

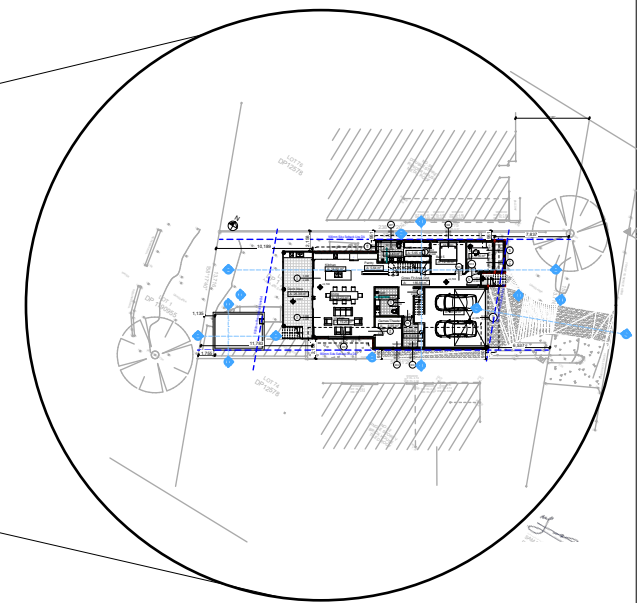
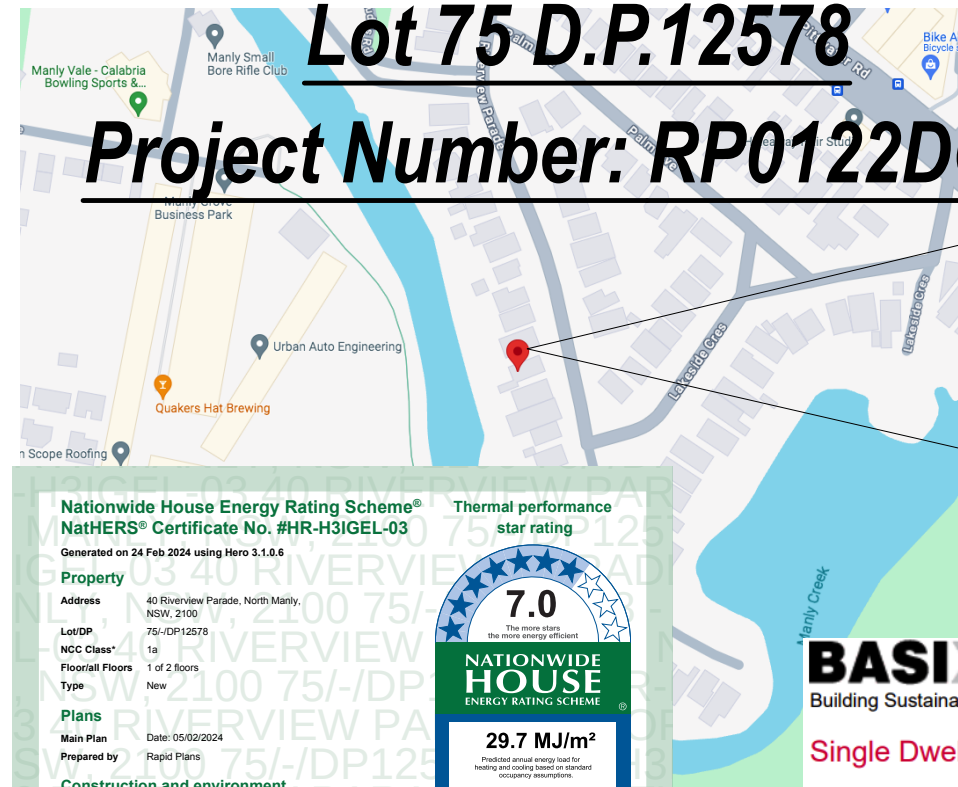


DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 05-02-2024
DA1001	A4 NOTIFICATION PLAN	-	- 05-02-2024
DA1002	SITE SURVEY	-	- 05-02-2024
DA1003	SITE PLAN	-	- 05-02-2024
DA1004	Demolition Ground Floor Plan	-	- 05-02-2024
DA1005	Excavation & Fill Plan	-	- 05-02-2024
DA1006	Landscape Open Space Plan Proposed	-	- 05-02-2024
DA1007	Landscape Plan	-	- 05-02-2024
DA1008	Sediment & Erosion Plan	-	- 05-02-2024
DA1009	Waste Management Plan	-	- 05-02-2024
DA1010	Stormwater Plan	-	- 05-02-2024
DA1011	Floor Space Ratio Calculation	-	- 05-02-2024
DA1012	Existing Lower Ground Floor Plan	-	- 05-02-2024
DA1013	Existing Ground Floor Plan	-	- 05-02-2024
DA1014	Demolition First Floor Plan	-	- 05-02-2024
DA1015	Landscape Open Space Plan Existing	-	- 05-02-2024
DA1016	Existing First Floor Plan	-	- 05-02-2024
DA1017	Demolition Lower Ground Floor Plan	-	- 05-02-2024
DA2000	GROUND FLOOR	-	- 05-02-2024
DA2001	FIRST FLOOR	-	- 05-02-2024
DA2002	ROOF	-	- 05-02-2024
DA2003	LOWER GROUND FLOOR	-	- 05-02-2024
DA3000	SECTION 1	-	- 05-02-2024
DA3001	SECTION 2	-	- 05-02-2024
DA3002	SECTION DRIVE	-	- 05-02-2024
DA3003	SECTION POOL	-	- 05-02-2024
DA4000	ELEVATIONS 1	-	- 05-02-2024
DA4001	ELEVATIONS 2	-	- 05-02-2024
DA4002	ELEVATION FRONT FENCE	-	- 05-02-2024
DA5000	MATERIAL & COLOUR SAMPLE BOARD	-	- 05-02-2024
DA5001	SHADOW PLAN 21st June 9am	-	- 05-02-2024
DA5002	SHADOW PLAN 21st June 12pm	-	- 05-02-2024
DA5003	SHADOW PLAN 21st June 3pm	-	- 05-02-2024
DA5004	WALL ELEVATION SHADOWS	-	- 05-02-2024
DA5005	PERSPECTIVE	-	- 05-02-2024
DA5006	BASIX	-	- 05-02-2024

New Dwelling To Existing Residence
For David Dowell
40 Riverview Parade North Manly

Lot 75 D.P.12578

Project Number: RP0122DOW



Nationwide House Energy Rating Scheme® NATHERS® Certificate No. #HR-H3IGEL-03

Generated on 24 Feb 2024 using Hero 3.1.0.6

Property

Address	40 Riverview Parade, North Manly, NSW, 2100
Lot/DP	75/-/DP12578
NCC Class*	1a
Floor/air Floors	1 of 2 floors
Type	New

Plans

Main Plan Date: 05/02/2024

Prepared by Rapid Plans

Construction and environment

Assessed floor area (m²)	Exposure Type
Conditioned* 236.0	Suburban
Unconditioned* 14.4	NATHERS climate zone
Total 255.3	56 - Mascot AMO
Garage 44.9	



7.0
The more stars
the more energy efficient

**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME

29.7 MJ/m²
Predicted annual energy load for
heating and cooling based on standard
occupancy assumptions.

For more information on
your dwelling's rating visit
www.nathers.gov.au

Thermal performance (MJ/m²)
Limits taken from ASBC Standard 2022

	Heating	Cooling
Modelled	20.1	9.6
Load limits	26	19

Features determining load limits

Floor type CSOG
(lowest conditioned area) CSOG
NCC climate zone 1 or 2 N
Outdoor living area N
Outdoor living area ceiling fan N

**Whole of Home
performance rating**

No Whole of Home
performance rating
generated for this
certificate.

NCC Requirements

BCA provisions Volume 2

State/Territory variation Yes

National Construction Code (NCC) requirements

The NCC allows the use of NATHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J202(2)(a) and (3) of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the whole of the house.

The NCC, and associated ASBC Standards and support material, can be accessed at www.asbc.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Verification

To verify this certificate, scan the QR code or visit <http://www.house-software.com.au/pdf/HR-H3IGEL-03>

When using either link, ensure you are visiting the correct URL - www.house-software.com.au



BASIX® Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1737451S

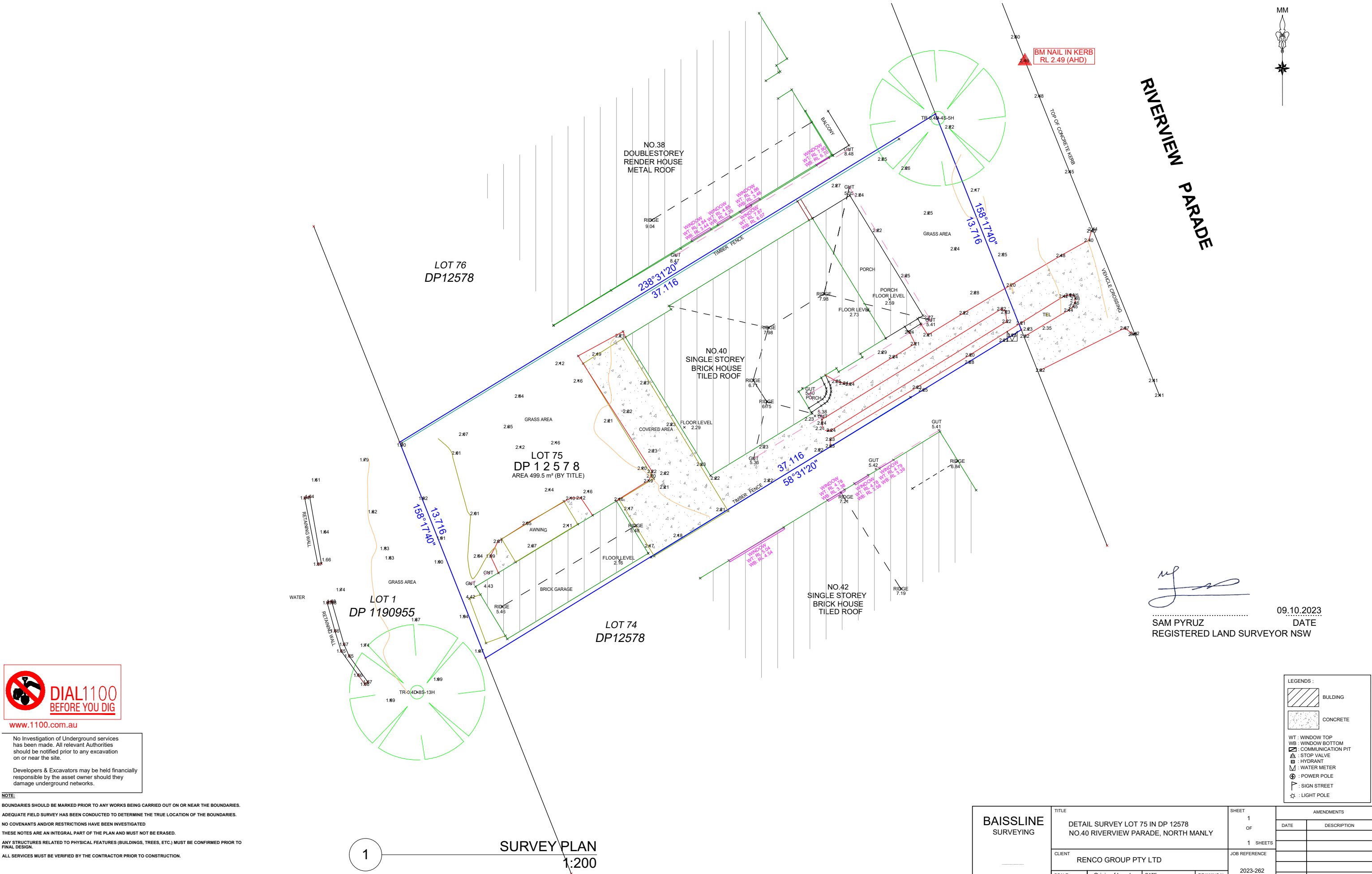
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 26 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Dowell	
Street address	40 RIVERVIEW Parade NORTH MANLY 2100	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP12578	
Lot no.	75	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 93	Target 72
Materials	✔ -100	Target n/a

Certificate Prepared by
Name / Company Name: RAPID PLANS PTY LTD
ABN (if applicable): 43150064592



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Building Design and Architectural Drafting

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Builder to check and confirm all measurements prior to commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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ACCREDITED
BUILDING DESIGNER

Project NO. RP0122DOW
Project Status DA Finals a DRAFT

Client David Dowell
Site 40 Riverview Parade North Manly
Sheet Size: A3

Project NO. RP0122DOW
Project Status DA Finals a DRAFT

Client David Dowell
Site 40 Riverview Parade North Manly
Sheet Size: A3

BAISSLINE SURVEYING	TITLE DETAIL SURVEY LOT 75 IN DP 12578 NO.40 RIVERVIEW PARADE, NORTH MANLY	SHEET 1 OF 1 SHEETS	AMENDMENTS	
	CLIENT RENCO GROUP PTY LTD	JOB REFERENCE 2023-262	DATE	DESCRIPTION
	SCALE 1:100 @ A1	Origin of Levels SSM 19745 RL 2.10 (AHD)	DATE 4-10-2023	
		DRAWING No. 1		

PROJECT NAME :

SITE SURVEY

New Dwelling

DATE
05-02-2024

DRAWING NO.
DA1002

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 170 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Water Commitments			
The swimming pool must not have a volume greater than 32 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item



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Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA


ACCREDITED
BUILDING DESIGNER

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NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage site. Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Core: TC, TC, BV Walls
Roof: TF to have Basic Insulation
Insulation to External TC, BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10198-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

