

DEVELOPMENT APPLICATION | REVISION A

201 Headland Road, North Curl Curl NSW 2099

LOCATION (NTS)



BASIX SPECIFICATION

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1818339

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 22 October 2025
Address: 39 Gurner Street Paddington NSW 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Headland
Street address	201 HEADLAND Road NORTH CURL CURL 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP12515
Lot number	6
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Modify Homes Pty Ltd	
ABN (if applicable): 29149534449	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: solar (electric/boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements	✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil	N/A	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A	
floor above existing dwelling or building.	nil	N/A	
external wall: framed (weatherboard, fibro, metal clag).	R1.30 (or R1.70 including construction)		
external wall: concrete block/ plasterboard	R1.18 (or R1.70 including construction)		
external wall: other/undecided	R1.70 (including construction)		
flat ceiling: pitched roof	ceiling: R1.20 (up), roof: foil backed blanket (55 mm)	light (solar absorbance < 0.475)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or proprietary low-e glass, or external gaspore glazing, or terrestrial gaspore glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

ABREVIATIONS

BALC - BALCONY
BL - BLOCKWORK
BW - BRICKWORK
CPT - CARPET
CR - CEMENT RENDER

CT - CERAMIC TILE
DEM - DEMOLISHED
DP - DOWN PIPE
EO - ELETRICITY LINE OVERHEAD
EX - EXISTING STRUCTURE

FFL - FINISHED FLOOR LEVEL
G - GLASS
GM - GAS METER
MR - METAL ROOF
OF - OVER FLOW

PAV - PAVING
PF - PAINT FINISH
PP - POWER POLE
RF - ROOF
RL - RELATIVE LEVEL

RR - ROOF RIDGE
RT - ROOF TILE
SD - STEEL DOOR
SK - SKYLIGHT
SP - STEEL PLATE

SST - SAND STONE
STR - STAIR
TC - TIMBER CLADDING
TD - TREAD
TG - TOP OF GUTTER

TPIT - TELSTRA PIT
TSF - TIMBER STRIP FLOORING
T - TIMBER
TW - TOP OF WALL
WM - WATER METER

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation. This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
----	DEMOLISH STRUCTURE
----	BOUNDARY
----	EXTENT OF APPROVED DA
----	EXISTING SECTION
----	EXISTING PLAN
----	MASONRY SECTION
----	TIMBER SECTION
----	GLASS SECTION
----	CONCRETE SECTION
----	STEEL/METAL SECTION

DRAWING TITLE
COVER PAGE

DATE
Monday, 3 November 2025

DRAWN BY:
HR

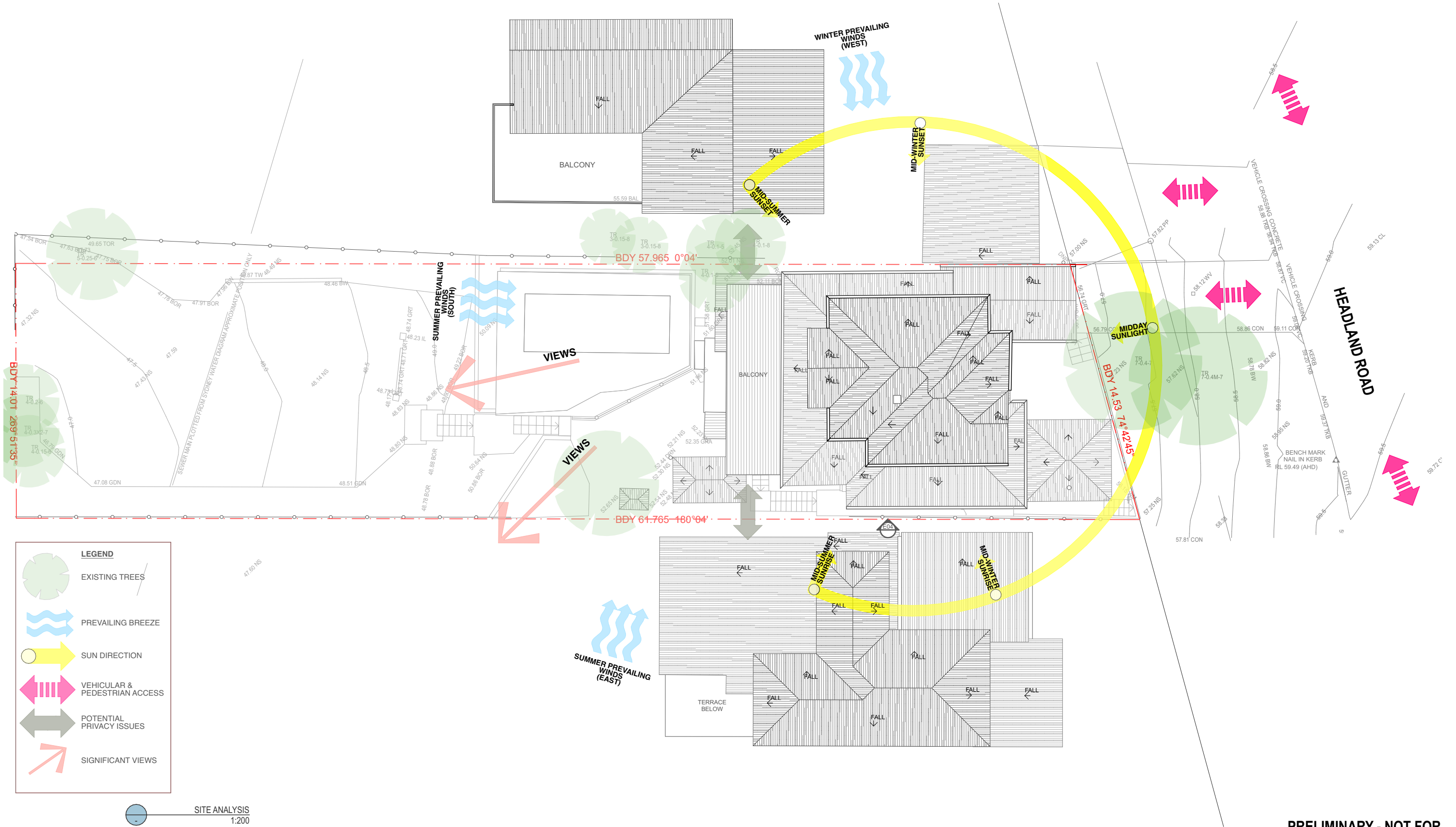
SCALE:
@A3

CHECKED BY:
JU

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 00



LEGEND

- EXISTING TREES
- PREVAILING BREEZE
- SUN DIRECTION
- VEHICULAR & PEDESTRIAN ACCESS
- POTENTIAL PRIVACY ISSUES
- SIGNIFICANT VIEWS

SITE ANALYSIS
1:200

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey. This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation. This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND

- DEMOLISH STRUCTURE
- BOUNDARY
- EXTENT OF APPROVED DA
- EXISTING SECTION
- EXISTING PLAN
- MASONRY SECTION
- TIMBER SECTION
- GLASS SECTION
- CONCRETE SECTION
- STEEL/METAL SECTION

