DOORS WHERE REQ'D
- GARAGE DOOR HEAD HEIGHT 2140mm*

ELEVATION C



ELEVATION · D

TO

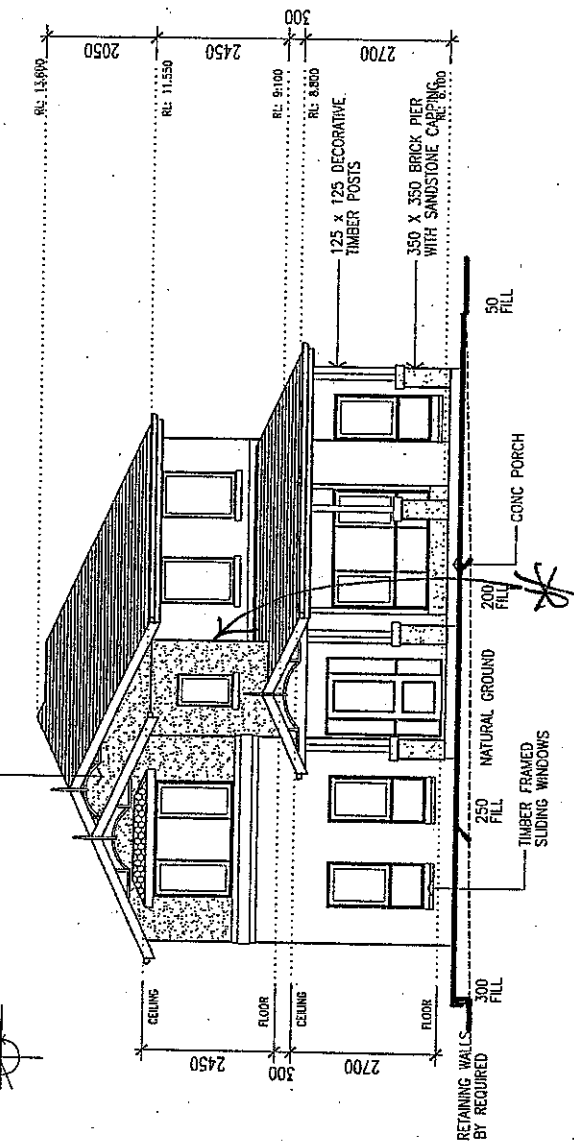
**HALF GLAZED
TO LAUNDRY**

ELEVATIONS

ISSUE	AMENDMENTS	DATE	Copyright reserved. No part of these plans may be reproduced or stored in any form without the written permission of Wincrest Homes Pty Ltd.	 Wincrest Homes Pty Ltd Gold Builders Licence N 13 Pitt St, Parramatta NSW 2150 Ph: (02) 9635 1044 Fax: (02) 9635 4606	CLIENT: PROPOSED RESIDENCE FOR: SETLEE	DESIGN NAME: FS04 DESIGN N : - FACADE: -	JOB N: 6660 DATE: 27.08.02	DRAWN: GG/RT CHECKED:	SCALE: 1:100 DRAWING N : OF	DO NOT SCALE DRAWING
A 8	REVISED PLANS (02) REVISED PLANS (06)	04.09.02 14.11.02		PROPOSED RESIDENCE AT: LOT 101 GARDEN STREET WARRIEWOOD NSW						

25° ROOF PITCH

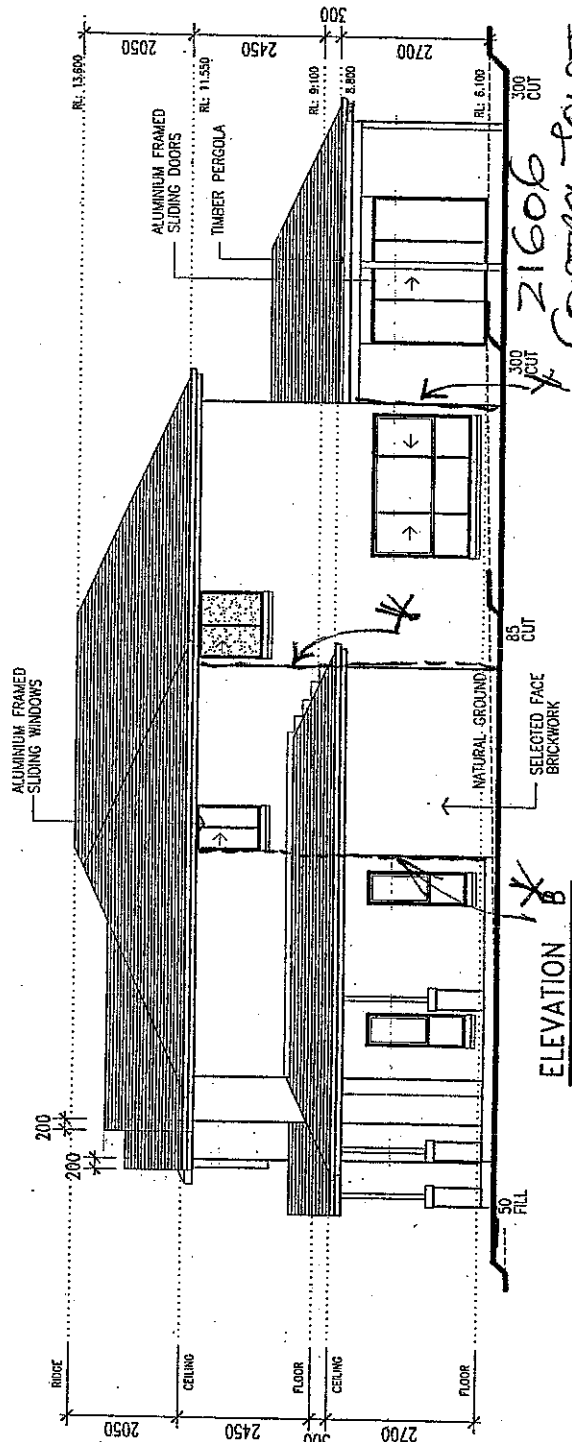
SKIM COAT WITH
WITH RENDERED FINISH



ELEVATION A

NOTE:

- GROUND FLOOR WINDOW HEAD HEIGHT : 2057
- FIRST FLOOR WINDOWS TO BE PLACED DIRECTLY UNDER 300 EAVE LINE
- INFILL PANELS ABOVE SLIDING DOORS AND EXTERNAL DOORS WHERE REQ'D
- GARAGE DOOR HEAD HEIGHT 2140mm



ELEVATION B

ELEVATIONS

ISSUE	AMENDMENTS	DATE	CLIENT	PROPOSED RESIDENCE FOR:	DESIGN NAME	FS04
A	REVISED PLANS (GG)	04/09/02		SETLEE	DESIGN N°	-
B	REVISED PLANS (GG)	14/11/02			FACE:	-
			ADDRESS:	PROPOSED RESIDENCE AT:	JOB N°	6660
				LOT 101	DRAWN:	GG/RT
				GARDEN STREET	SCALE:	1:100
				WARRIEWOOD NSW	CHECKED:	
					DRAWING N°	OF
					DATE:	27.08.02
					DO NOT SCALE DRAWING	



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Ph: (02) 9635 1644 Fax: (02) 9635 4806

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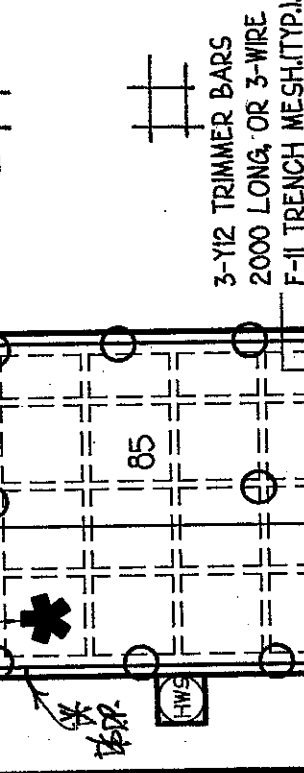
EXTERNAL PIERS - UNO. ON PLAN, PIERS TO BE 2000 C/C TO BE FOUNDED TO FIRM NATURAL BEARING BUT ONLY WHERE ROLLED FILL IS LOCATED UNDER EDGE BEAM, OR ALTERNATIVELY IN ORDER TO ACHIEVE AN EVEN BEARING THROUGHOUT IE. IF SHALE OR ROCK ENCOUNTERED IN CUT.

INTERNAL PIERS - AS SHOWN ON PLAN.

* EXPANSION JOINT IN BRICKWORK REQUIRED, SEE DETAIL ON DRG E-02.

START.

400x450x400 D. PADS FOR FLEXURE

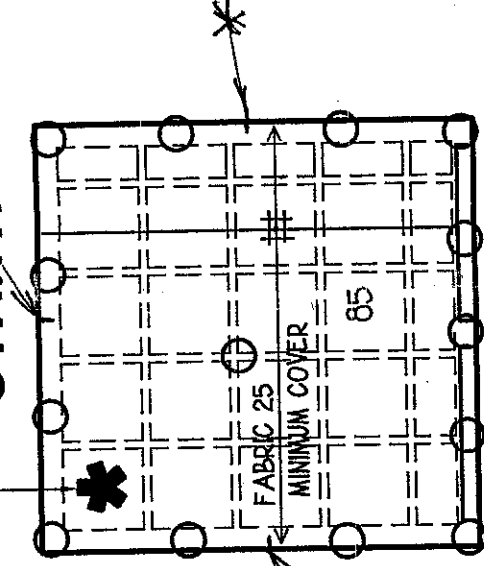


NOTE: Ground is Sperry Fuv. Expected Piers up to 500/600 DEEP NOT. THEO PIER TO UNIFORM BEA ALL AROUND. SHOULD PIER COLLAPSE THEN SPOD PIER MAY BE REED

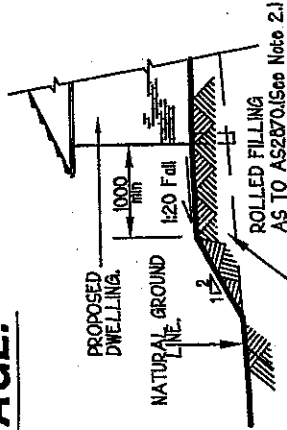
WAFFLE SLAB PLAN.

SLAB TO BE 85mm THICK REINFORCED WITH ONE LAYER FABRIC F82 AND EXTRA BARS AS SHOWN MINIMUM CLEAR COVER 20mm. CONCRETE STRENGTH 20 MPa.

START.



PROPOSED GARAGE.



600x400x350 DEEP CONC THICKENINGS (TYP)

GENERAL NOTES.

This drawing to be read in conjunction with the Architectural Drawings and Specifications. All construction to be carried out as per the relevant Australian codes. For all conditions on site during construction, "IF IN DOUBT-STOP WORK and ASK".