CEILING

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number 1737451S

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45°	Yes
Deg		
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP012220W
Project Status DA Final as a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

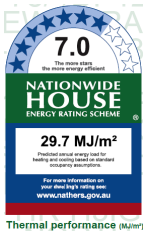
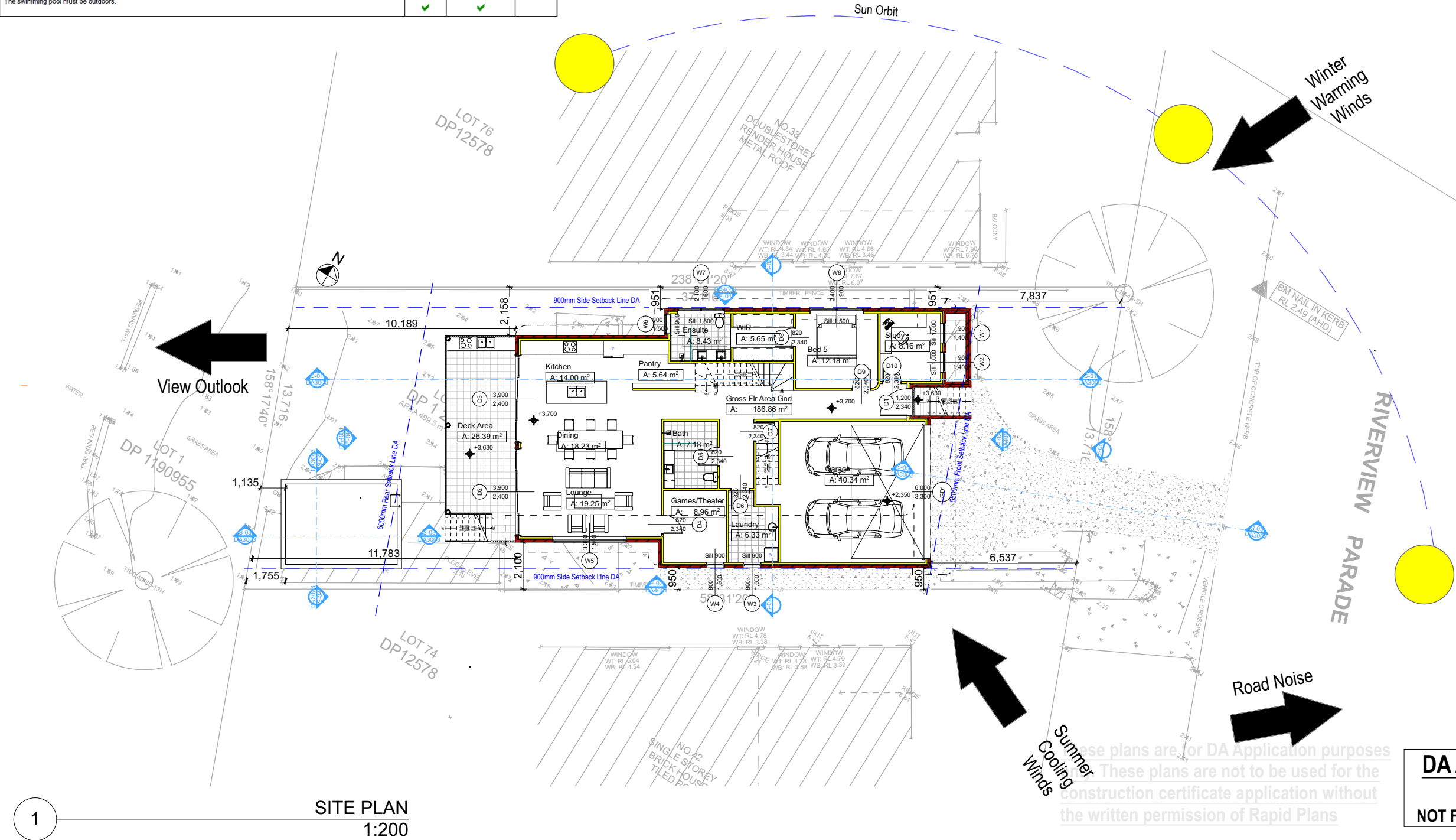
DRAWING TITLE:
**SITE AND LOCATION
SITE PLAN**

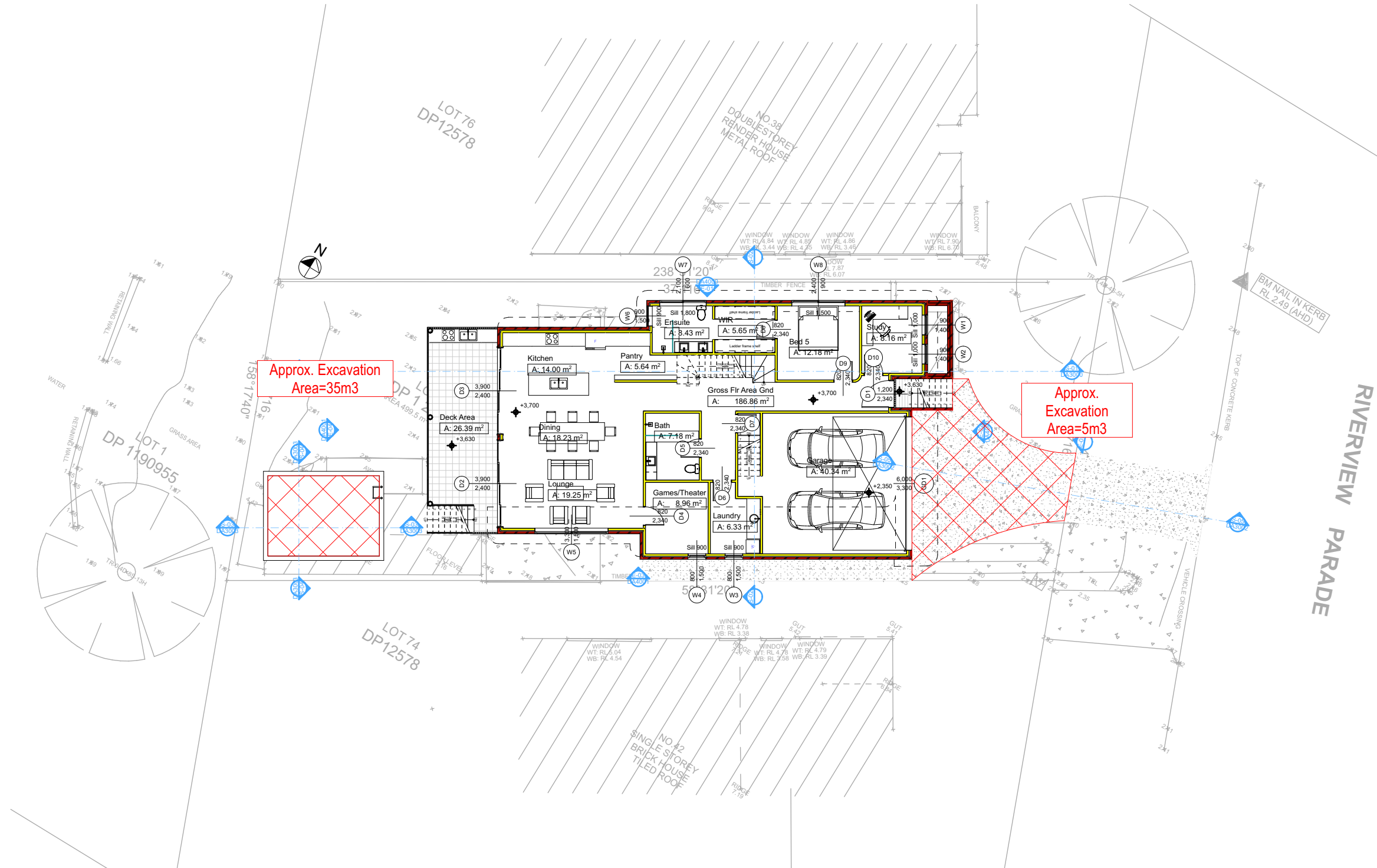
PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

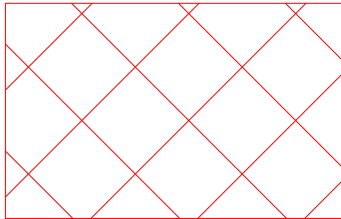
DRAWING NO.
DA1003

Plot Date: 27/2/24
Sheet Size: A3





Denotes Excavation/Fill Area

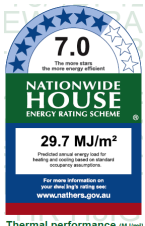


EXCAVATION & FILL PLAN
1:200

1

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NOTES
40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage site. Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Construction
Cone TC TC BV Walls
Roof TC TC BV Walls
Roof TC TC BV Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1906-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Surveying
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Basic
Basic Certificate Number 1737451S

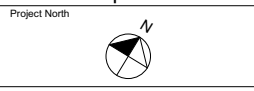
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. For projections described in millimetres, the leading edge of each space, parapet, verandah or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA1005

Plot Date: 27/2/24
Sheet Size: A3

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA1006

Plot Date: 27/2/24
Sheet Size: A3

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Denotes Impervious Area

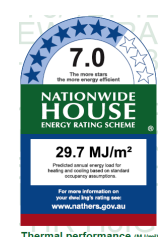
Denotes Pervious Area

Description	Area (m ²)	Percentage
Site Area	499.5m ²	100%
Exist. Open Landscape Area	172.95m ²	35%
Exist. Impervious Area	326.55m ²	65%
Proposed Open Landscape Area	200.15m ²	40%
Proposed Impervious Area	299.55m ²	60%

Note:
Total Open Landscape Area for the property meets the 40% ratio.

LANDSCAPE OPEN SPACE PROPOSED
1:200

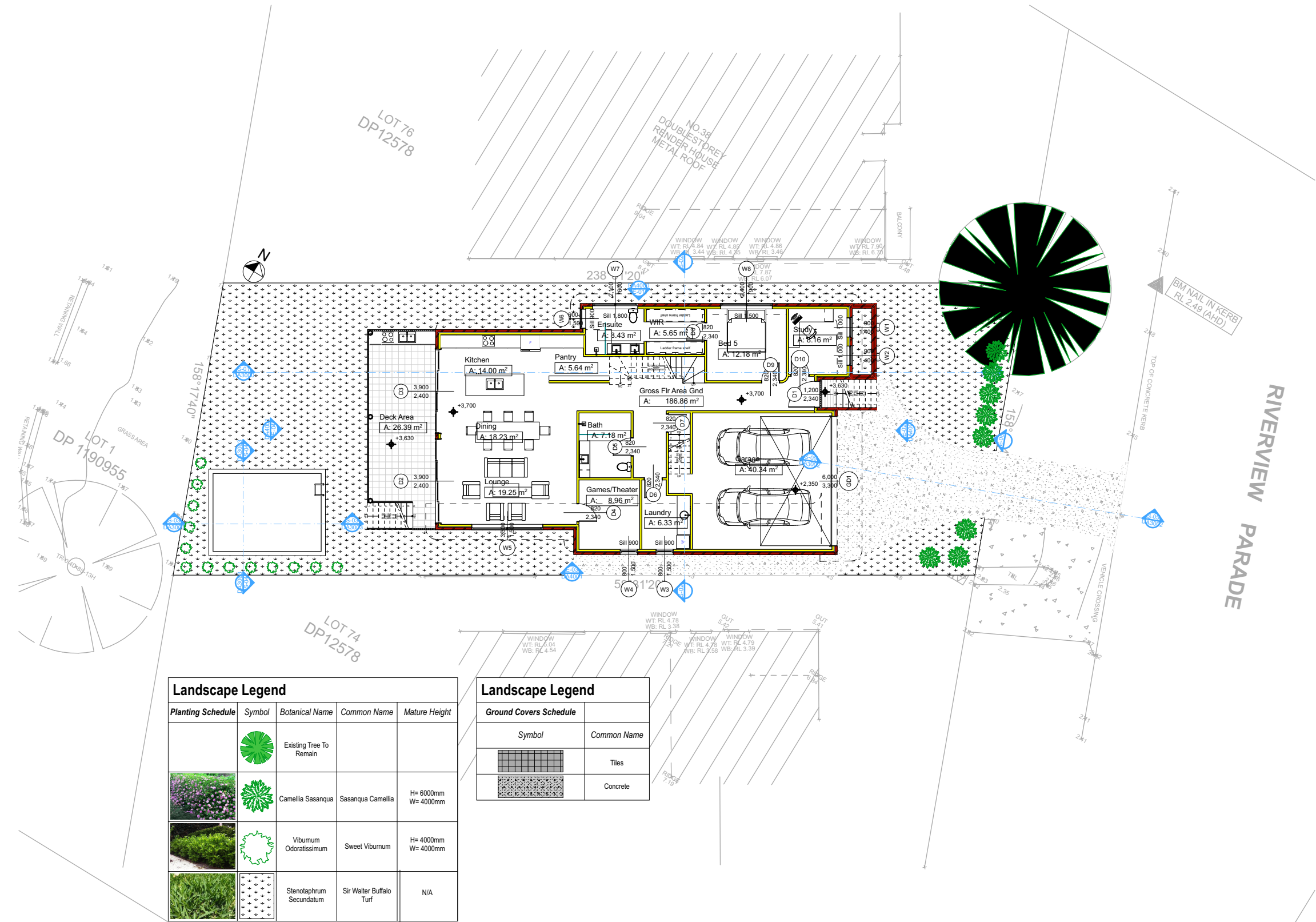
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NOT FOR CONSTRUCTION