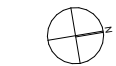
DRAWING TITLE
SITE ANALYSIS

DATE
Monday, 3 November 2025

DRAWN BY:
HR

SCALE:
1:200@A3

CHECKED BY:
JU

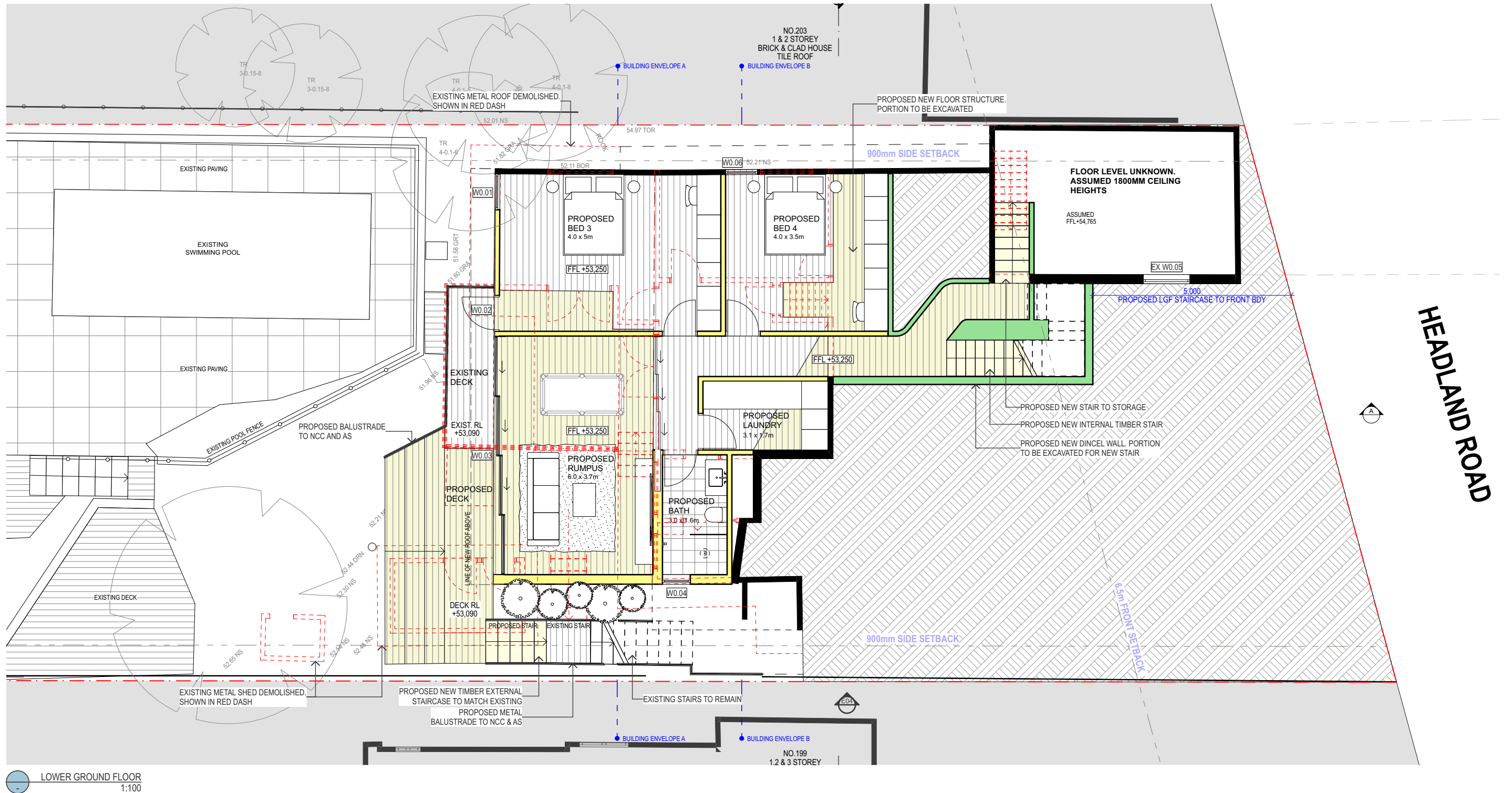


PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 01



PRELIMINARY - NOT FOR
CONSTRUCTION

ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au



GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey
This drawing is to be read in conjunction with all relevant schedules, specifications and
consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written
consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
---	DEMOLISH STRUCTURE
---	BOUNDARY
---	EXTENT OF APPROVED DA
---	EXISTING SECTION
---	EXISTING PLAN
---	MASONRY SECTION
---	TIMBER SECTION
---	GLASS SECTION
---	CONCRETE SECTION
---	STEEL/METAL SECTION

DRAWING TITLE
LOWER GROUND FLOOR PLAN

DATE
Monday, 3 November 2025

DRAWN BY:
HR

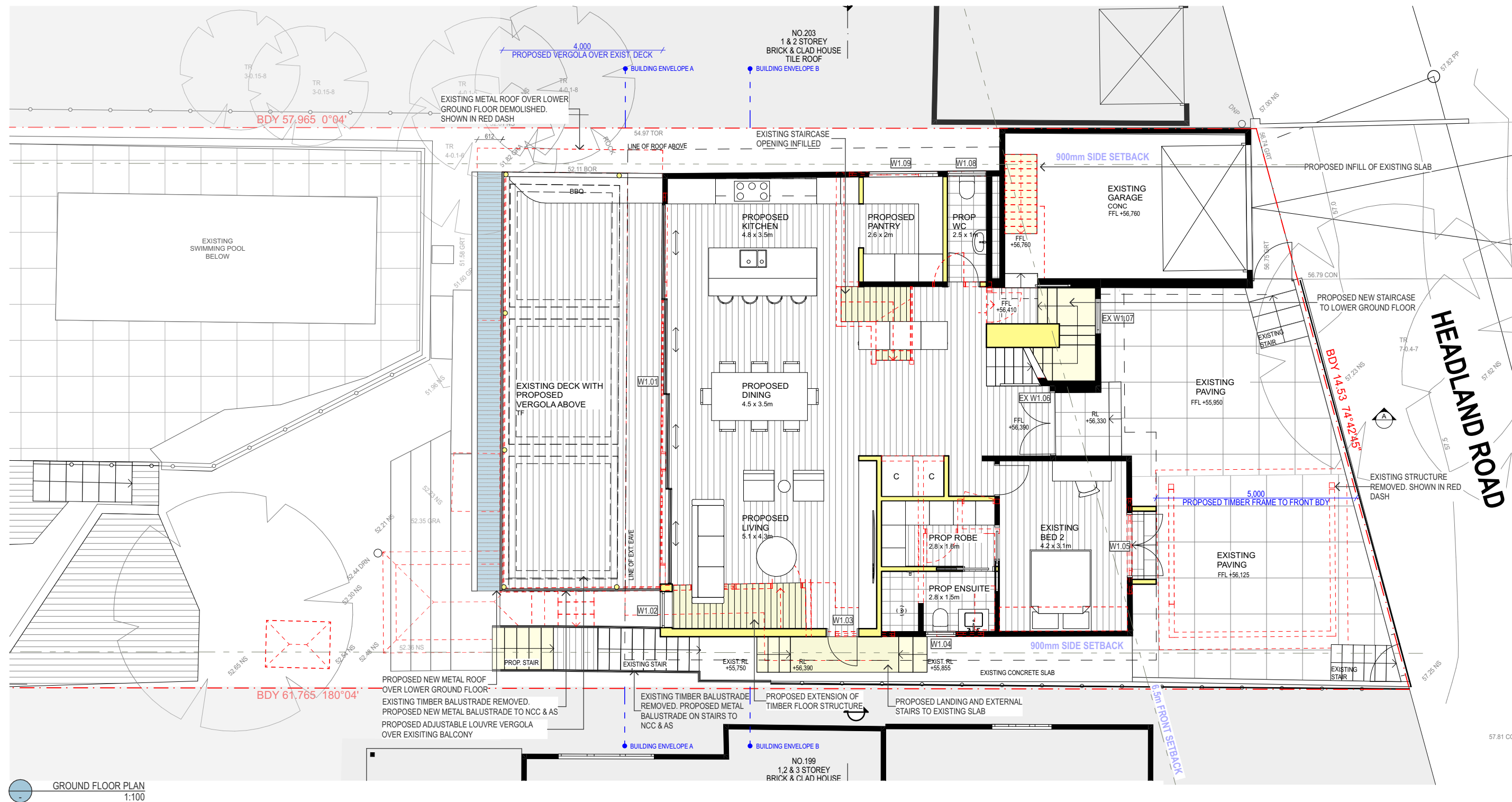
CHECKED BY:
JU

SCALE:
1:100@A3



PROJECT NO.
M180

DRAWING NO.
DA 10



PRELIMINARY - NOT FOR
CONSTRUCTION

ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au



GENERAL NOTES
The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey.
This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025
REVISION
A
REASON FOR ISSUE
FOR DA SUBMISSION