Strip top soil and vegetation. Bench site by cut & fill to required level. Fill to be placed as per AS2870 (6.4.2) and in layers of 150mm thick using multiple passes of excavator. Engineer to be advised should fill exceed 450mm deep before proceeding with any further works. The actual preparation of the Building Platform to this specification is not the responsibility of the Engineer.

Engineers drawings are signed & issued on the understanding that the builder maintains in force, proper and adequate contract works insurance and public liability insurance, during the full course of the construction, and/or any maintenance period. Claims of damage to any adjacent property or building is not the responsibility of the Engineer.

Provide "MESHLOCK" 30/45 chairs.

Conc. piers to be correctly located by contractor and are adopted to achieve an even bearing as required by Engineer and site conditions.

450mm dia. to clay bearing (300Kpa) at 1500mm c/c. 300mm dia. to shale/rock bearing (700Kpa) at 2000mm c/c. All concrete to be mechanically vibrated during pour. No Additional Water is to be added to Concrete on Site.

Use 0.2mm polythene vapour barrier, make waterproof at all joints and drainage pipes etc. Site to be properly drained to eliminate surface and subsoil water flow.

It is the responsibility of the Contractor to ensure Pier tops are clean & free of Foreign matter prior to the laying of the Membrane and Concrete slab. Engineer's Spot check does not release the Contractor from this responsibility.

Concrete 20 MPa at 28 days. 80mm slump.

Keep slab continually wet for 7 days minimum. plastic or wax liquid sprays may be used.

THIS DRAWING IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER.

Minimum ground bearing capacity 100 KPa.

Lap - Fabric - one square + 25mm
Trench Mesh 500mm
Bars 40 * bar dia (500 min)

Steelwork design as per "AS4100 Steel Structures Code and AS1170 Dead and Live Loads"

Brittle floor coverings to be laid on a suitable flexible type bedding system & supplied with Control joints at 4000 c/c max. Alternatively Fabric F-92 to be used.

Slab design as per "AS2870 1996 Code for Residential Slabs and Footings" and in accordance with Engineering Principles, and section 3 & 4 of AS2870:1996.

Site classification "P" See site report.

Classification by Barry T. Syme B.E.M.I.E. (AUST.)

Special Note.

Attention is drawn to Appendix "B" of AS2870 "Performance Requirements and Foundation Maint."

Site Classification : P

WIND CLASSIFICATION: W33N102

DURABILITY CLASS: M3

DESIGN: FS04

(Articulated Masonry Veneer).

FILLING SPECIFICATION DETAIL. NOT TO SCALE.

SCALE Don't

JOB No. 21606

DRG. No. REV.

E-01

SHEET 1 OF 4

PROJECT FOR: SETLEE AT: Lot Garden St WARRIEWOOD

WAFFLE SLAB PLAN

BARRY T. SYME & ASSOCIATES PTY LTD CONSULTING STRUCTURAL ENGINEERS PH. 726 7666

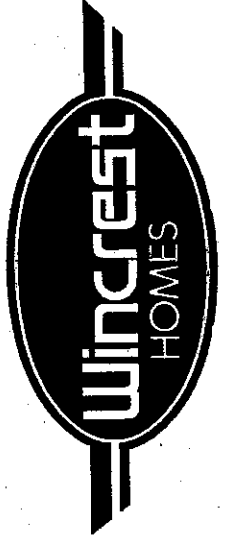
ACSEA

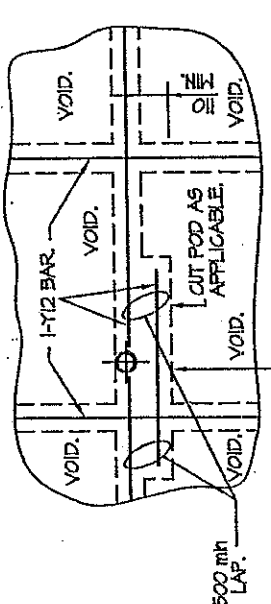
INSTITUTION OF ENGINEERS AUSTRALIA

39-41 HARRIS ST, FAIRFIELD 2165 A.B.N.66 010 374 866

DX 25080 FAIRFIELD

B.T. SYME B.E.M.I.E. (AUST)





PIPE THRU RIB DETAIL

AS APPLICABLE

NOTES: THE MINIMUM STEM WIDTH SHALL BE 100 mm AND ADDITIONAL REINFORCEMENT FOR EXTERNAL RIBS WHERE STEM WIDTH EXCEEDS 150 mm SHALL BE PROVIDED AS FOLLOWS:

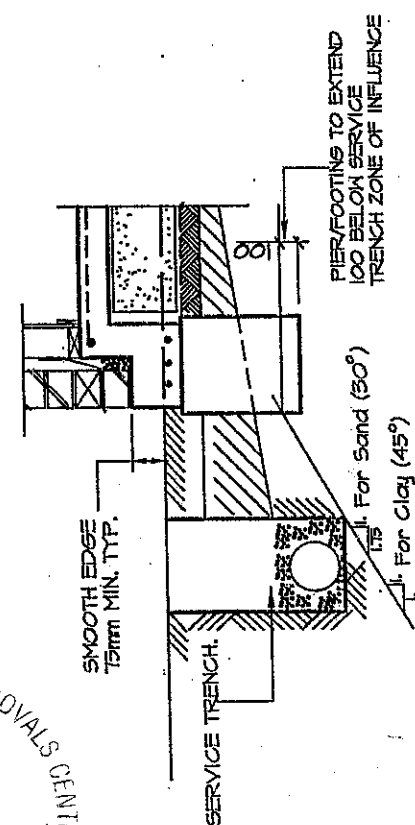
STEM WIDTH, mm	EXTRA TOP STEEL	EXTRA BOTM STEEL
151 TO 220	1Y12	2Y12
221 TO 330	2Y12	3Y12
331 TO 440	3Y12	4Y12