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SAM PYRUZ
REGISTER

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 32 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	



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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell
Site: 40 Riverview Parade North Manly

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA1007

Plot Date: 27/2/24
Sheet Size: A3



- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item



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NOTES
40 Riverview Parade North Manly is zoned R2
40 Riverview Parade North Manly is not considered a heritage site.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Construction
Core TC TC BV Walls
Roof TF to have Basic Insulation
Insulation to External TC BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

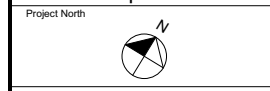
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Basic
Basic Certificate Number 1737451S
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP012220W
Project Status DA Final Draft

Client David Dowell
Site: 40 Riverview Parade North Manly

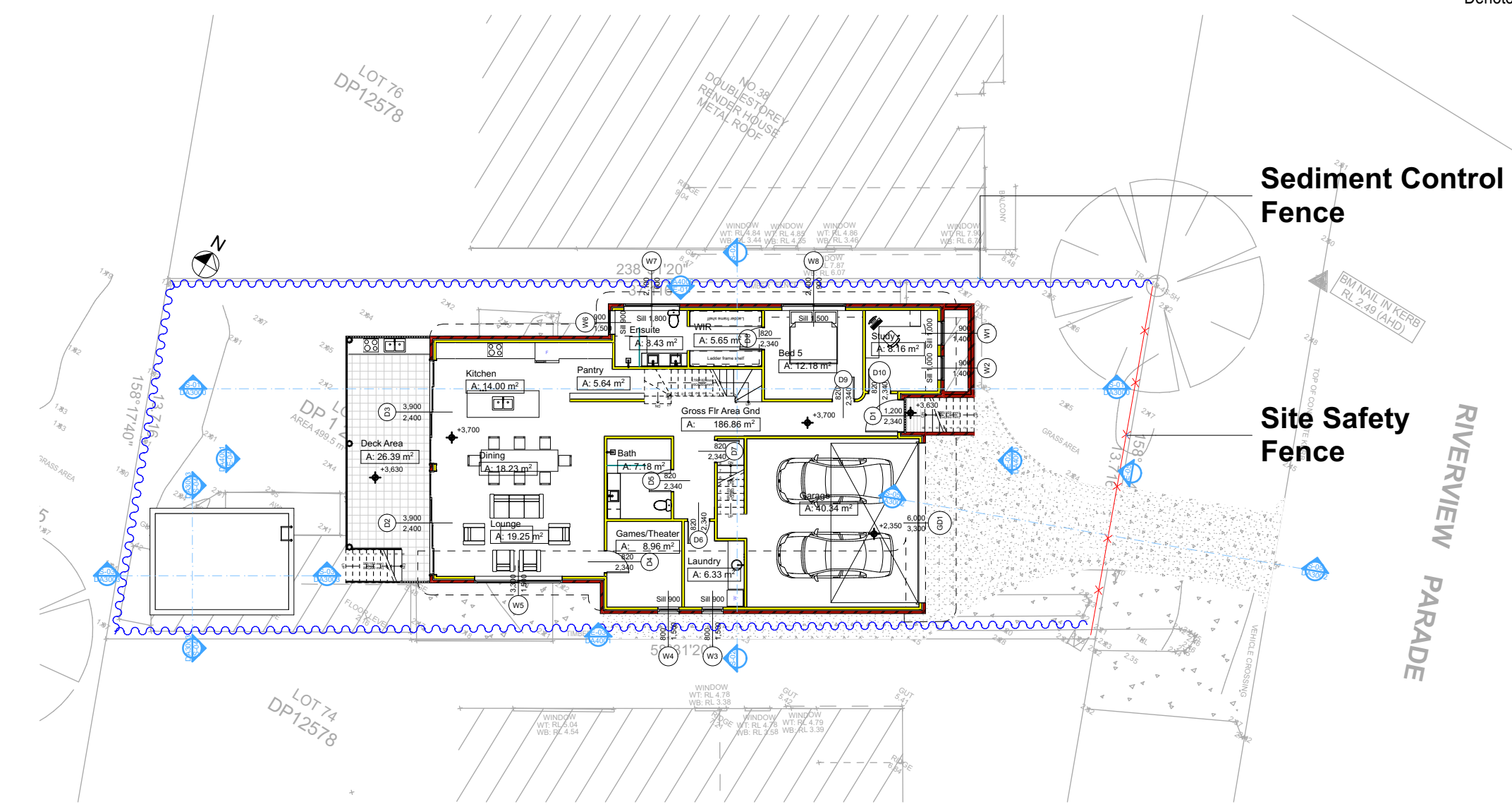
DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME:
New Dwelling

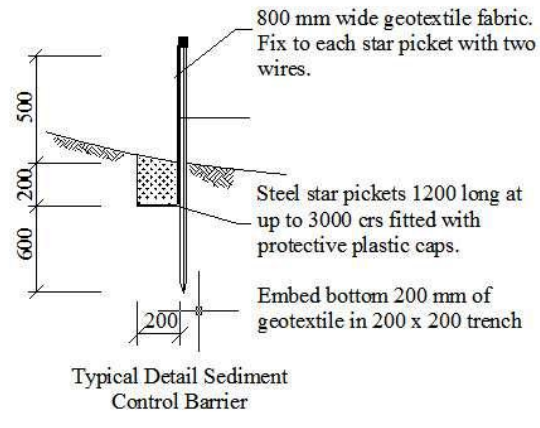
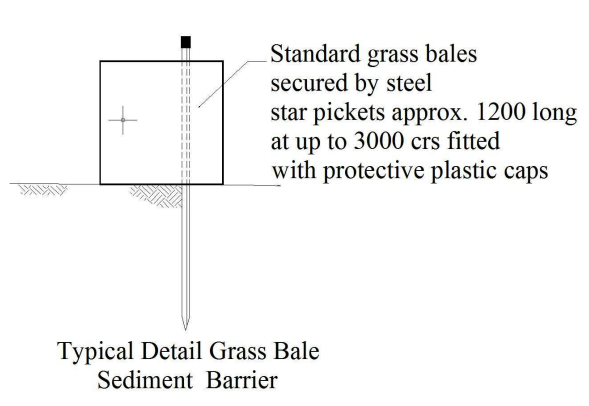
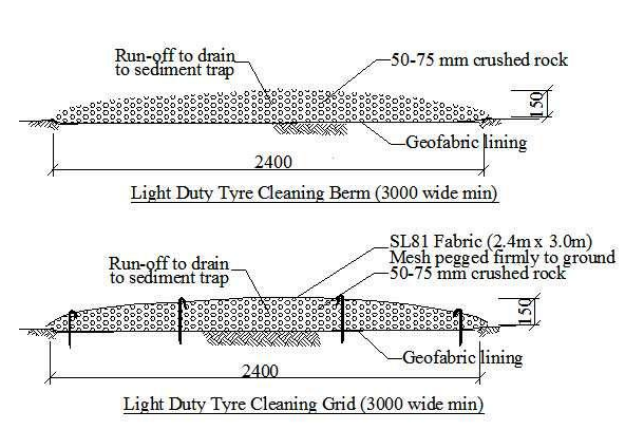
REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA1008

Plot Date: 27/2/24
Sheet Size: A3



1 SEDIMENT & EROSION CONTROL PLAN
1:200



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Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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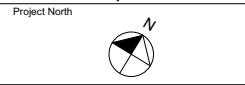
NOTES
40 Riverview Parade North Manly is zoned R2
40 Riverview Parade North Manly is not considered a heritage
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Core TC TC BV Walls
Roof TC TC BV Walls
Insulation to External TC BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 1737451S
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

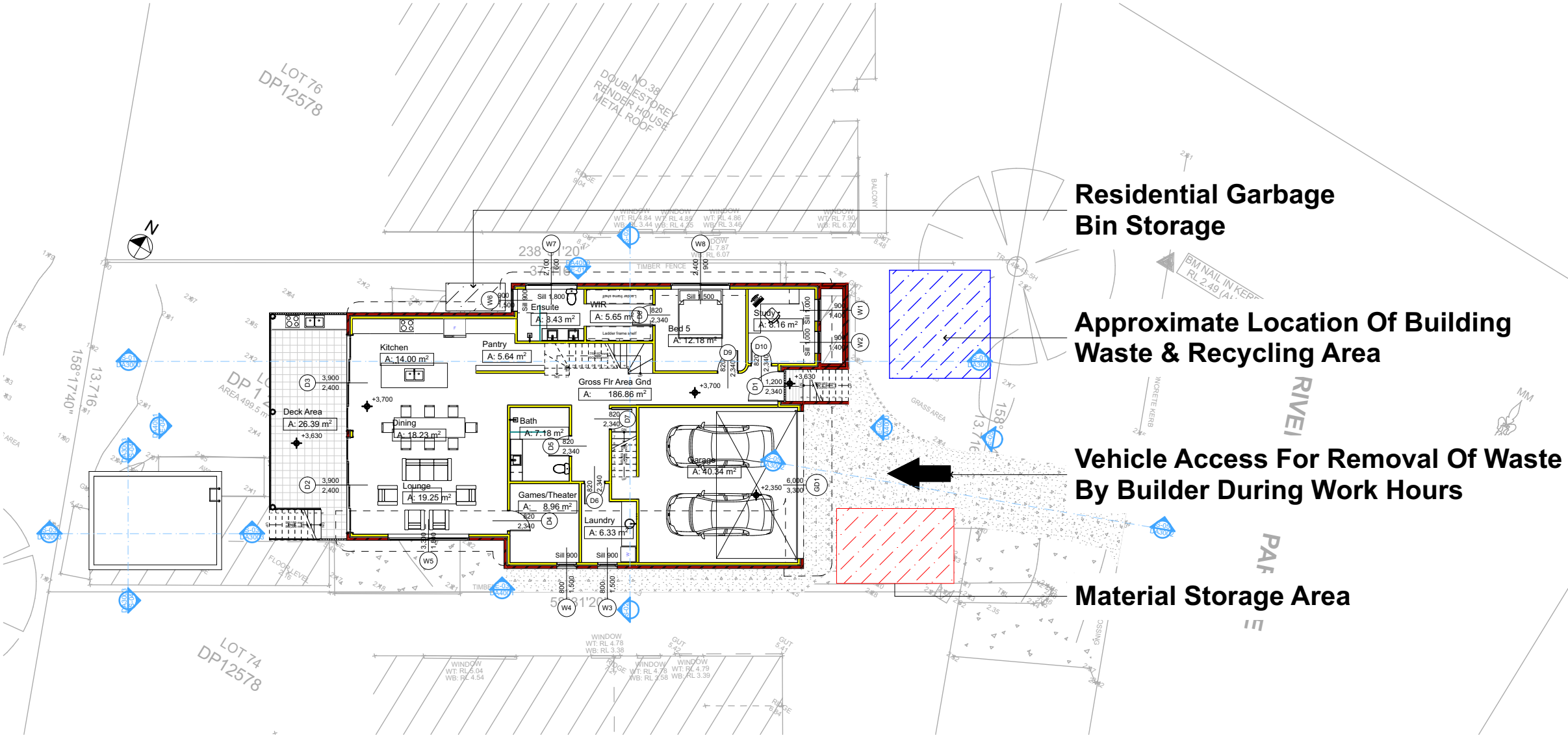
DRAWING NO.
DA1009

Plot Date: 27/2/24
Sheet Size: A3

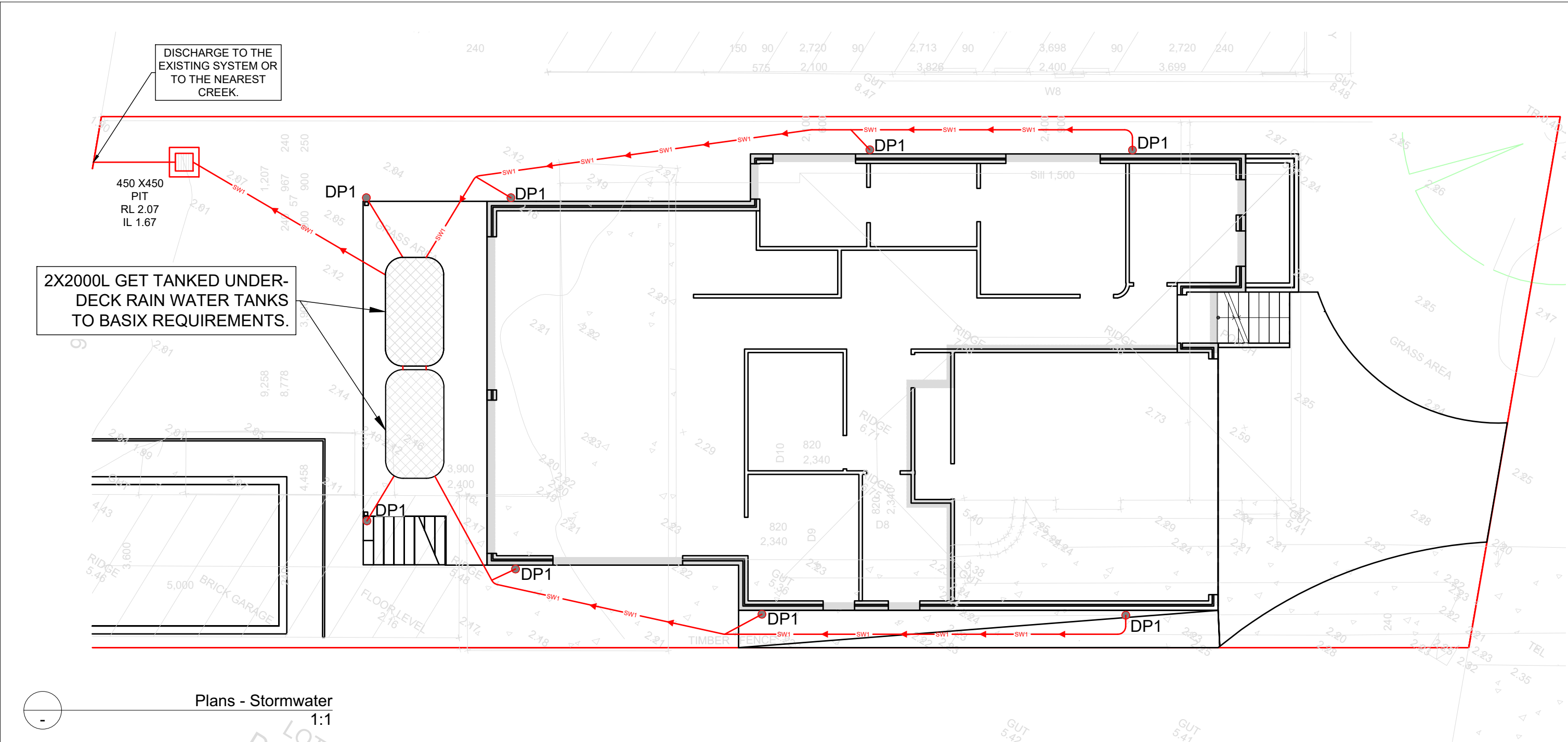


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1 WASTE MANAGEMENT PLAN
1:200