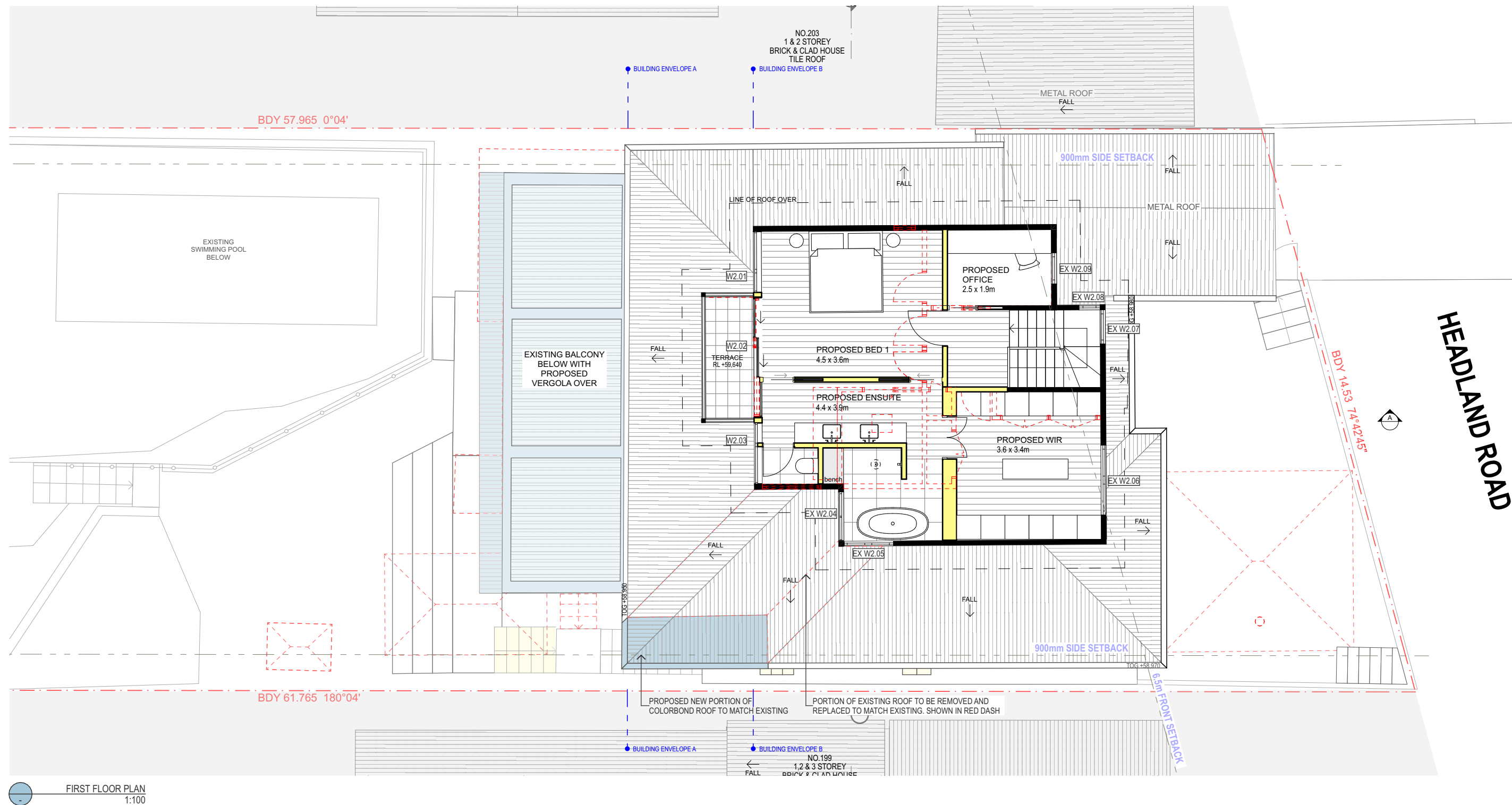
LEGEND
--- DEMOLISH STRUCTURE
--- BOUNDARY
--- EXTENT OF APPROVED DA
--- EXISTING SECTION
--- EXISTING PLAN
--- MASONRY SECTION
--- TIMBER SECTION
--- GLASS SECTION
--- CONCRETE SECTION
--- STEEL/METAL SECTION

DRAWING TITLE
GROUND FLOOR PLAN

DATE
Monday, 3 November 2025

DRAWN BY:
HR
CHECKED BY:
JU
SCALE:
1:100@A3

PROJECT NO.
M180
REV
A
DRAWING NO.
DA 11



FIRST FLOOR PLAN
1:100

PRELIMINARY - NOT FOR
CONSTRUCTION

ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au



GENERAL NOTES

The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey.
This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
--- DEMOLISH STRUCTURE	MASONRY SECTION
--- BOUNDARY	TIMBER SECTION
--- EXTENT OF APPROVED DA	GLASS SECTION
--- EXISTING SECTION	CONCRETE SECTION
--- EXISTING PLAN	STEEL/METAL SECTION

DRAWING TITLE
FIRST FLOOR PLAN

DATE
Monday, 3 November 2025

DRAWN BY:
HR

CHECKED BY:
JU

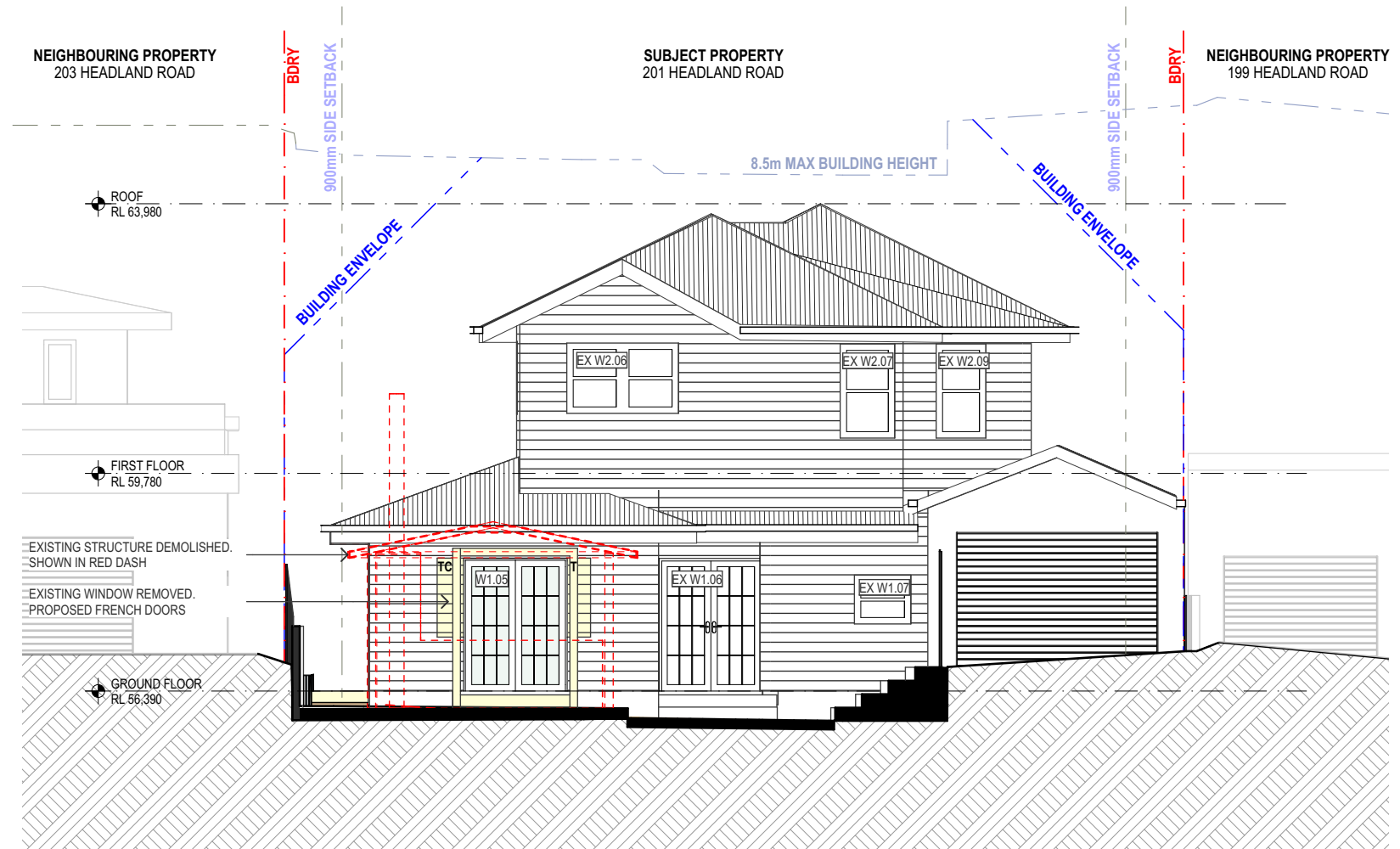
SCALE:
1:100@A3



PROJECT NO.
M180

REV
A

DRAWING NO.
DA 12



NORTH ELEVATION
1:100



ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey.
This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
---	DEMOLISH STRUCTURE
- - -	BOUNDARY
- - -	EXTENT OF APPROVED DA
- - -	EXISTING SECTION
- - -	EXISTING PLAN
- - -	MASONRY SECTION
- - -	TIMBER SECTION
- - -	GLASS SECTION
- - -	CONCRETE SECTION
- - -	STEEL/METAL SECTION