A MORE EXTENSIVE DISCUSSION OF THIS MATERIAL IS CONTAINED IN THE CARO PAPER, 10-11, GUIDE TO HAVE CHAIRS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE AND ITS RECOMMENDATIONS SHOULD BE FOLLOWED

THE SITE SHALL BE GRAVED OR DRAINED SO THAT WATER CANNOT POOL AGAINST OR NEAR THE HOUSE. THE GROUND IMMEDIATELY ADJACENT TO THE HOUSE SHALL BE GRADED TO A UNIFORM FALL OF 80mm MINIMUM AWAY FROM THE HOUSE OVER THE FIRST METER.

PLANTING OF TREES SHOULD BE AVOIDED NEAR THE FOUNDATION OF A HOUSE OR NEIGHBOURING HOUSES ON REACTIVE SITES AS THEY CAN CAUSE DAMAGE DUE TO DRYING OF THE CLAY AT SUBSTANTIAL DISTANCES.

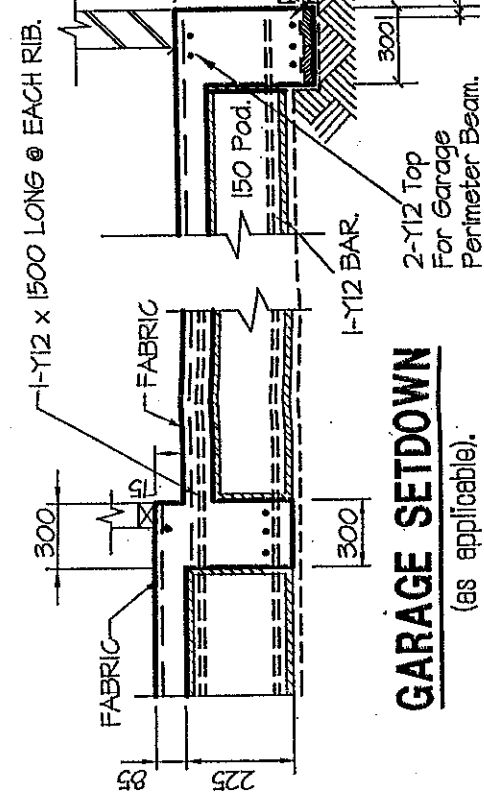
RECOMMENDED SITE PREPARATION



SITE CLASSIFICATION "P"

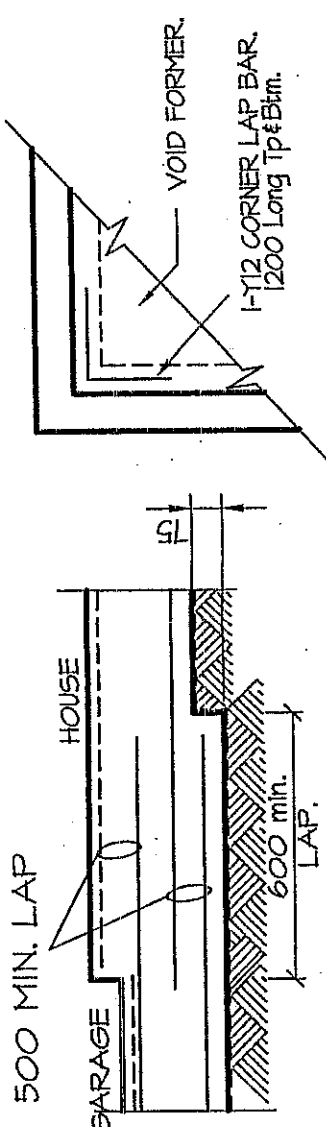
(BUILDER TO ENSURE DETAIL COMPLIANCE)

DESIGN CODE: AS2870.1996

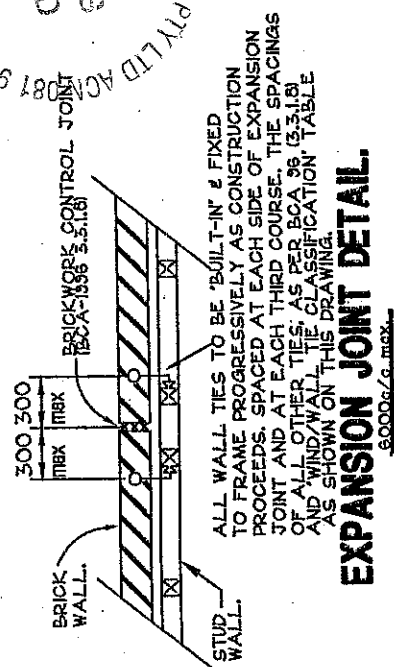


GARAGE SETDOWN

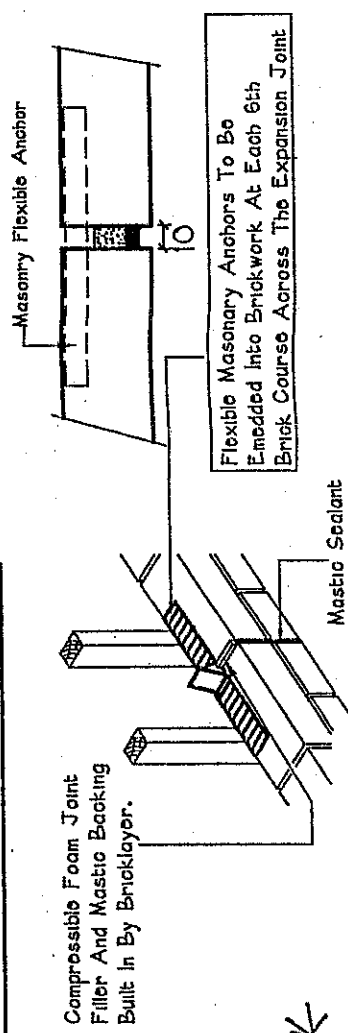
(as applicable).