Plans - Stormwater
1:1

GROUND FLOOR DRAINAGE PLAN
SCALE 1:100

SITE PARAMETERS & TANK DETAILS	
SITE AREA	499.5 m2
EXISTING IMPERVIOUS AREA	326.55 m2
PROPOSED IMPERVIOUS AREA	299.55 m2
EXISTING LANDSCAPED AREA	172.95 m2
PROPOSED LANDSCAPED AREA	200.15 m2
RWT TANK REQUIREMENT	3500 L

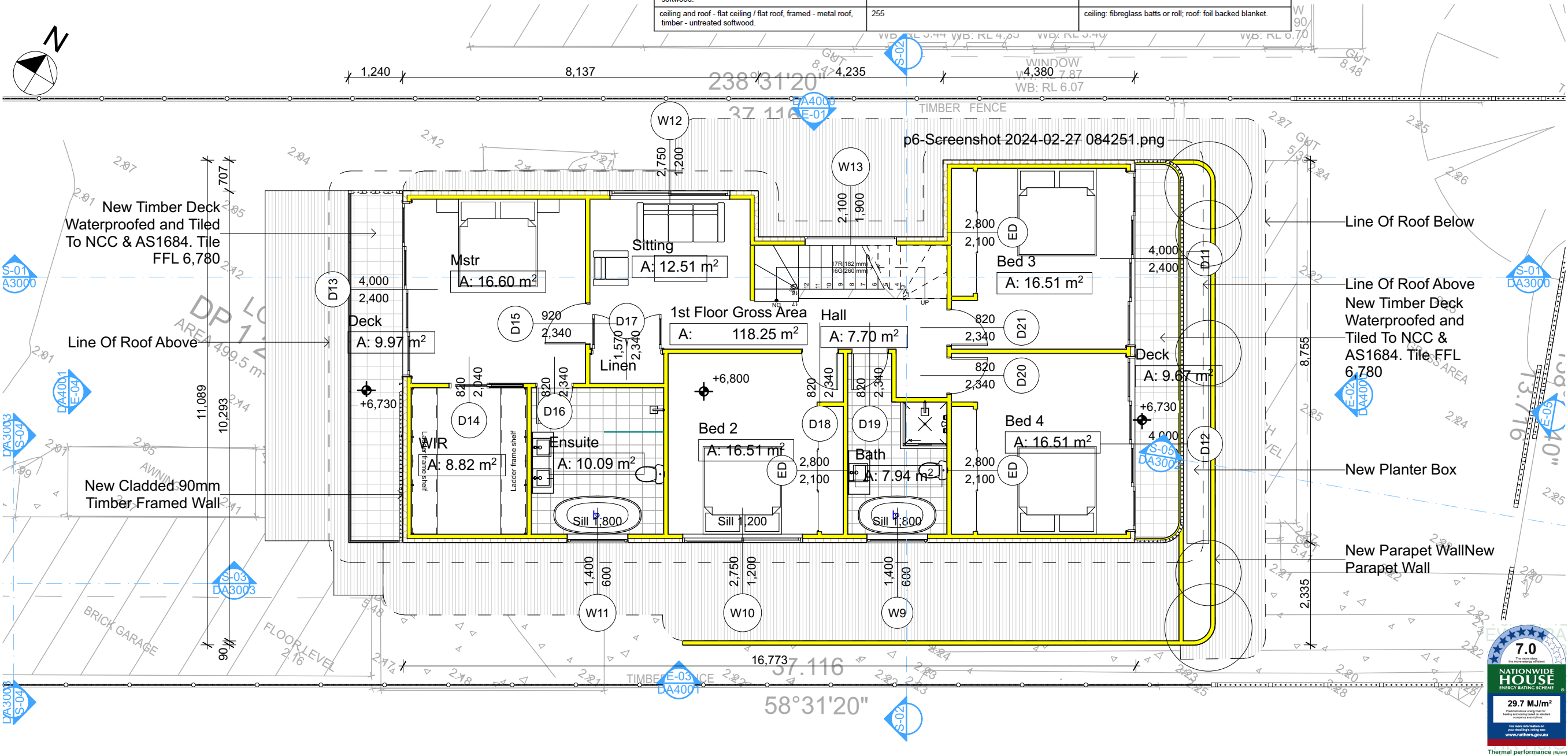
LEGEND:

- DP1 NEW DOWNPIPE (Ø100 mm uPVC)
- DPS. DOWNPIPE SPREADER
- SW1 Ø100 uPVC STORMWATER PIPE MIN. 1% FALL (U.N.O)
- SEDIMENT CONTROL FENCE
- 450x450 GRATED PIT
- RAINWATER TANK TO BASIX REQ.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²	Insulation	
floor - concrete slab on ground, conventional slab.	44.9	none	
floor - suspended floor above enclosed subfloor, concrete - suspended; frame: no frame.	186.86	fibreglass batts or roll	
floor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - untreated softwood.	118.25	fibreglass batts or roll	
floor - suspended floor above garage, AAC panel (75 mm); frame: timber - untreated softwood.	22.2	fibreglass batts or roll	
garage floor - concrete slab on ground.	44.9	none	
external wall: brick veneer; frame: timber - untreated softwood.	126.6	fibreglass batts or roll	
external wall: AAC veneer; frame: timber - untreated softwood.	136.9	fibreglass batts or roll	
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	55	fibreglass batts or roll	
external garage wall: brick veneer; frame: timber - untreated softwood.	70	fibreglass batts or roll	
internal wall: plasterboard; frame: timber - untreated softwood.	271	fibreglass batts or roll	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	255	ceiling: fibreglass batts or roll; roof: foil backed blanket.	

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item



1

FIRST FLOOR
1:100

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Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage site. Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Core: TC, TC BV Walls
Roof: TF to have Basic Insulation
Insulation to External TC BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10198-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Base

Basic Certificate Number 1737451S

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Overhanging specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each case, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: **New Dwelling**

REVISION NO. DATE
- 05-02-2024

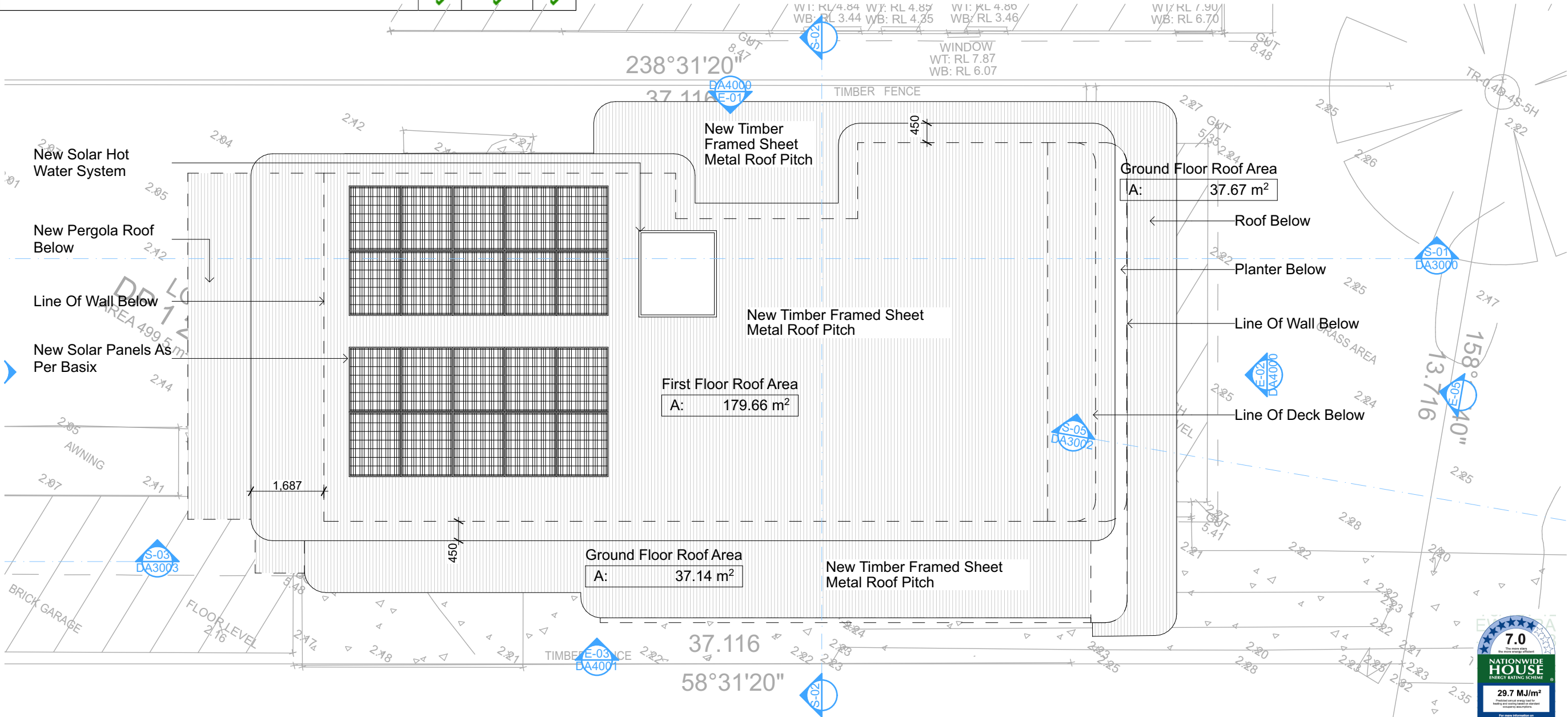
DRAWING NO. **DA2001**

Plot Date: 27/2/24
Sheet Size: A3

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar with a performance of 26 to 30 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (electric boosted)		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 4 stars.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north east	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item



1 Roof Plan
1:100

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Building Design and Architectural Drafting

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bdca
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED BUILDING DESIGNER

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NOTES
40 Riverview Parade North Manly is zoned R2
40 Riverview Parade North Manly is not considered a heritage
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Core TC BV Walls
Roof TF to have Basic Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 17374515
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. For projections described in millimetres, the leading edge of each parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE: PLANS
ROOF

PROJECT NAME: **New Dwelling**

REVISION NO. DATE
- 05-02-2024

DRAWING NO. **DA2002**

Plot Date: 27/2/24
Sheet Size: A3

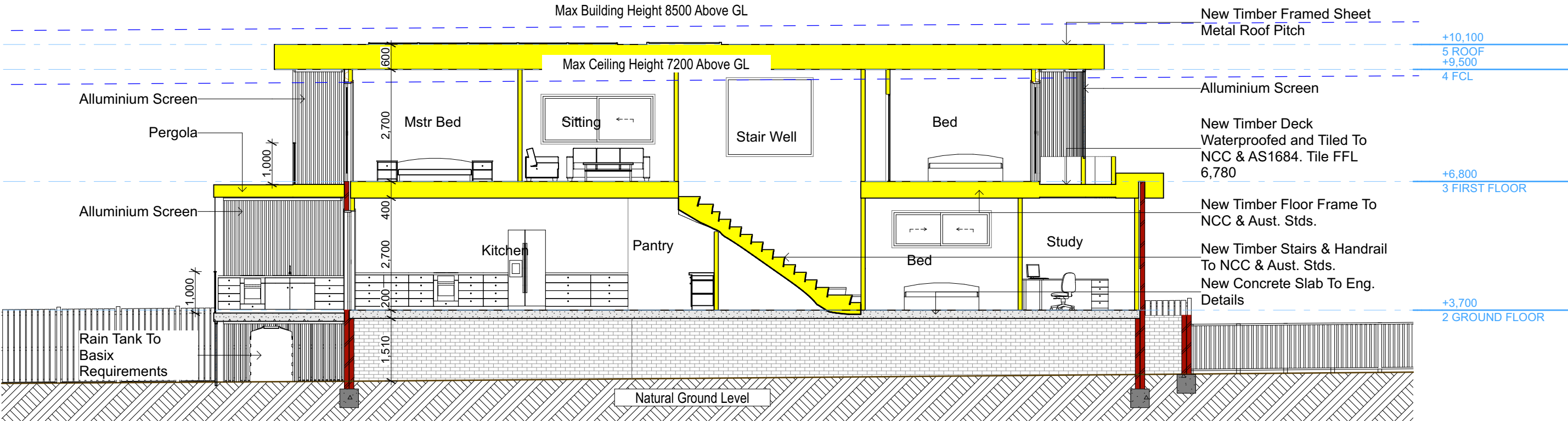
Information: 27/2/24
Drawing: 27/2/24
Drawing Title: Roof Plans
Drawing No: DA2002
Drawing Status: Draft
Drawing Scale: 1:100

Thermal Performance and Materials commitments			
Simulation Method	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments			
Construction	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²	Insulation	
floor - concrete slab on ground, conventional slab.	44.9	none	
floor - suspended floor above enclosed subfloor, concrete - suspended; frame: no frame.	186.86	fibreglass batts or roll	
floor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - untreated softwood.	118.25	fibreglass batts or roll	
floor - suspended floor above garage, AAC panel (75 mm); frame: timber - untreated softwood.	22.2	fibreglass batts or roll	
garage floor - concrete slab on ground.	44.9	none	
external wall: brick veneer; frame: timber - untreated softwood.	126.6	fibreglass batts or roll	
external wall: AAC veneer; frame: timber - untreated softwood.	136.9	fibreglass batts or roll	
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	55	fibreglass batts or roll	
external garage wall: brick veneer; frame: timber - untreated softwood.	70	fibreglass batts or roll	
internal wall: plasterboard; frame: timber - untreated softwood.	271	fibreglass batts or roll	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	255	ceiling: fibreglass batts or roll; roof: foil backed blanket.	