DRAWING TITLE
NORTH ELEVATION

DATE
Monday, 3 November 2025

DRAWN BY:
HR

CHECKED BY:
JU

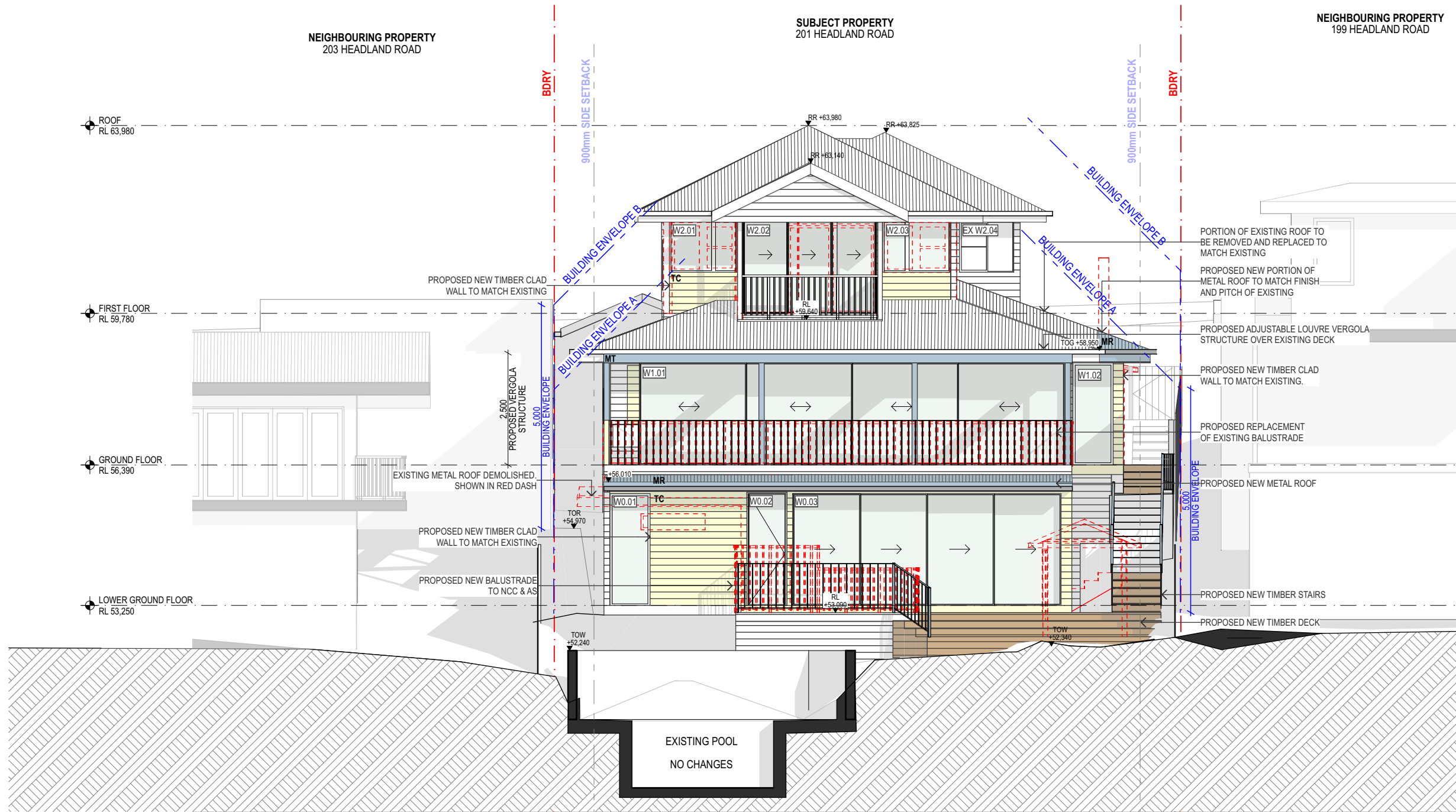
SCALE:
1:100@A3

PRELIMINARY - NOT FOR
CONSTRUCTION

PROJECT NO.
M180

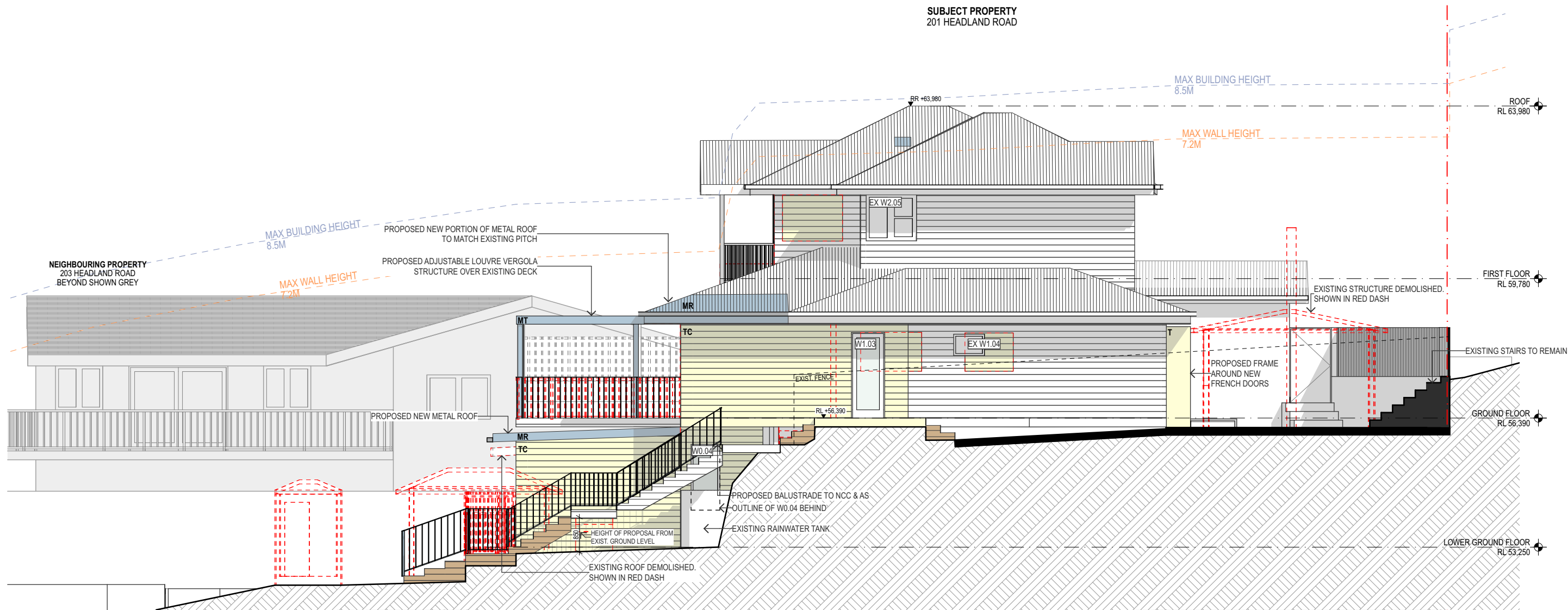
REV
A

DRAWING NO.
DA 20



SOUTH ELEVATION
1:100

PRELIMINARY - NOT FOR
CONSTRUCTION



EAST ELEVATION
1:100



ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey. This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation. This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND

--- DEMOLISH STRUCTURE
--- BOUNDARY
--- EXTENT OF APPROVED DA
--- EXISTING SECTION
--- EXISTING PLAN

MASONRY SECTION
TIMBER SECTION
GLASS SECTION
CONCRETE SECTION
STEEL/METAL SECTION

DRAWING TITLE
EAST ELEVATION

DATE
Monday, 3 November 2025

DRAWN BY:
HR

CHECKED BY:
JU

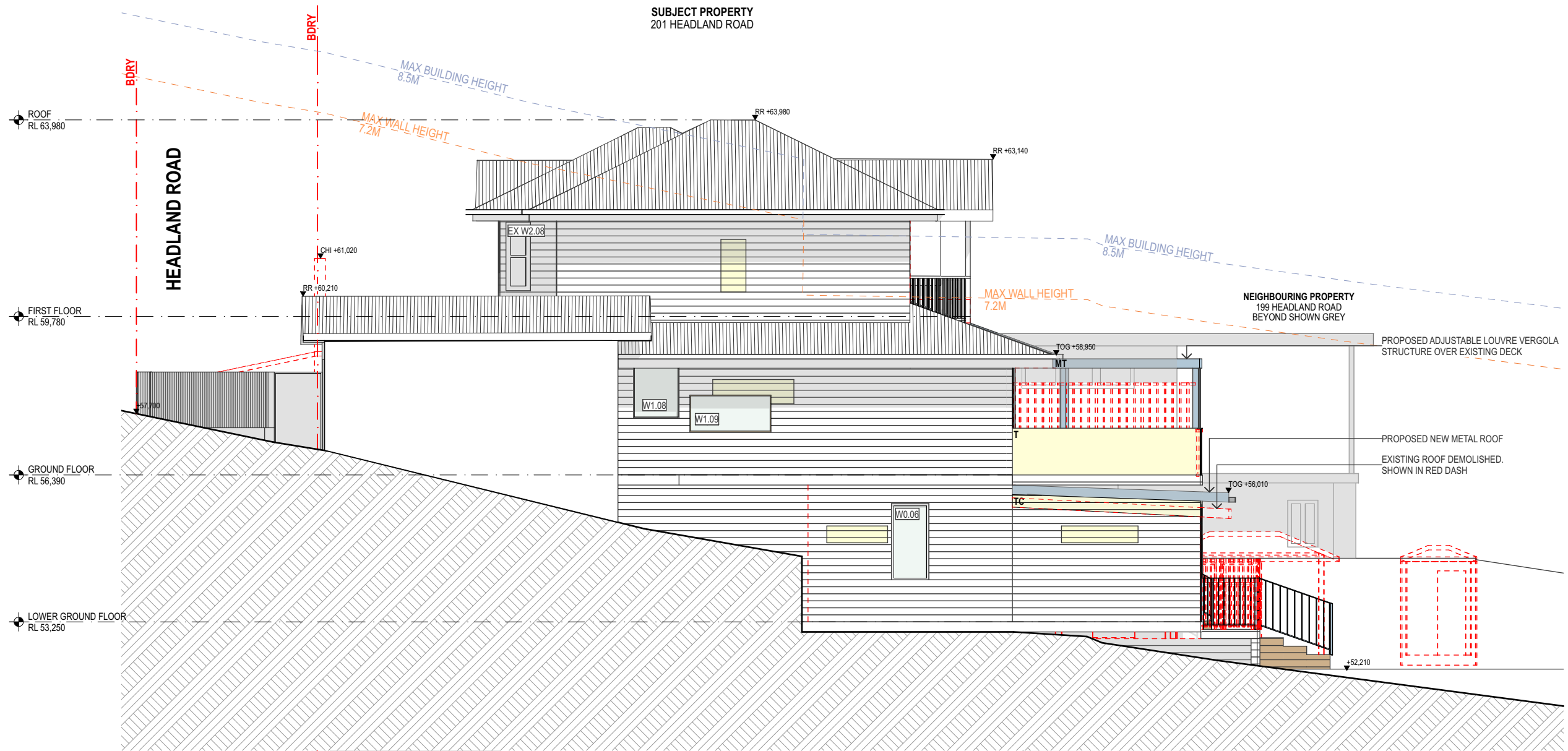
SCALE:
1:100@A3

PRELIMINARY - NOT FOR
CONSTRUCTION

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 22



WEST ELEVATION
1:100



ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey
This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
--- DEMOLISH STRUCTURE	MASONRY SECTION
--- BOUNDARY	TIMBER SECTION
--- EXTENT OF APPROVED DA	GLASS SECTION
--- EXISTING SECTION	CONCRETE SECTION
--- EXISTING PLAN	STEEL/METAL SECTION

DRAWING TITLE
WEST ELEVATION

DATE
Monday, 3 November 2025

DRAWN BY:
HR

SCALE:
1:100@A3

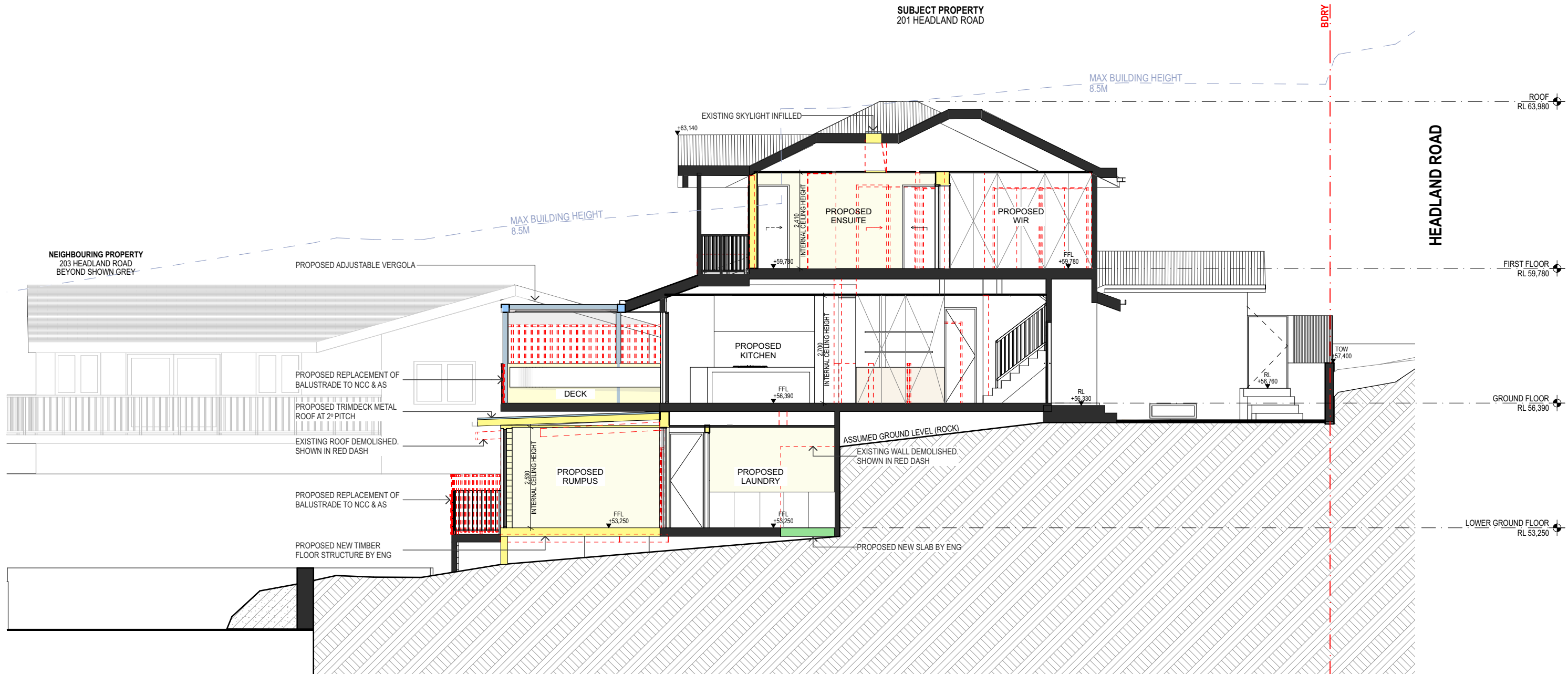
CHECKED BY:
JU

PRELIMINARY - NOT FOR
CONSTRUCTION

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 23



ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey
This drawing is to be read in conjunction with all relevant schedules, specifications and consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
---	DEMOLISH STRUCTURE
---	BOUNDARY
---	EXTENT OF APPROVED DA
---	EXISTING SECTION
---	EXISTING PLAN
---	MASONRY SECTION
---	TIMBER SECTION
---	GLASS SECTION
---	CONCRETE SECTION
---	STEEL/METAL SECTION

DRAWING TITLE
SECTION AA

DATE
Monday, 3 November 2025

DRAWN BY:
HR

SCALE:
1:100@A3

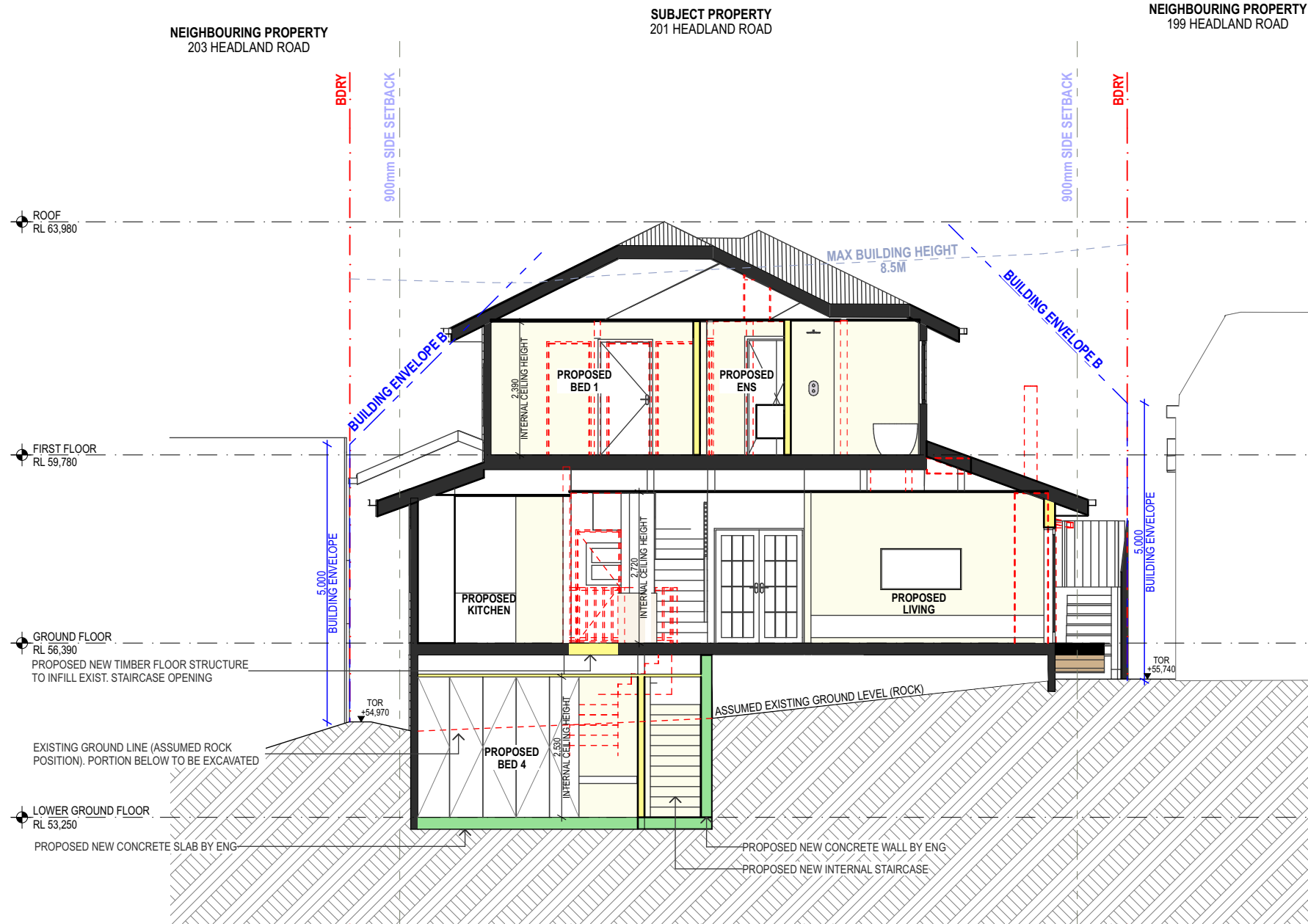
CHECKED BY:
JU

**PRELIMINARY - NOT FOR
CONSTRUCTION**

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 30



SECTION B
1:100



ABN 29 149 534 449
Address: 39 Gurner Street Paddington NSW 2021
info@modify.com.au | www.modify.com.au