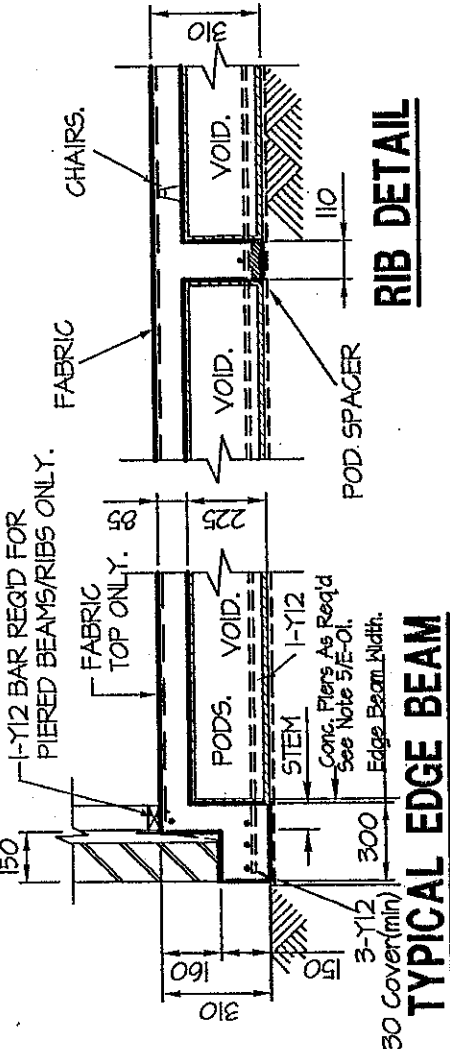
CORNER DETAIL



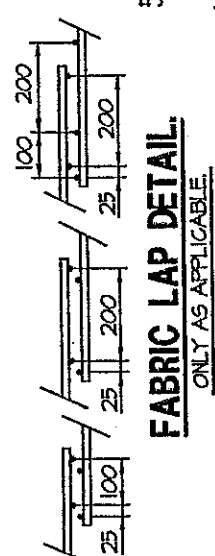
EXPANSION JOINT DETAIL



GARAGE DOOR REBATE DETAIL

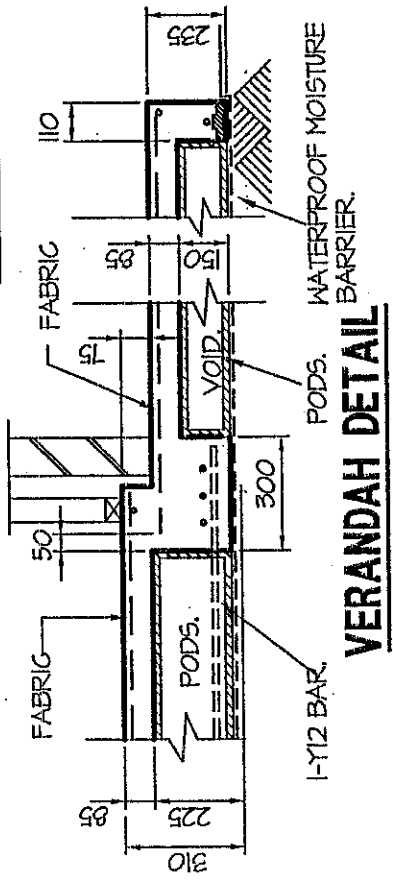


TYPICAL EDGE BEAM DETAIL

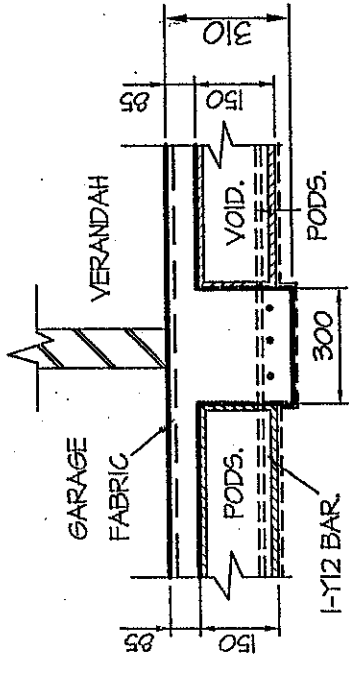


FABRIC LAP DETAIL

ONLY AS APPLICABLE



VERANDAH DETAIL



GARAGE/VERANDAH DETAIL

DURABILITY CLASSIFICATION			
CATEGORY (durability)	WALL TIES AS 3700	GRADE OF BRICKS MORTAR AS/NZS 4456.10	STRUCTURAL STEEL (Surface finish)
severe marine (R4)	R4 (Stainless or Polymer)	M4 (1:4)	GALVANISED (AZLP) (600g per square metre)
marine (R3)	R3	M3 (1:5)	AS/ANZ 2312/1934.
exterior (R2)	R2	M2 (1:2.8)	AS/ANZ 2312/1934.