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



S-01 SECTION 1
1:100

NOTES
40 Riverview Parade North Manly is zoned R2

All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
40 Riverview Parade North Manly is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Conc TF, TC BV Walls
Roof TF to have Basix Insulation
Insulation to External TC BV Walls Basix
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number 1737451S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	499.5m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	(min) Impervious area (m2)	%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	2.1m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	NA	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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Lot 75 D.P.12578

Prior to Commencement
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked
Plot Date:
Project NO.
Project Status

GBJ
27/2/24
RP0122DOW
DA Finals a DRAFT

Client
Site:
David Dowell
40 Riverview Parade North
Manly

Sheet Size: A3

DRAWING TITLE :

SECTIONS
SECTION 1

PROJECT NAME :

New Dwelling

REVISION NO.

DATE:
05-02-2024
DRAWING NO.
DA3000

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	44.9	none
floor - suspended floor above enclosed subfloor, concrete - suspended, frame: no frame.	186.86	fibreglass batts or roll
floor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - untreated softwood.	118.25	fibreglass batts or roll
floor - suspended floor above garage, AAC panel (75 mm); frame: timber - untreated softwood.	22.2	fibreglass batts or roll
garage floor - concrete slab on ground.	44.9	none
external wall: brick veneer; frame: timber - untreated softwood.	126.6	fibreglass batts or roll
external wall: AAC veneer; frame: timber - untreated softwood.	136.9	fibreglass batts or roll
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	55	fibreglass batts or roll
external garage wall: brick veneer; frame: timber - untreated softwood.	70	fibreglass batts or roll
internal wall: plasterboard; frame: timber - untreated softwood.	271	fibreglass batts or roll
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	255	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Frames	Maximum area - m2
aluminium	75.2
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	0
double	75.2
triple	0

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

New Timber Framed Sheet
Metal Roof Pitch

+10,100
5 ROOF
+9,500
4 FCL

New Cladded 90mm Timber
Framed Wall

New Timber Floor Frame To
NCC & Aust. Stds.

+6,800
3 FIRST FLOOR

45°

New Timber Stairs & Handrail
To NCC & Aust. Stds.

Building Envelope

Bdy 4,000

+3,700
2 GROUND FLOOR

New Concrete Slab To Eng.
Details

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Energy Commitments		Show on DA plans	Show on C/C/D plans & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heated boiler with a performance of 26 to 30 STCs, or better.		✔		✔
Cooling system				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1-phase airconditioning - 4-star. Energy rating 5 (star (average zone))		✔		✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase airconditioning - 4-star. Energy rating 5 (star (average zone))		✔		✔
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1-phase airconditioning - 4-star. Energy rating 5 (star (average zone))		✔		✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase airconditioning - 4-star. Energy rating 5 (star (average zone))		✔		✔
Ventilation				
The applicant must install the following natural system in the development:				
At least 1 Bedroom: individual fan, ducted to ridge or roof. Operation control: manual switch on/off		✔		✔
Kitchen: individual fan, ducted to ridge or roof. Operation control: manual switch on/off		✔		✔
Laundry: individual fan, ducted to ridge or roof. Operation control: manual switch on/off		✔		✔
Artificial lighting				
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✔		✔
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✔		✔



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Rapid Plans
PO Box 999999 Sydney NSW 1585 2098
Tel: (02) 9955-8820 Mobile: 0414-965-024
Email: info@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



A C C R E D I T E D
B U I L D I N G D E S I G N E R

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The builder shall check and verify all dimensions and verify all orders and variations to the Drawing. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage

NRPPs to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

CONC TF: TC BVB Wall

Roof TF to have draining

Insulation to External TC BVB Walls Baix

Refer to Engineers drawings for structural details

All work to Engineers Specifications and BCA

Termite Tanning to BCA and AS 1594

Glazing to BCA and AS301286-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

The Certificate Number 13734515

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that if additional installation is not required where the area of new construction is less than 2m², if installation specified is not required for parts of altered construction

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead shading specifications must be satisfied for each window and glazed door.

For projections determined in millimetres, the leading edge of each eave, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GJD 27/2/24
Project No. RP0212DOW
Project Status DA Finalis a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly



DRAWING TITLE :

SECTIONS
SECTION 2

PROJECT NAME :

New Dwelling

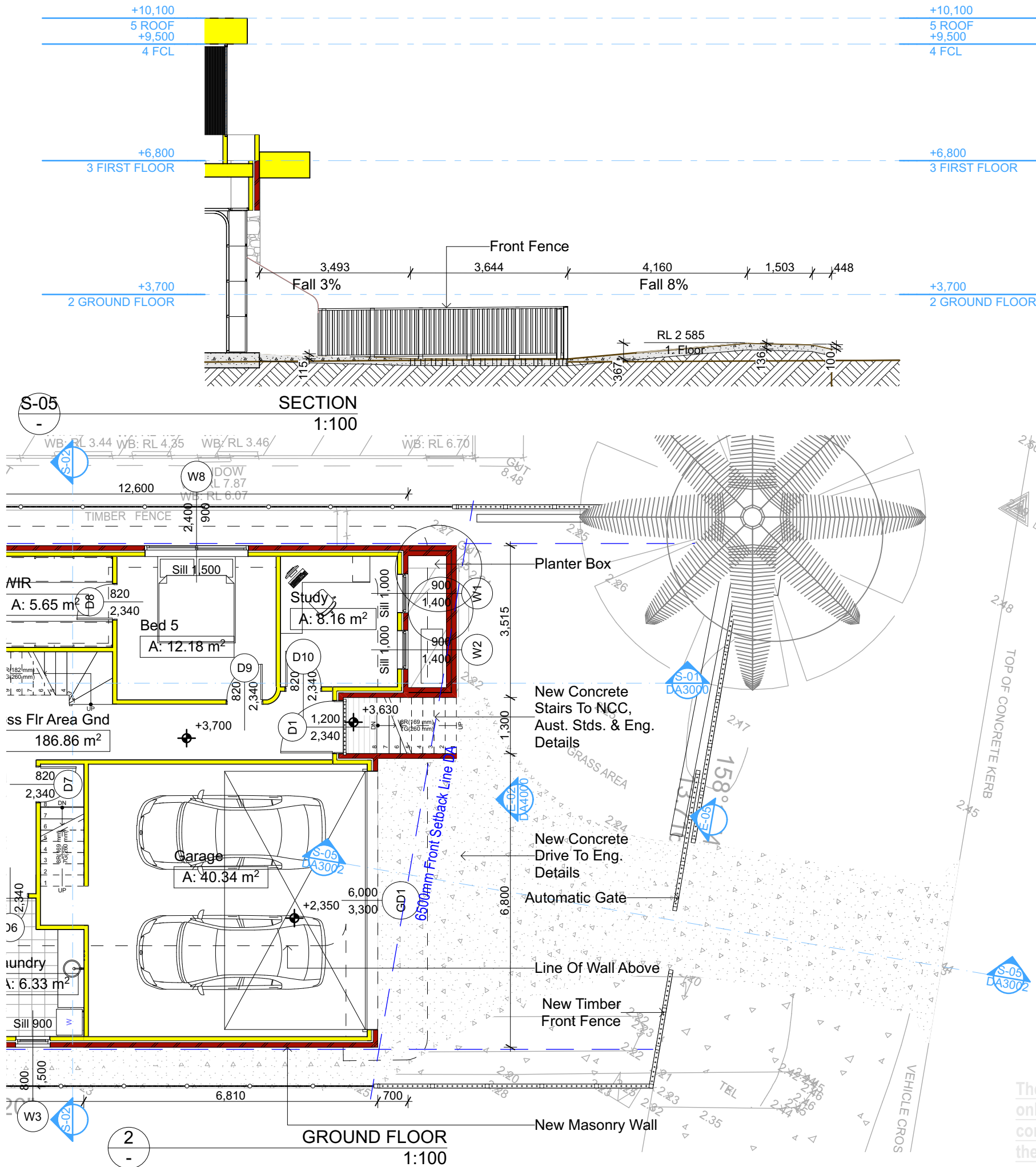
REVISION NO. DATE

- **05-02-2024**

DA3001

Plot Date: 27/2/24
Sheet Size: A3


 Rapid Plans Pty Ltd
 15/16-17/18-19/20-21/22-23/24-25/26-27/28-29/30-31/32-33/34-35/36-37/38-39/40-41/42-43/44-45/46-47/48-49/50-51/52-53/54-55/56-57/58-59/60-61/62-63/64-65/66-67/68-69/70-71/72-73/74-75/76-77/78-79/80-81/82-83/84-85/86-87/88-89/90-91/92-93/94-95/96-97/98-99/100-101/102-103/104-105/106-107/108-109/110-111/112-113/114-115/116-117/118-119/120-121/122-123/124-125/126-127/128-129/130-131/132-133/134-135/136-137/138-139/140-141/142-143/144-145/146-147/148-149/150-151/152-153/154-155/156-157/158-159/160-161/162-163/164-165/166-167/168-169/170-171/172-173/174-175/176-177/178-179/180-181/182-183/184-185/186-187/188-189/190-191/192-193/194-195/196-197/198-199/200-201/202-203/204-205/206-207/208-209/210-211/212-213/214-215/216-217/218-219/220-221/222-223/224-225/226-227/228-229/230-231/232-233/234-235/236-237/238-239/240-241/242-243/244-245/246-247/248-249/250-251/252-253/254-255/256-257/258-259/260-261/262-263/264-265/266-267/268-269/270-271/272-273/274-275/276-277/278-279/280-281/282-283/284-285/286-287/288-289/290-291/292-293/294-295/296-297/298-299/300-301/302-303/304-305/306-307/308-309/310-311/312-313/314-315/316-317/318-319/320-321/322-323/324-325/326-327/328-329/330-331/332-333/334-335/336-337/338-339/340-341/342-343/344-345/346-347/348-349/350-351/352-353/354-355/356-357/358-359/360-361/362-363/364-365/366-367/368-369/370-371/372-373/374-375/376-377/378-379/380-381/382-383/384-385/386-387/388-389/390-391/392-393/394-395/396-397/398-399/400-401/402-403/404-405/406-407/408-409/410-411/412-413/414-415/416-417/418-419/420-421/422-423/424-425/426-427/428-429/430-431/432-433/434-435/436-437/438-439/440-441/442-443/444-445/446-447/448-449/450-451/452-453/454-455/456-457/458-459/460-461/462-463/464-465/466-467/468-469/470-471/472-473/474-475/476-477/478-479/480-481/482-483/484-485/486-487/488-489/490-491/492-493/494-495/496-497/498-499/500-501/502-503/504-505/506-507/508-509/510-511/512-513/514-515/516-517/518-519/520-521/522-523/524-525/526-527/528-529/530-531/532-533/534-535/536-537/538-539/540-541/542-543/544-545/546-547/548-549/550-551/552-553/554-555/556-557/558-559/560-561/562-563/564-565/566-567/568-569/570-571/572-573/574-575/576-577/578-579/580-581/582-583/584-585/586-587/588-589/5



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Water Commitments		Water
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		
Alternative water		Alternative water
Rainwater tank		
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		
The applicant must configure the rainwater tank to collect rain runoff from at least 170 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		
The applicant must connect the rainwater tank to:		
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		
• a tap that is located within 10 metres of the swimming pool in the development		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.



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NOTES

40 Riverview Parade North Manly is zoned R2

All Plans to be read in conjunction with Basic Certificate

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix

Basix Certificate Number 173451S

All Plans to be read in conjunction with Basic Certificate

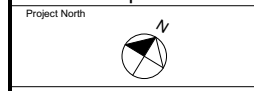
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m².