GENERAL NOTES

The Builder shall check all dimensions and levels on site prior too construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings. All boundaries and contours subject to survey
This drawing is to be read in conjunction with all relevant schedules, specifications and
consultant documentation.
This drawing is copyright and is not to be replaced or used for any purpose without written
consent of Modify Pty. Ltd. NOM Architect Jeremy Unger #10738

PROJECT
201 Headland Road, North Curl Curl NSW 2099

CLIENT
Ryan & Natalie Dinsdale

DATE
03.11.2025

REVISION
A

REASON FOR ISSUE
FOR DA SUBMISSION

LEGEND	
--- DEMOLISH STRUCTURE	MASONRY SECTION
--- BOUNDARY	TIMBER SECTION
--- EXTENT OF APPROVED DA	GLASS SECTION
--- EXISTING SECTION	CONCRETE SECTION
--- EXISTING PLAN	STEEL/METAL SECTION

DRAWING TITLE
SECTION BB

DATE
Monday, 3 November 2025

DRAWN BY:
HR

CHECKED BY:
JU

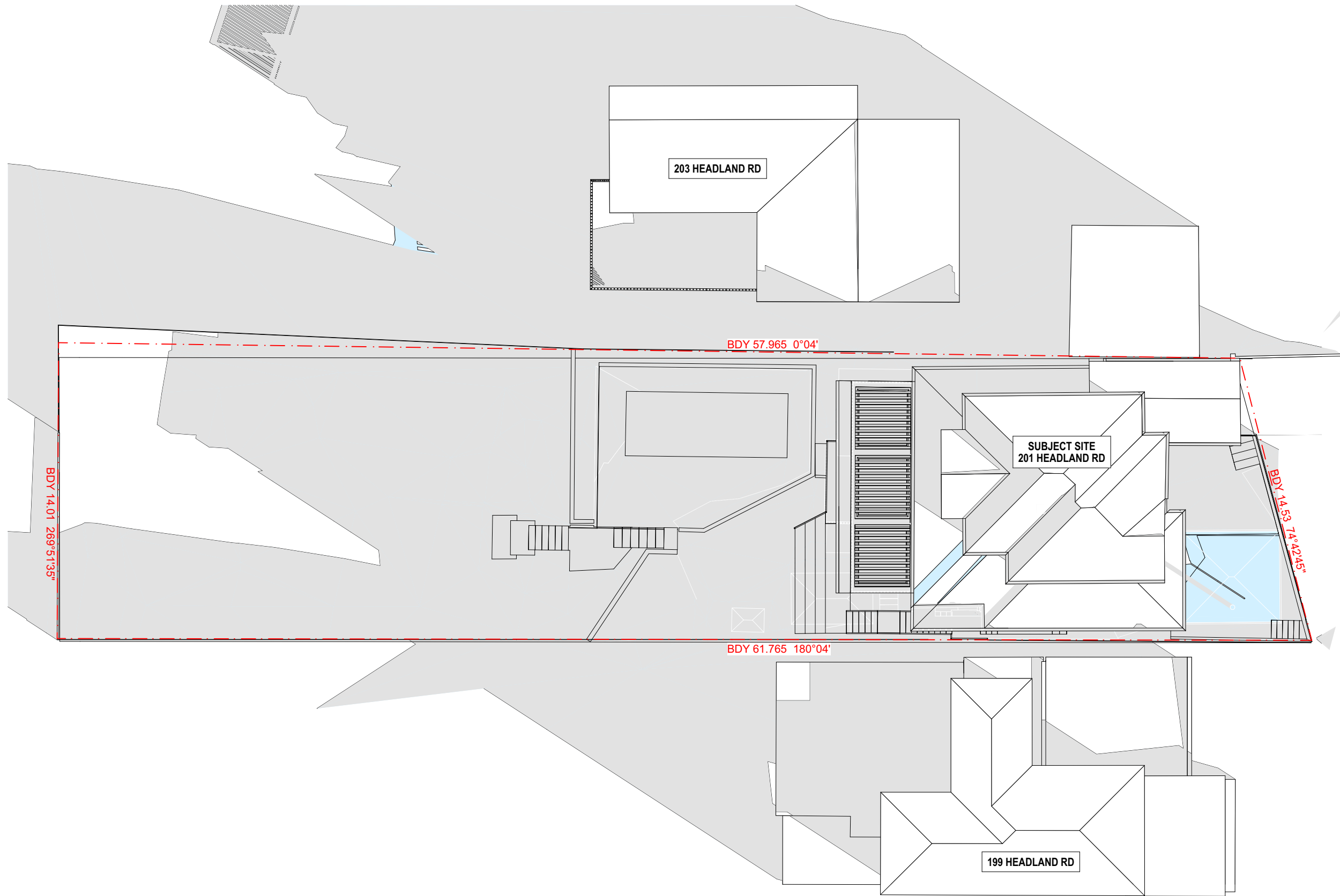
SCALE:
1:100@A3

PRELIMINARY - NOT FOR
CONSTRUCTION

PROJECT NO.
M180

REV
A

DRAWING NO.
DA 31



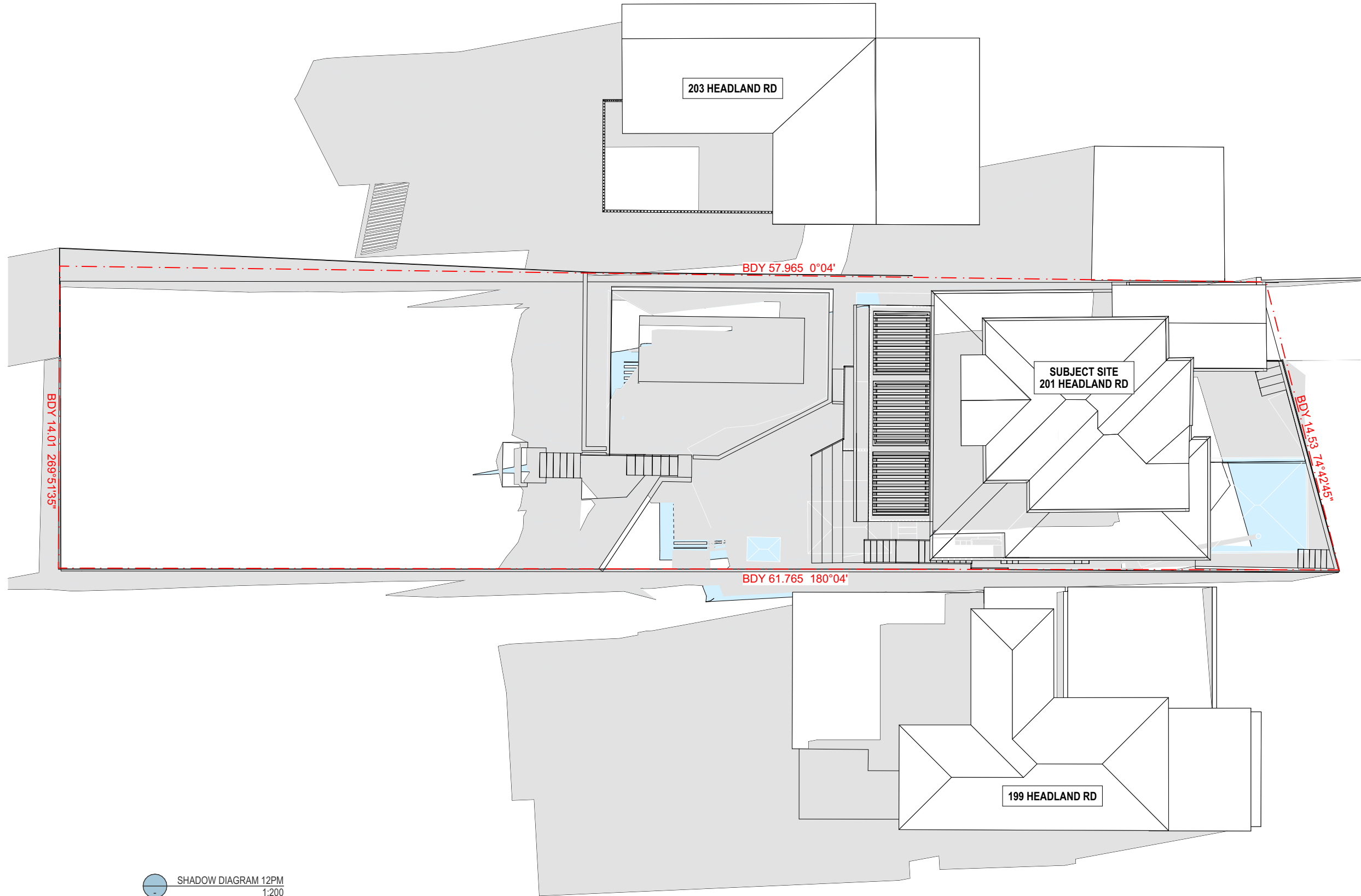