WIND/WALL TIE CLASSIFICATION			
WIND Class	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
N1	W20N1	600	600
N2	W25N2	600	600
N3	W41N3	600	450 (5 COURSES)

WALL TIE SPACINGS AROUND OPENINGS 300c/c EACH WAY.

POLYMER WALL TIES RATED "LIGHT DUTY ONLY" (W20N1)

(Vp = PERMISSIBLE STRESS METHOD)

BARRY T. SYME & ASSOCIATES PTY LTD
CONSULTING STRUCTURAL ENGINEERS
PH. 726 7666

Wincrest HOMES

39-41 HARRIS ST. DX 25080 FAIRFIELD
FAIRFIELD 2165 A.B.N.66 010 374 885

PROJECT FOR: SETTEE
AT: LOT 101 GARDENS
TITLE: WARRIWOOD

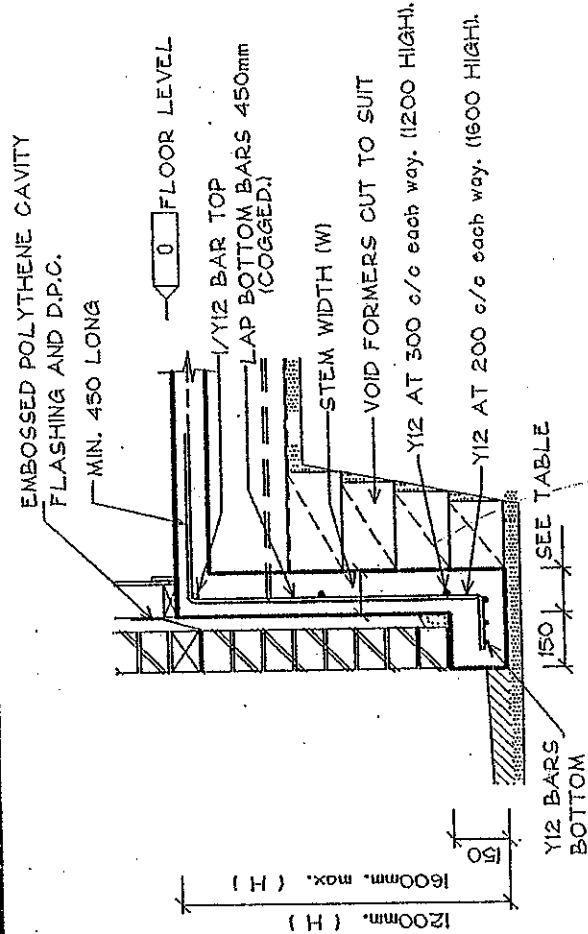
DRAWN: Sharief
CHKD: B.S.
DATE: 28/10/2009
APPROVED: [Signature]

B.T.SYME BE.MIE(AUST)

SCALE: Don't
JOB NO.: 21606
DRG. No.: REV.
E-02
SHEET 2 OF 4

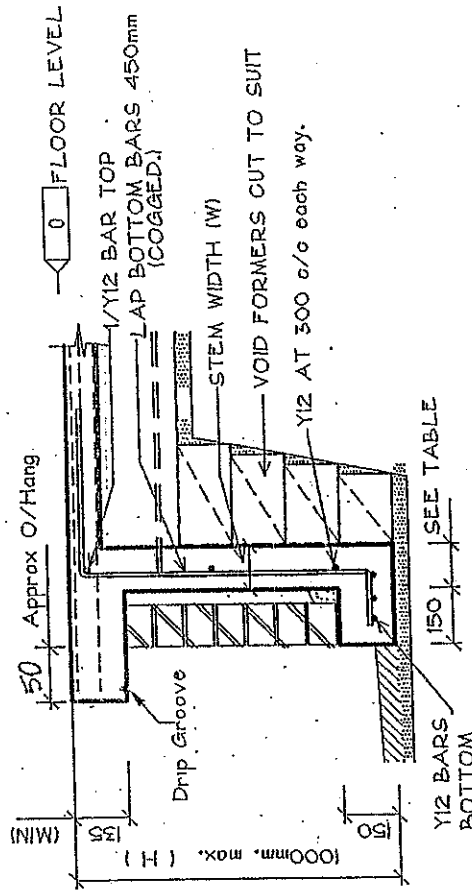
RIBBED RAFT SLAB DETAILS

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING



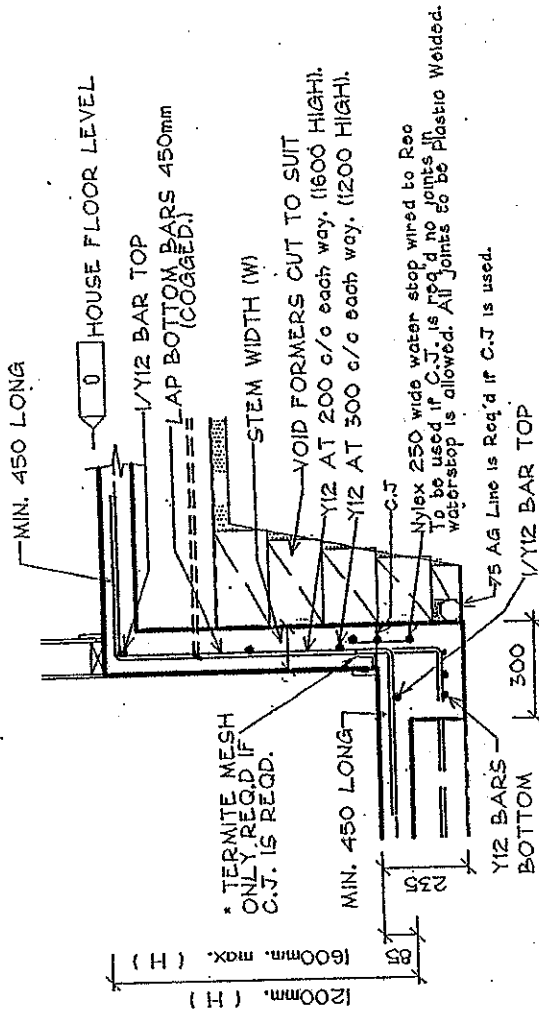
MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150
1600	200