For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45°	Yes
Deg		
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP01220DW
Project Status DA Final Draft

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE: SECTIONS
SECTION DRIVE

PROJECT NAME: **New Dwelling**

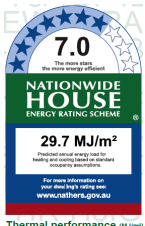
REVISION NO. DATE
- 05-02-2024

DRAWING NO. **DA3002**

Plot Date: 27/2/24
Sheet Size: A3

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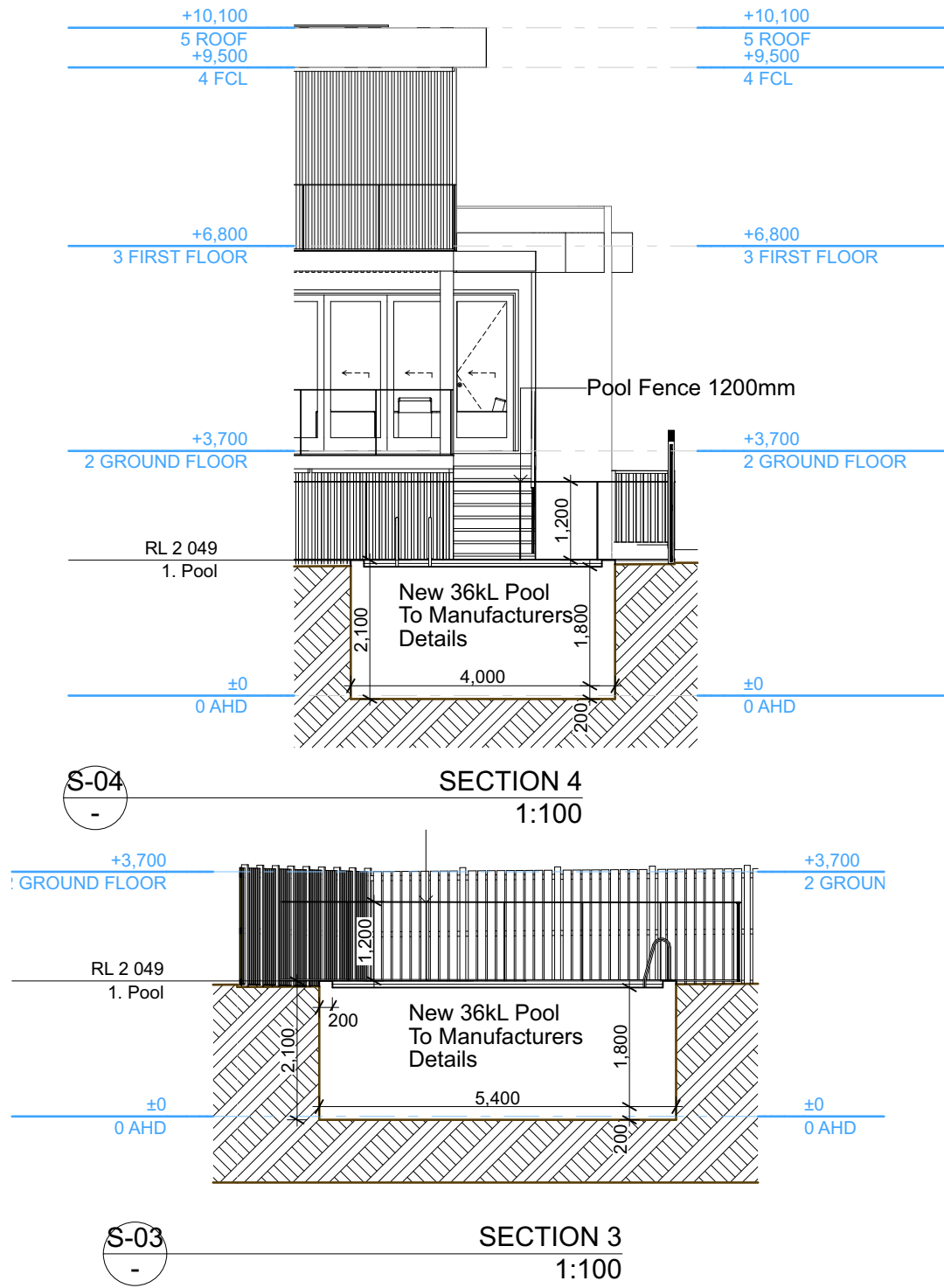
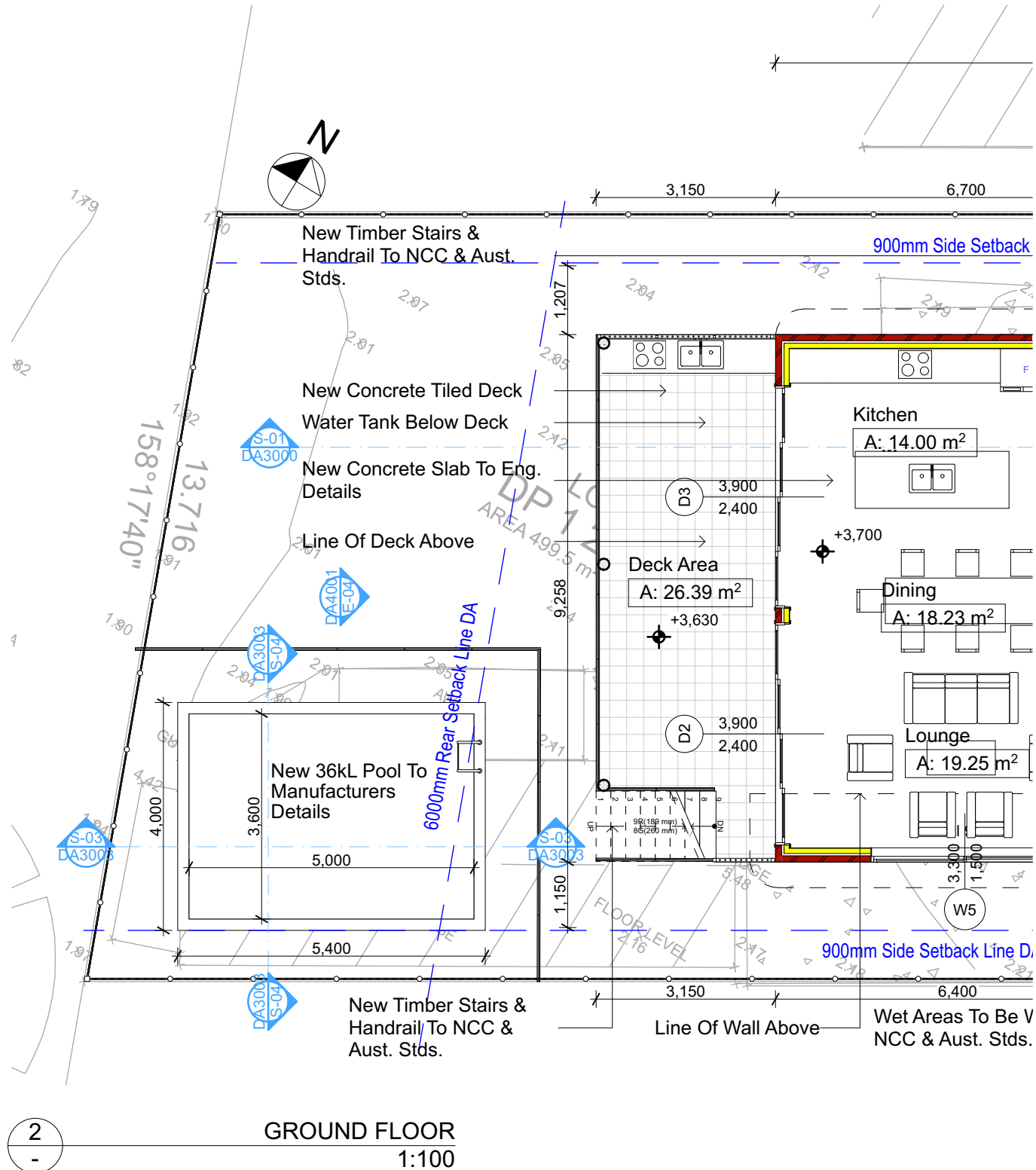
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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (electric boosted)		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 4 stars.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of:			
• photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north east	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 36 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item



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Building Design and Architectural Drafting

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NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage site.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Core TC TC BV Walls

Roof TF To have Basic Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1905-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number 1737451S

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. For projections described in millimetres, the leading edge of each space, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m²)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP01220OW
Project Status DA Final as a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