SHADOW DIAGRAM 9AM
1:200

SHADOW DIAGRAM LEGEND

	EXISTING SHADOWS
	PROPOSED ADDITIONAL SHADOWS

PRELIMINARY - NOT FOR CONSTRUCTION



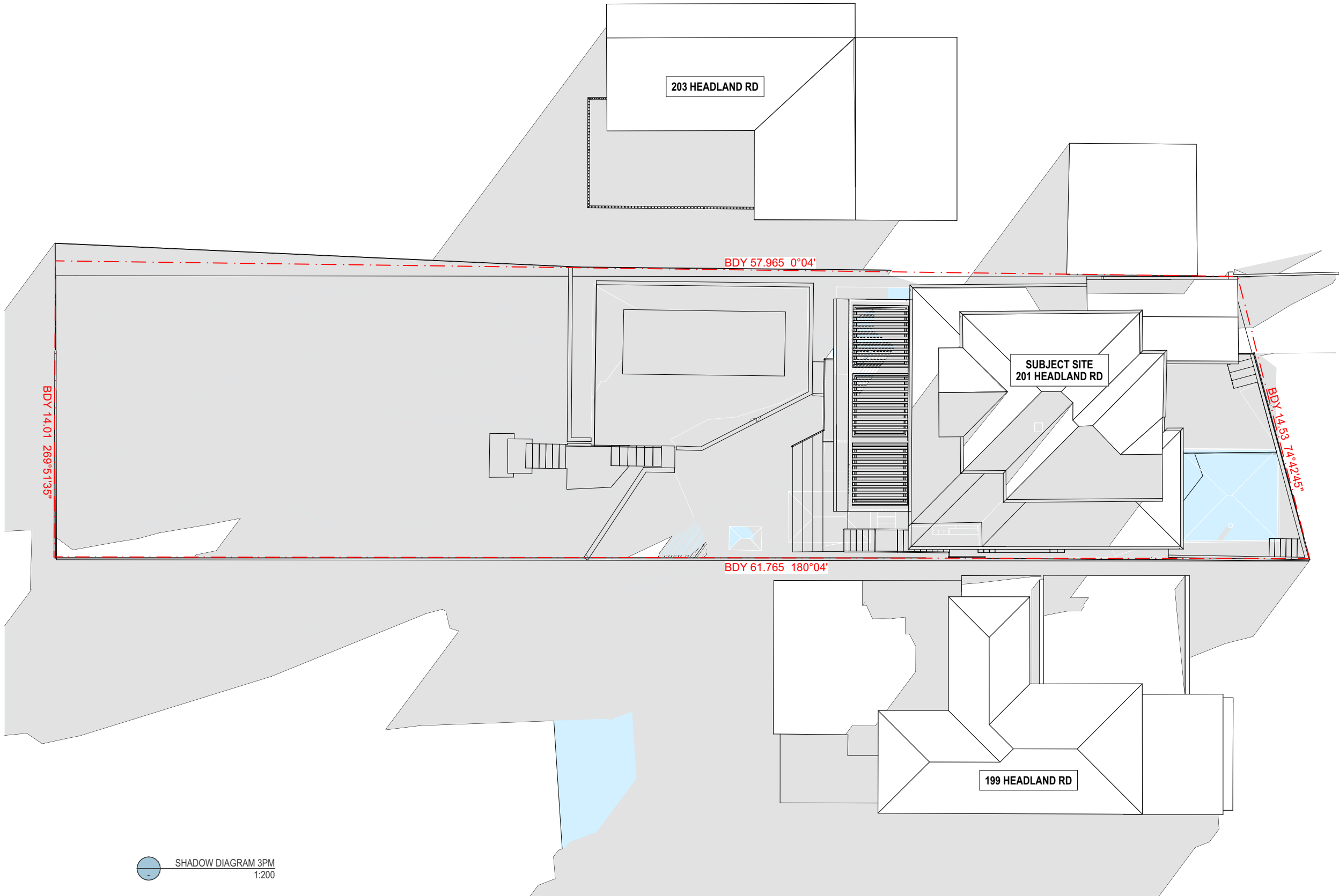


SHADOW DIAGRAM 12PM
1:200

SHADOW DIAGRAM LEGEND

	EXISTING SHADOWS
	PROPOSED ADDITIONAL SHADOWS

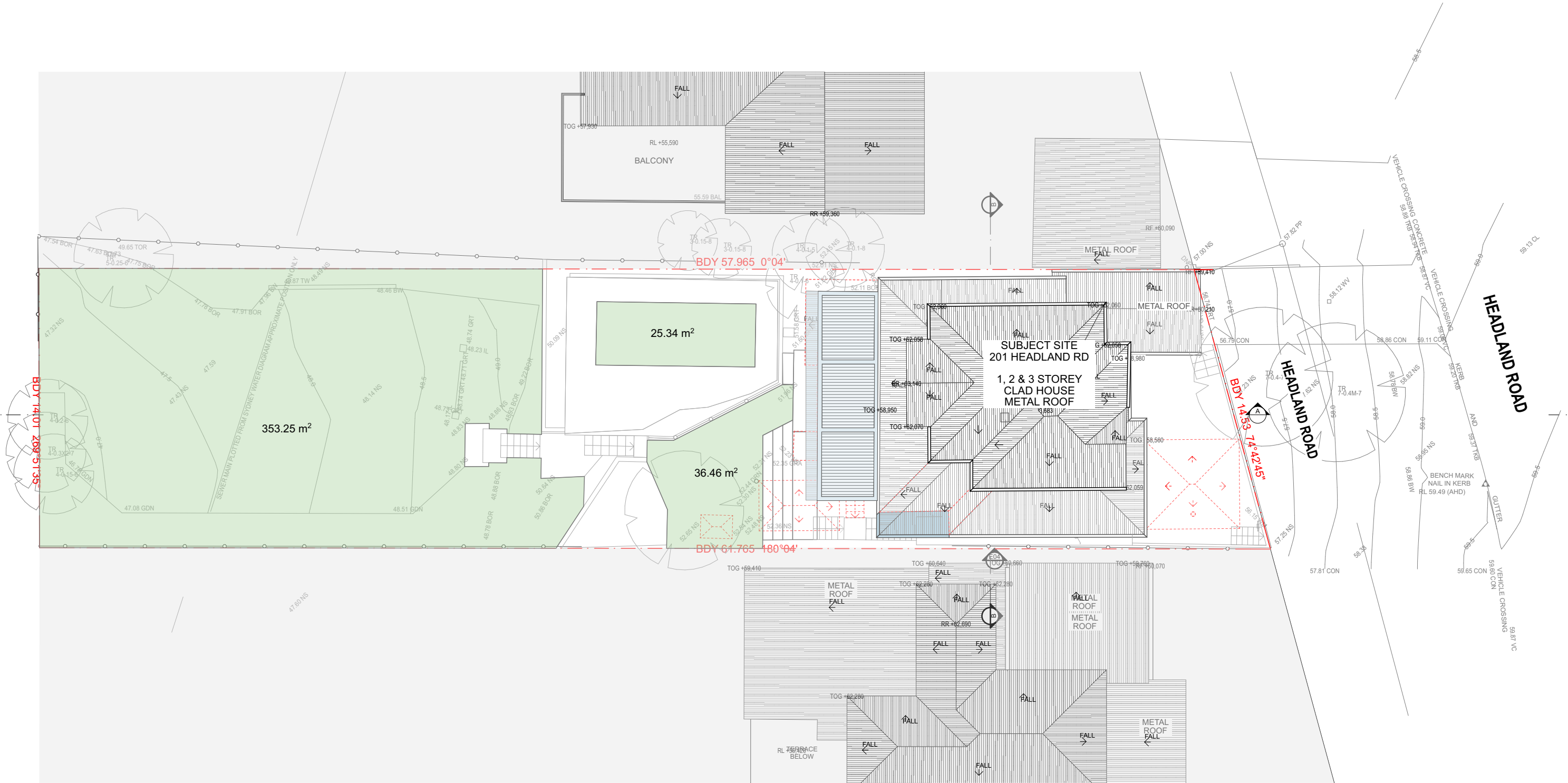
PRELIMINARY - NOT FOR CONSTRUCTION



SHADOW DIAGRAM LEGEND

	EXISTING SHADOWS
	PROPOSED ADDITIONAL SHADOWS

PRELIMINARY - NOT FOR CONSTRUCTION

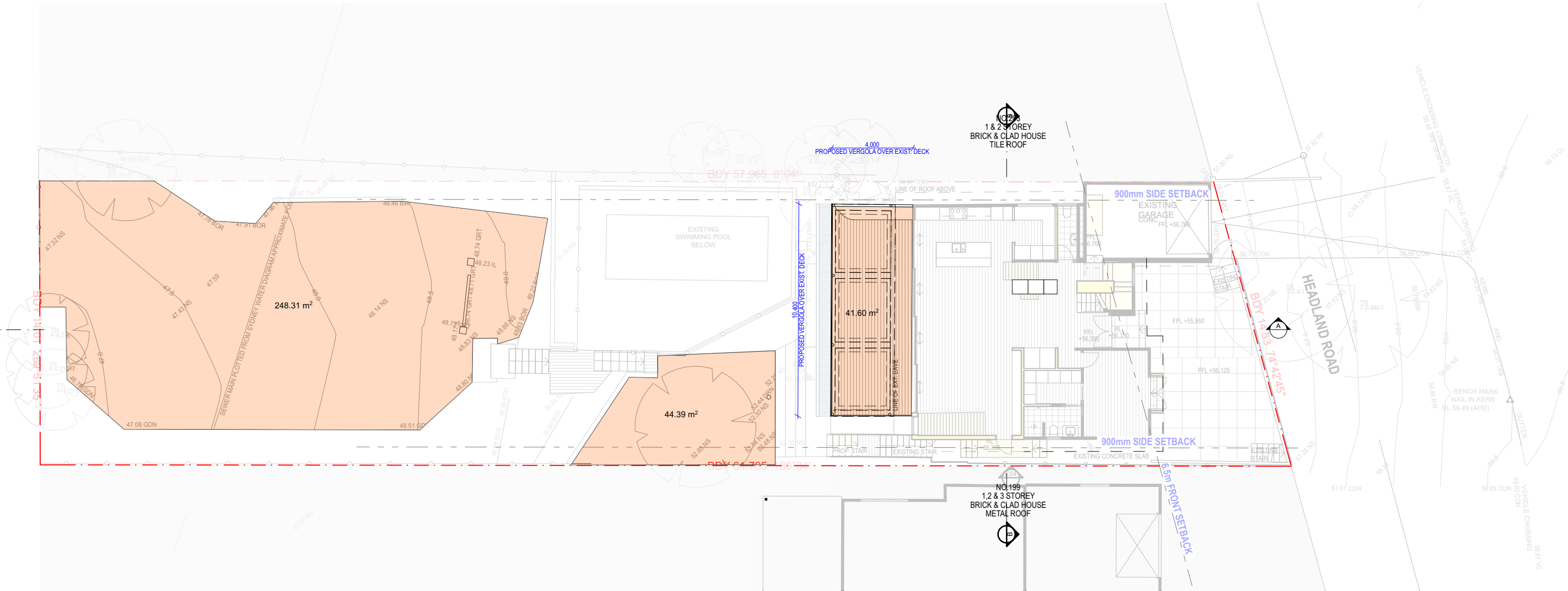


LANDSCAPED OPEN SPACE = COMPLIES

MINIMUM LANDSCAPED AREA REQUIREMENT = 40% OF SITE AREA: 335.48m²

PROPOSED LANDSCAPED AREA = 49% OF SITE AREA = 415.05m²

LANDSCAPED AREA CALCULATIONS
1:200

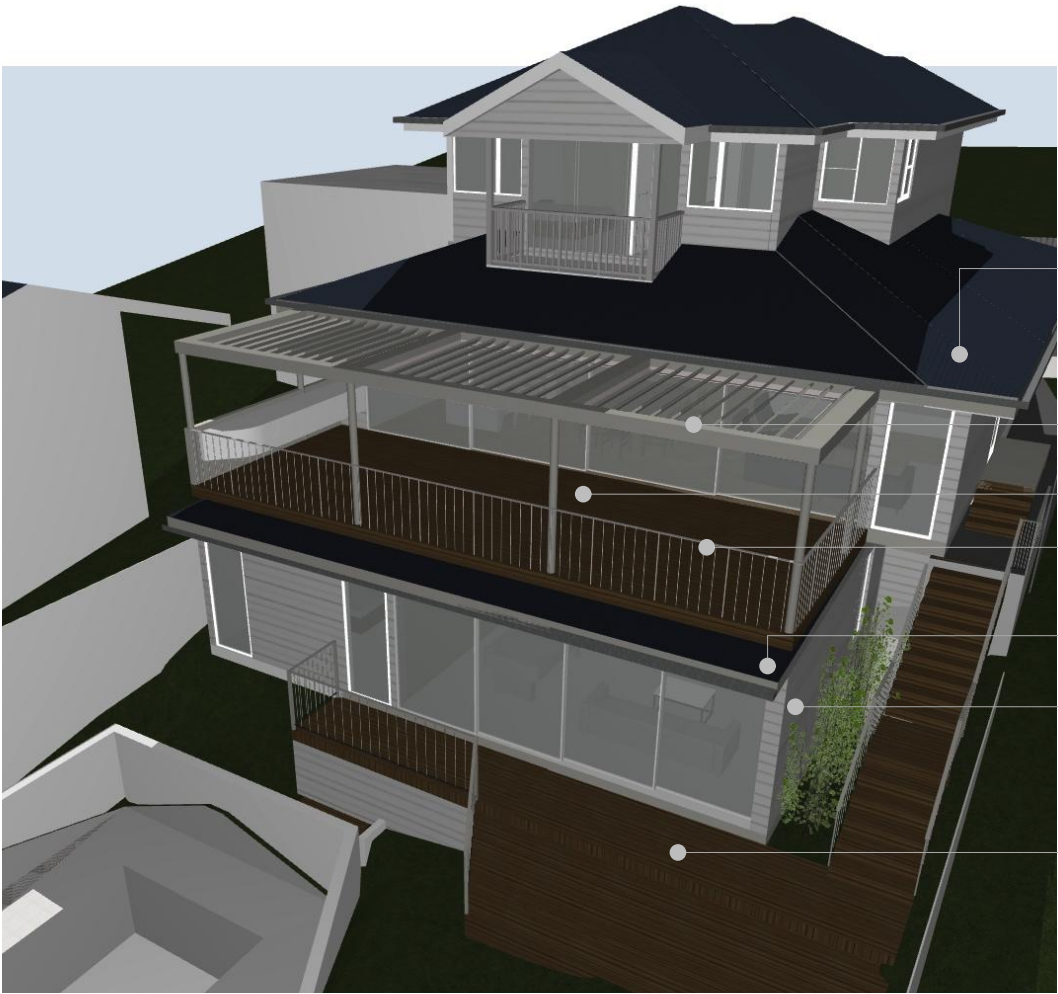


PRIVATE OPEN SPACE
1:200

PRIVATE OPEN SPACE = COMPLIES
MINIMUM PRIVATE OPEN SPACE REQUIREMENT = 60m²
PROPOSED PRIVATE OPEN SPACE AREA = 348.75m²

PRIVATE OPEN SPACES
GROUND FLOOR DECK = 41.6m²
LOWER GROUND DECK = 44.39m²
REAR BACKYARD = 248.31m²

PRELIMINARY - NOT FOR
CONSTRUCTION



- COLORBOND ROOF IN "DEEP OCEAN" OR SIMILIAR (to match existing)