DROP EDGE BEAM
(TYPICAL)



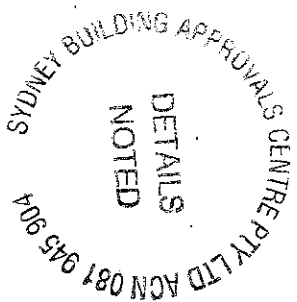
MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150

VERANDAH DROP EDGE BEAM
(TYPICAL)



MAX. HEIGHT (H)	STEM WIDTH (W)
1000	150
1600	200

HOUSE TO GARAGE DROP BEAM
(TYPICAL)



RAFT/STEEL REINFORCED SLAB - CONCRETE SECTIONS.



BARRY T. SYME & ASSOCIATES PTY LTD
CONSULTING STRUCTURAL ENGINEERS
PH. 726 7666

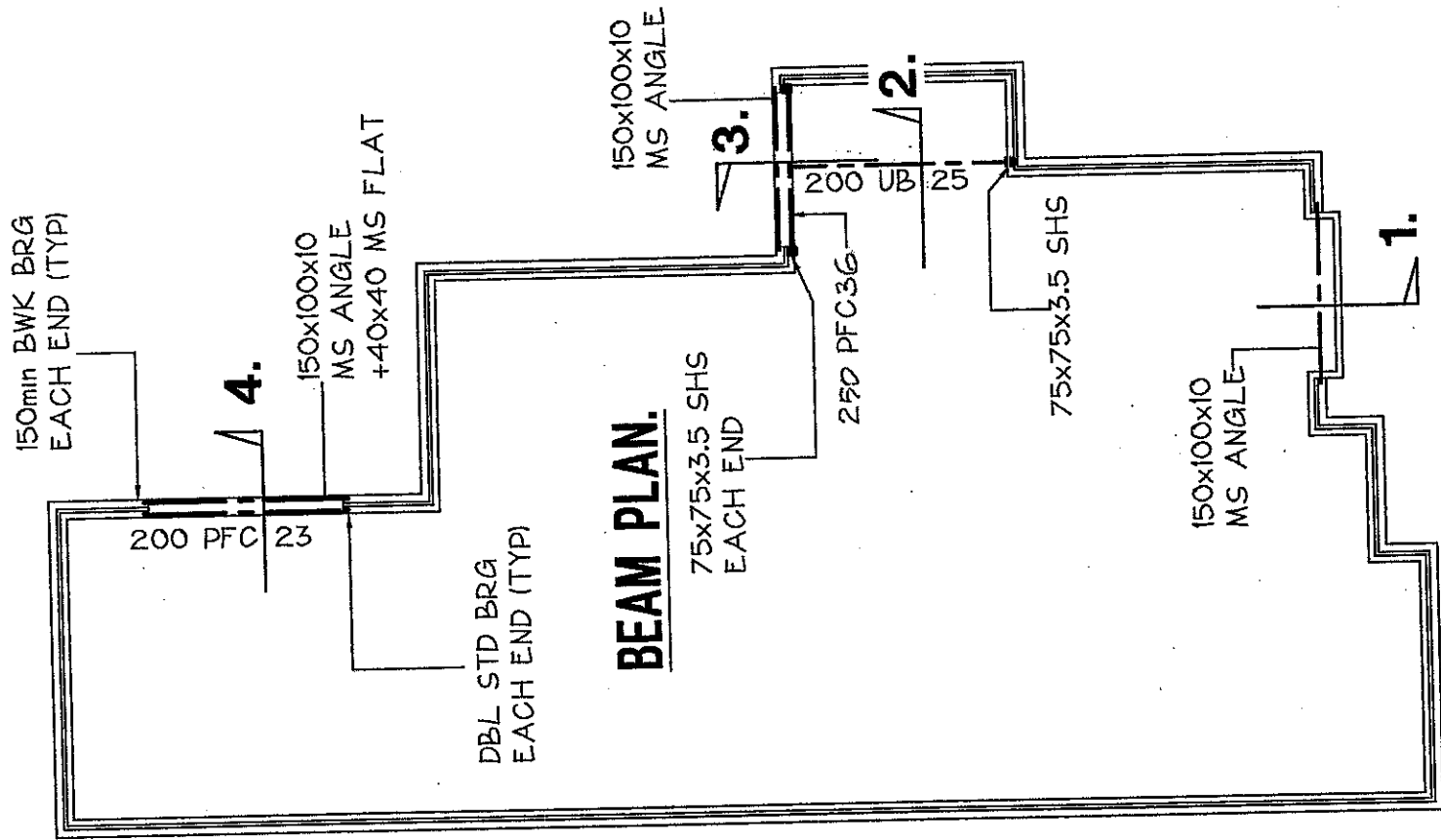


39-41 HARRIS ST, DX 25080 FAIRFIELD
FAIRFIELD 2165 A.B.N. 66 010 374 865

PROJECT FOR:	sharif	DRAWN	CHKD	DATE	APPROVED
SETTEE	B.S.			24/10/03	
AT: LOT 101 GARREDA ST.					
LOARREDA					

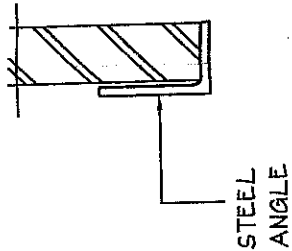
TITLE
WAFFLE RAFT DETAILS

SCALE	Don't
JOB No.	21606
REV.	
E-03	
SHEET 3 OF 4	



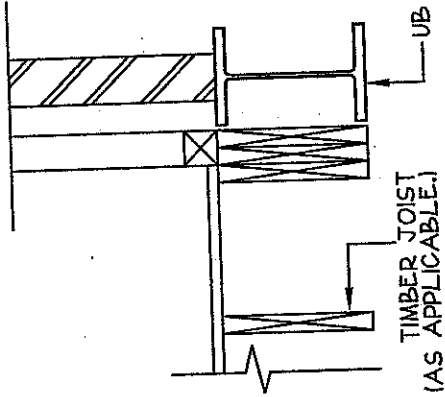
BEAM PLAN.

SECTION 1.



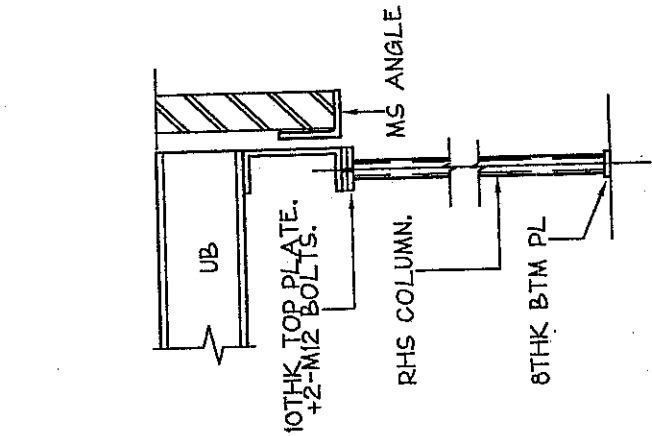
STEEL ANGLE

SECTION 2.



TIMBER JOIST
(AS APPLICABLE.)

SECTION 3.

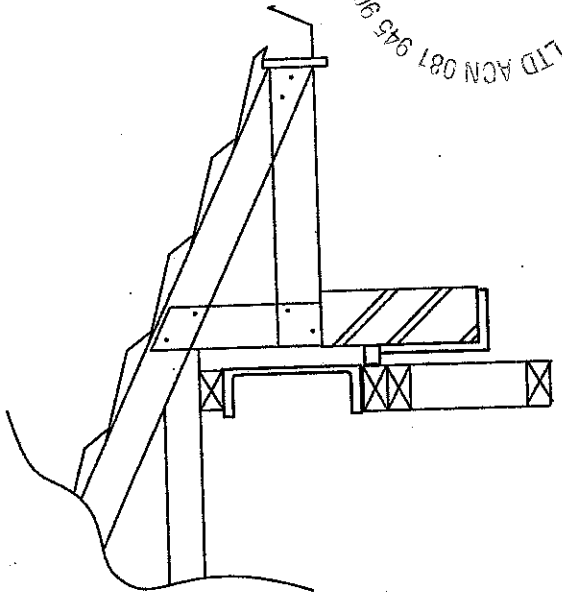


10THK TOP PLATE.
+2-M12 BOLTS.

RHS COLUMN.

8THK BTM PL

SECTION 4.