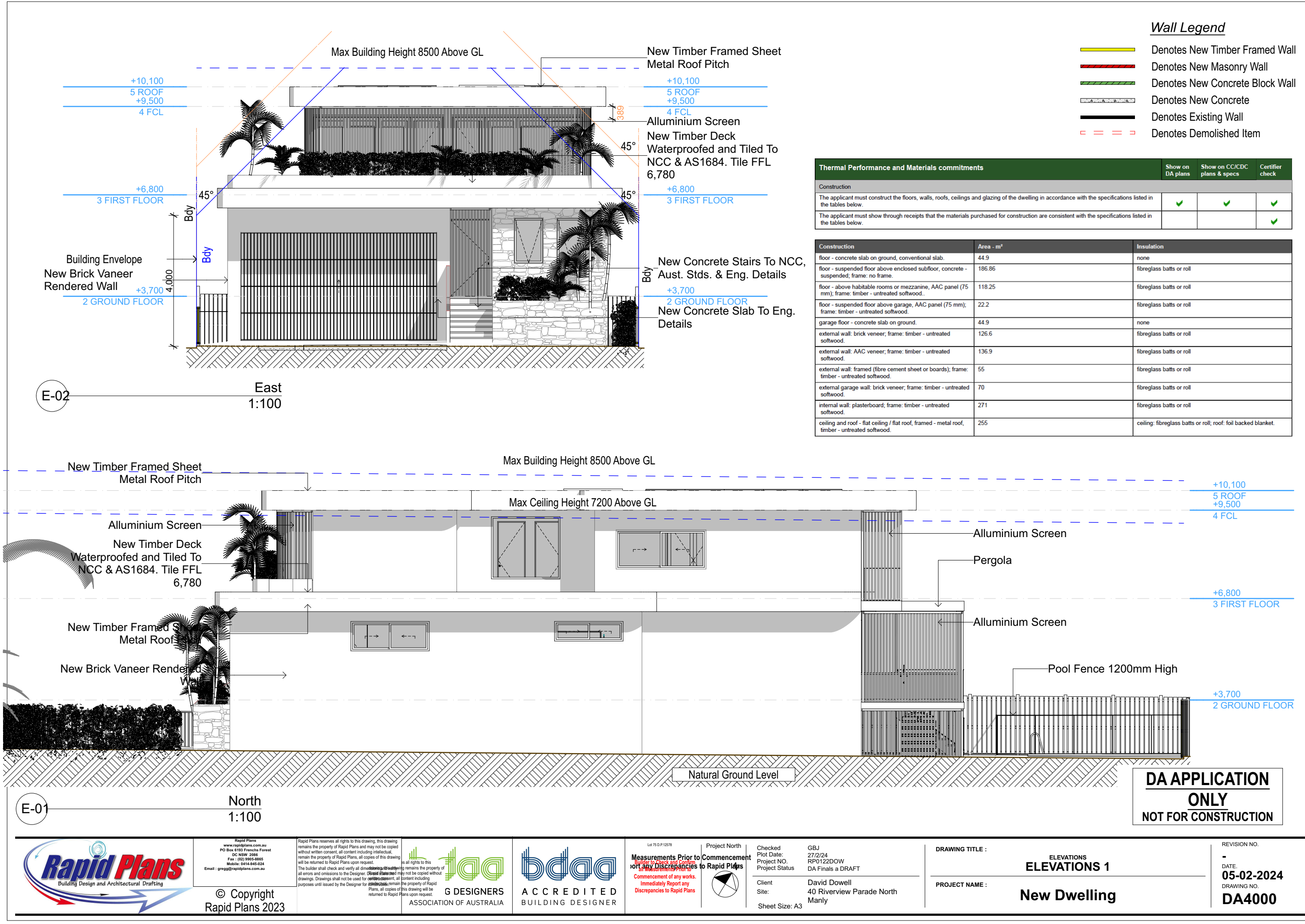
DRAWING TITLE: SECTIONS
SECTION POOL

PROJECT NAME: **New Dwelling**

REVISION NO. DATE
- 05-02-2024

DRAWING NO. **DA3003**

Plot Date: 27/2/24
Sheet Size: A3



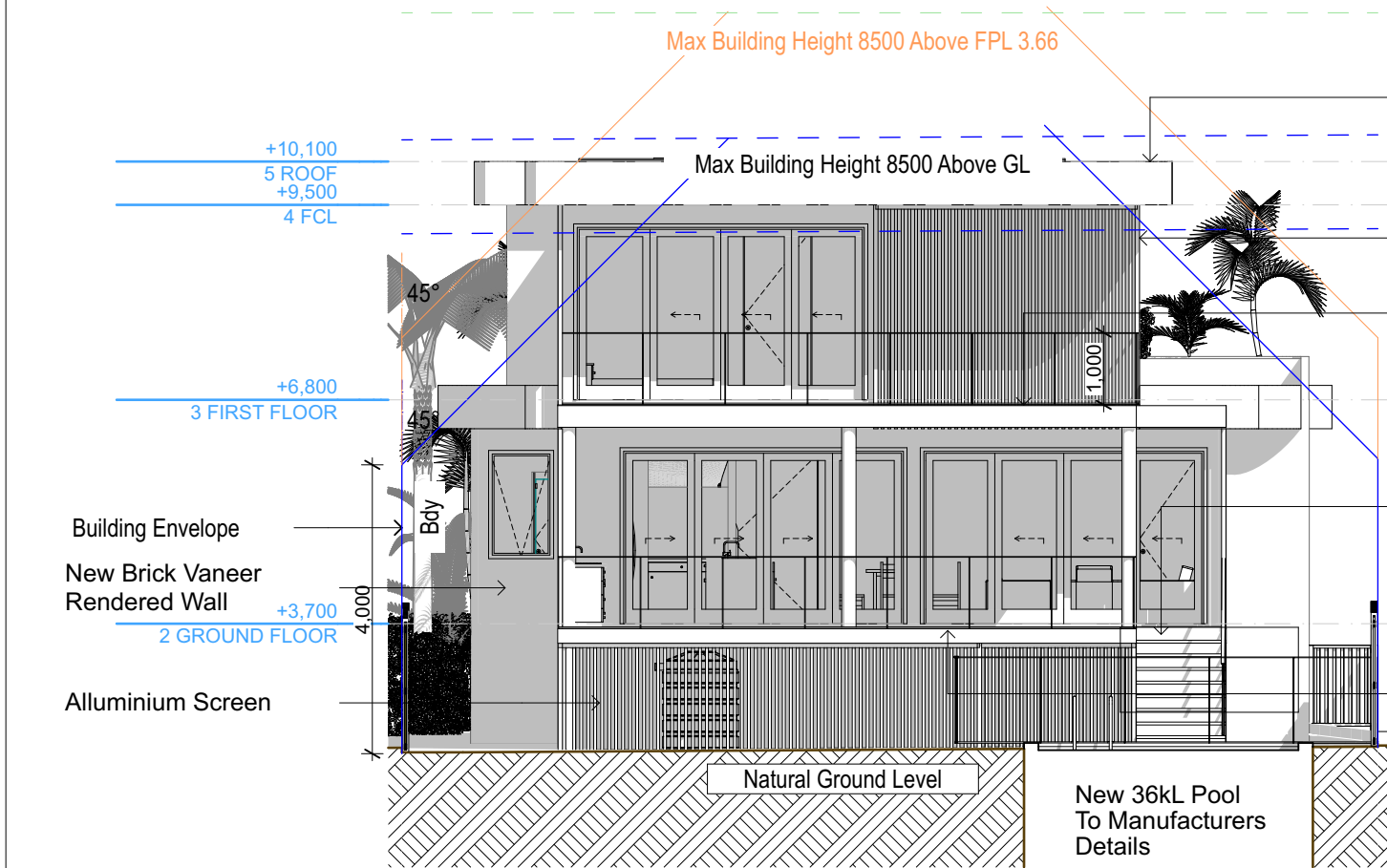
E-02

East
1:100

E-01

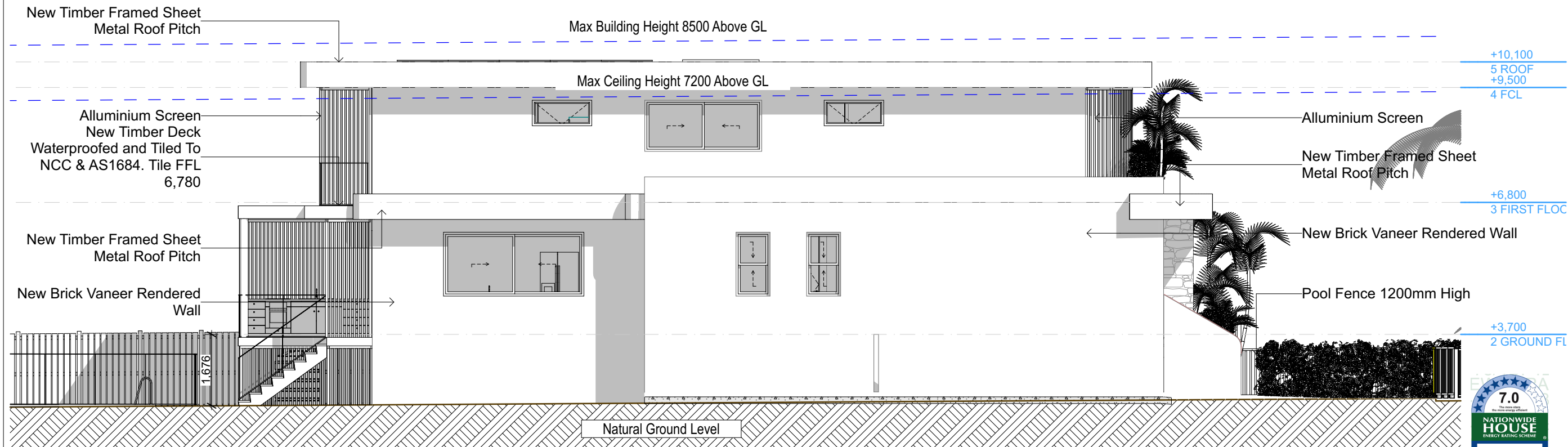
North
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



E-04

West
1:100



E-03

South
1:100

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m ²	Insulation
floor - concrete slab on ground, conventional slab.	44.9	none
floor - suspended floor above enclosed subfloor, concrete - suspended, frame: no frame.	186.86	fibreglass batts or roll
floor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - untreated softwood.	118.25	fibreglass batts or roll
floor - suspended floor above garage, AAC panel (75 mm); frame: timber - untreated softwood.	22.2	fibreglass batts or roll
garage floor - concrete slab on ground.	44.9	none
external wall: brick veneer; frame: timber - untreated softwood.	126.6	fibreglass batts or roll
external wall: AAC veneer; frame: timber - untreated softwood.	136.9	fibreglass batts or roll
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	55	fibreglass batts or roll
external garage wall: brick veneer; frame: timber - untreated softwood.	70	fibreglass batts or roll
internal wall: plasterboard; frame: timber - untreated softwood.	271	fibreglass batts or roll
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	255	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final is a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE: ELEVATIONS
ELEVATIONS 2

PROJECT NAME: **New Dwelling**

REVISION NO. DATE
- **05-02-2024**

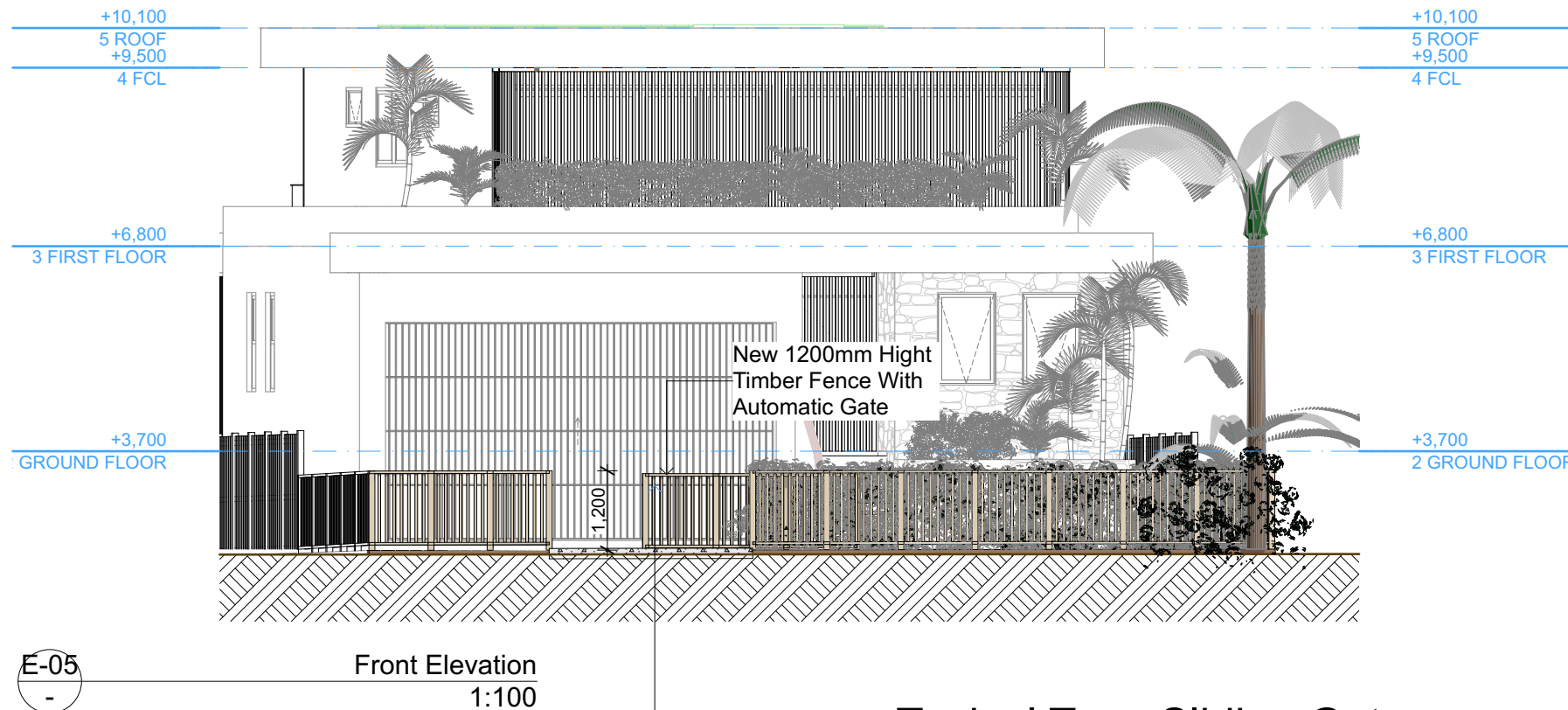
DRAWING NO. **DA4001**

Plot Date: 27/2/24
Sheet Size: A3

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Typical Type Sliding Gate System. Easy Gate or Similar

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend



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NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Core TC, TC BV Walls

Roof TC to have Basic Insulation

Insulation to External TC BV Walls Basic

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number 1737451S

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

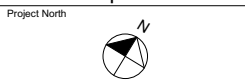
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP01220OW
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE : ELEVATIONS
ELEVATION FRONT FENCE

PROJECT NAME :
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA4002

Plot Date: 27/2/24
Sheet Size: A3



MODEL: E-8 DC SLIDING GATE Motor Specification	
Power Supply	AC 220-240V, 50Hz, Single Phase
Operating Voltage	DC 24V for Normal Speed DC 12V for Cushioning Speed
Motor Type	Oil Bath Gear Motor
Motor Rotation Speed	3000 rpm
Operating Ambient	-20°C to 80°C
Temperature	150 Watts
Power Absorb	600kg Force Adjustable
Maximum Gate Weight	15 Meter / min
Gate Speed	Electronic Counter Technology
Safety Clutch	Auto Reverse
Protection Class	IP24
Remote Control	2-Channel , 330 MHz UHF
Manual Override	Special Release Key for Power Failure



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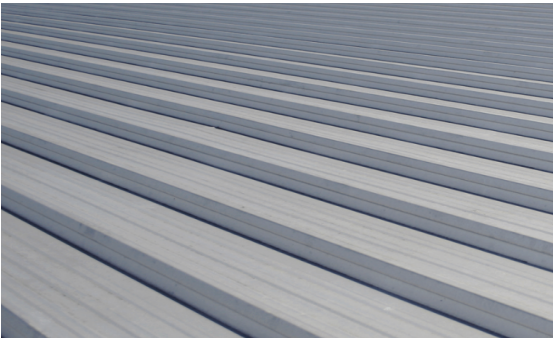
DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Denotes Vertical Alloy Handrail Typical.
Owner To Confirm Colour & Type



Denotes Alloy Doors Typical.
Owner To Confirm Colour & Type



Denotes Alloy Roof Typical.
Owner To Confirm Colour & Type



Denotes Garage Door Typical.
Owner To Confirm Colour & Type



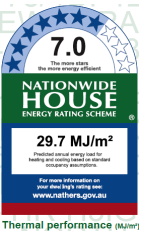
Denotes Rendered Wall Typical.
Owner To Confirm Colour & Type



Concrete and Tiled Deck. Owner
To Confirm Colour & Type



Denotes Screens and House
Battens, Typical. Owner To
Confirm Colour & Type



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Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 8187 Parramatta NSW 2150 0800 1000 1000

Fax: (02) 9665-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au

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BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA



ACCREDITED

BUILDING DESIGNER

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NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage

Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Core TC, TC BV Walls

Roof TC to have Basic Insulation

Insulation to External TC BV Walls Basic

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number 1737451S

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ

Plot Date: 27/2/24

Project NO.: RP0122DOW

Project Status DA Final a DRAFT

Client

David Dowell

Site:

40 Riverview Parade North Manly

DRAWING TITLE

SHADOW PLANS

MATERIAL & COLOUR

SAMPLE BOARD

PROJECT NAME :

New Dwelling

REVISION NO.

DATE

-

05-02-2024

DRAWING NO.