- VERGOLA. DULUX DURALLOY "SURFMIST" or "LEXICON or SIMILIAR
- TIMBER DECKING
- METAL BALUSTRADE. POWDER COATED FINISH DULUX DURALLOY "SURFMIST" or "LEXICON or SIMILIAR
- COLORBOND ROOF IN "DEEP OCEAN" OR SIMILIAR (to match existing)
- TIMBER CLADDING ROOF. COLOUR "DEEP OCEAN" OR SIMILIAR
- TIMBER DECKING

Generic Perspective

EXTERNAL FINISHES SCHEDULE



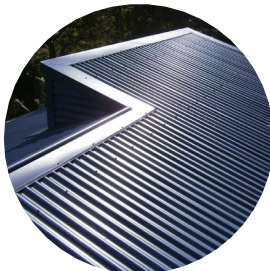
TIMBER FRAMED WINDOWS
Match existing.
Finished in light, warm, earthy colours such as Dulux "Portland Stone" or "Regency White" or similar.



TD - TIMBER DECKING



ALUMINIUM ADJUSTABLE LOUVRE PERGOLA STRUCTURE
Light, warm, earthy tones, e.g. Dulux Duralloy "Lexicon" or "Surfmist" or similar



MR - METAL ROOF CUSTOM ORB

Colour to match existing. "Deep Ocean" or similar



METAL BALUSTRADE
Powder Coated finish in light, warm, earthy tones, e.g. Dulux Duralloy "Lexicon" or "Surfmist" or similar



CL - PAINTED TIMBER WEATHERBOARD HORIZONTAL.
Light, warm, earthy, tones, e.g. Dulux "Portland Stone" or "Regency White" or similar.