NOTE: STEELWORK DESIGNED IN ACCORDANCE WITH AS4100 "STEEL STRUCTURES CODE" AND AS1170.1/AS1170.2 "DEAD AND LIVE LOADS AND WIND LOADS." STRUCTURAL STEEL TO BE GRADE (BHP 300 PLUS) U.N.O. SURFACE PREPARATION & FINISH TO COMPLY WITH AS/NZS 2312 - 1994.

NOTE: ALL BOLTED JOINTS TO BE SPANNER TIGHTENED.

SYDNEY BUILDING APPROVALS CENTRE PTY LTD ACN 081 945 904
DETAILS NOTED

DURABILITY CLASSIFICATION.	
CATEGORY (durability.)	STRUCTURAL STEEL (Surface finish)
severe marine	GALVANISED (AZLP) 1600g per square metre
marine	AS/NZS 2312/1994.
exterior	AS/NZS 2312/1994.

Design: FS04

BARRY T. SYME & ASSOCIATES PTY LTD
CONSULTING STRUCTURAL ENGINEERS
PH. 726 7666

ACEA
AUSTRALIAN ENGINEERING ASSOCIATION

ACEA
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ACEA
AUSTRALIAN ENGINEERING ASSOCIATION

39-41 HARRIS ST, DX 25080 FAIRFIELD
FAIRFIELD 2165 A.B.N.66 010 374 865

SCALE	Don't
JOB No. 21606	REV.
DRG. No.	E-04
TITLE	BEAM DETAILS.
DATE	28/12/03
APPROVED	B.T. SYME B.E.M.E. (AUST)
DRAWN	A.Z.
CHKD	B.S.
PROJECT	FOR: SETLEE AT: Lot 101 Garden St WARRIEWOOD
SHEET 4 OF 4	



DIMENSIONS SHALL NOT BE OBTAINED BY SCALING.