DA5000

Plot Date:

27/2/24

Sheet Size: A3

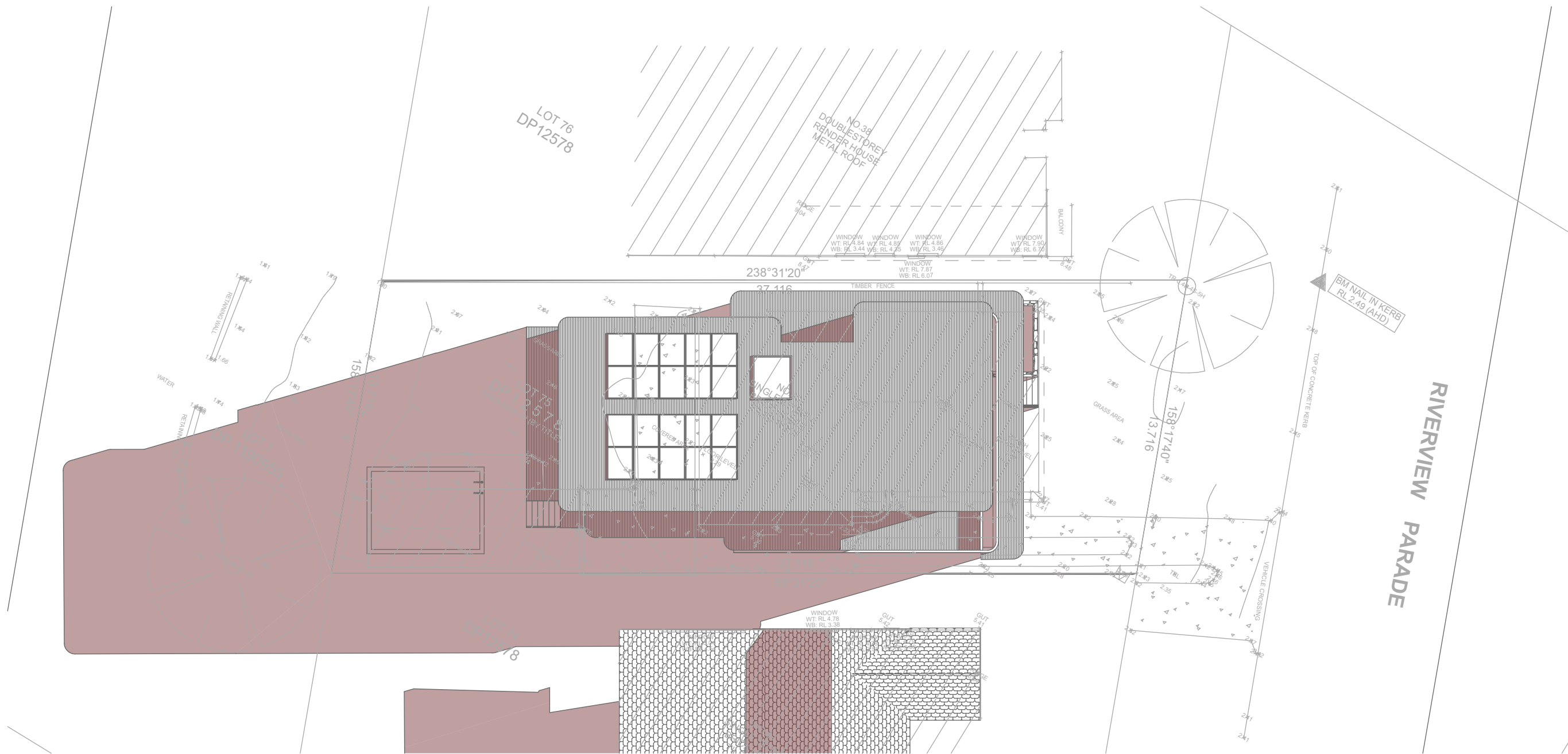
27/2/24

DA5000

DA5000

DA5000

Denotes Proposed Shadow



01
-
Shadow 21-June 9am
1:200

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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9605-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au

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Lot 75 D.P.12578
Measurements Prior to Commencement
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all measurements prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

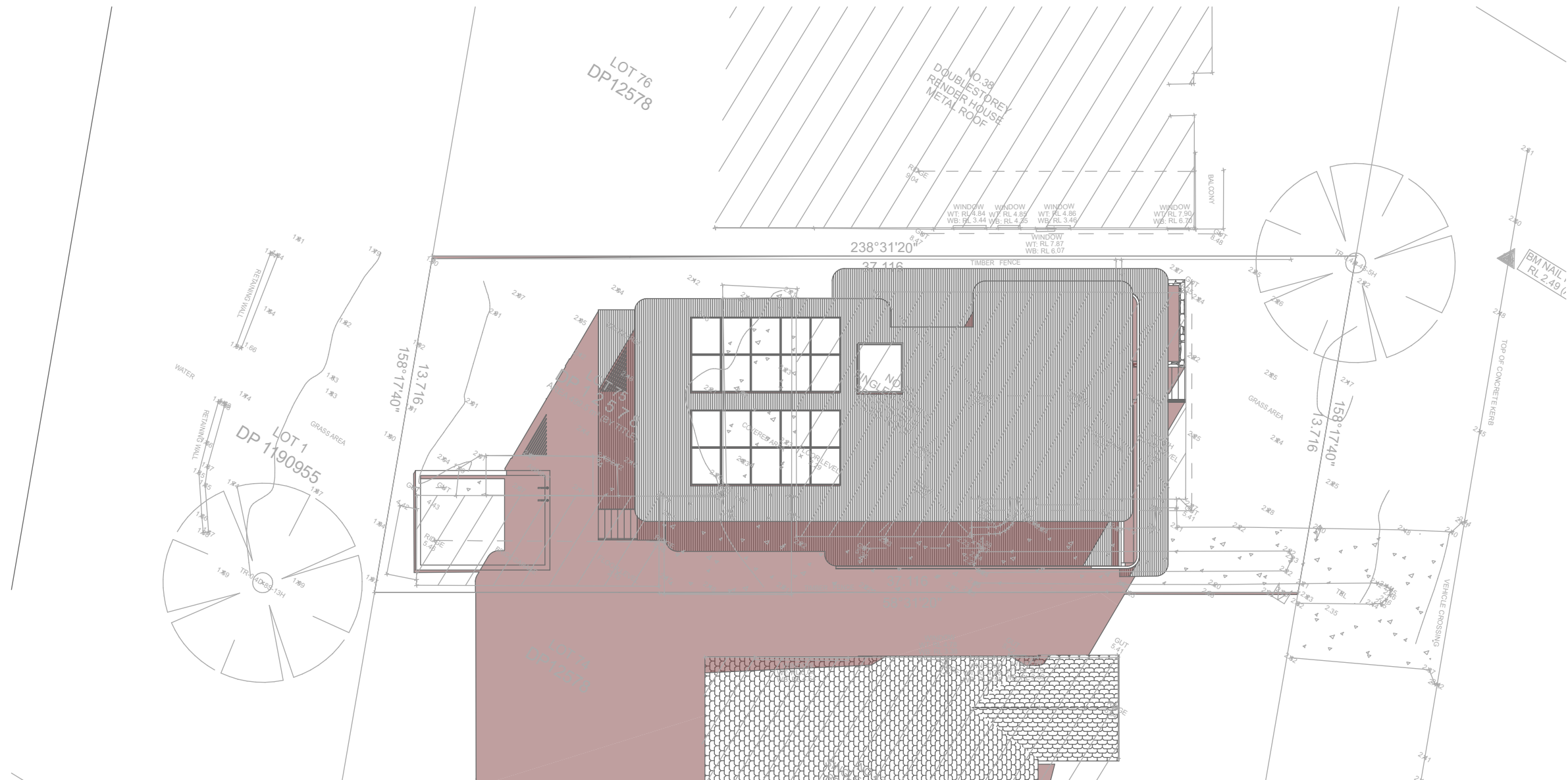
GBJ
27/2/24
RP0122DOW
DA Finals a DRAFT

David Dowell
40 Riverview Parade North
Manly

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
9am
PROJECT NAME : New Dwelling

REVISION NO.
-
DATE:
05-02-2024
DRAWING NO.
DA5001

Denotes Proposed Shadow



02
-

Shadow 21-June 12pm
1:200

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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9695-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au

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Lot 75 D.P.12578
Measurements Prior to Commencement
Builder to check and confirm all measurements prior to commencement of any works. Immediately Report any Discrepancies to Rapid Plans



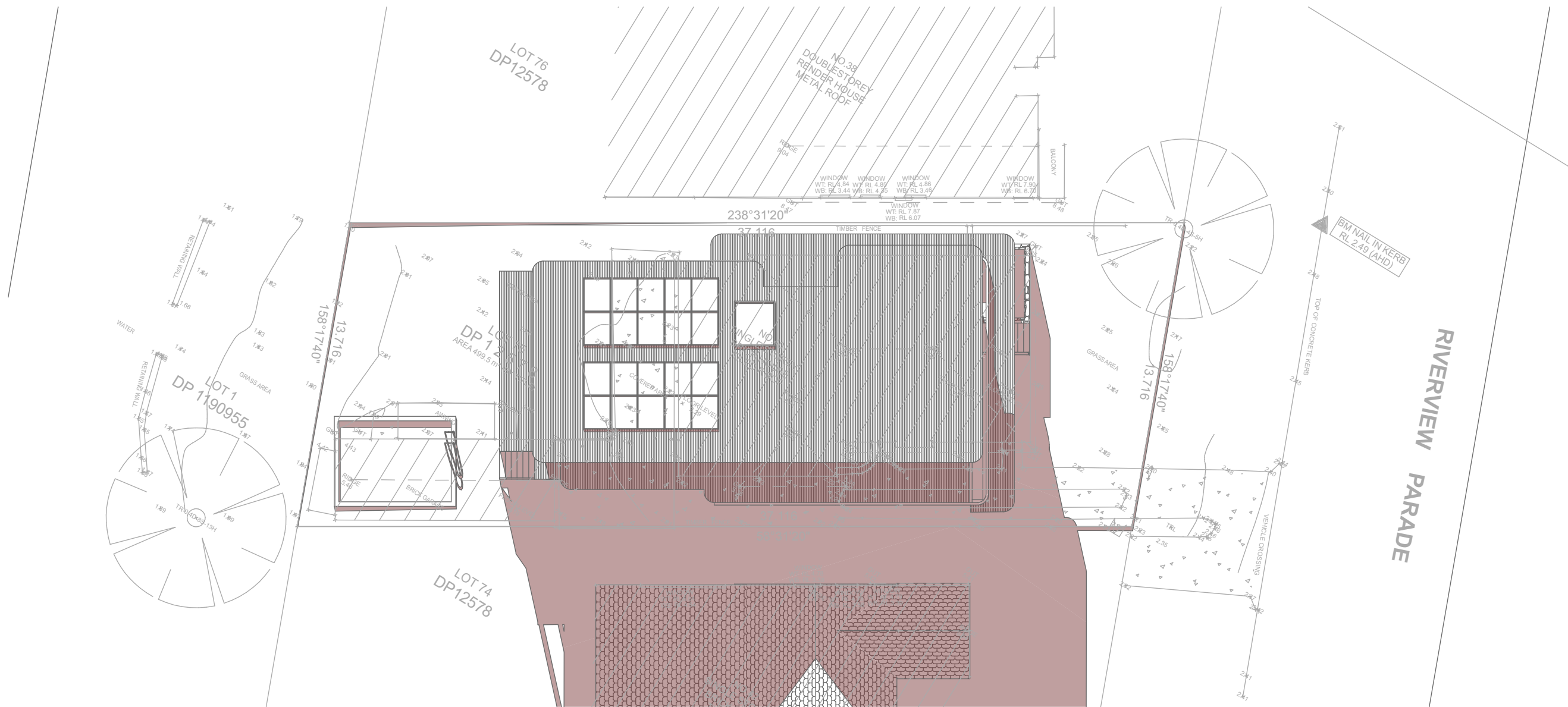
Checked
Plot Date: 27/2/24
Project NO: RP0122DOW
Project Status: DA Finals a DRAFT
Client: David Dowell
Site: 40 Riverview Parade North Manly
Sheet Size: A3

GBJ
27/2/24
RP0122DOW
DA Finals a DRAFT

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 12pm
PROJECT NAME : New Dwelling

REVISION NO.
-
DATE: 05-02-2024
DRAWING NO. DA5002

Denotes Proposed Shadow



07
-
Shadow 21- June 3pm
1:200

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www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9695-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au

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Lot 75 D.P.12578
Measurements Prior to Commencement of any works.
Builder to check and confirm all measurements prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans



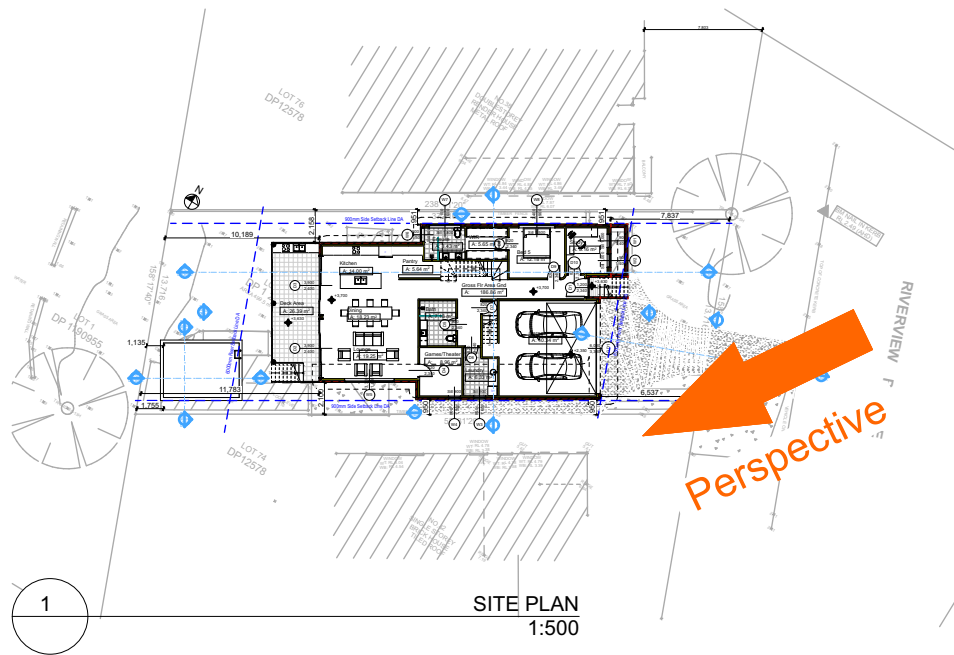
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

GBJ
27/2/24
RP0122DOW
DA Finals a DRAFT

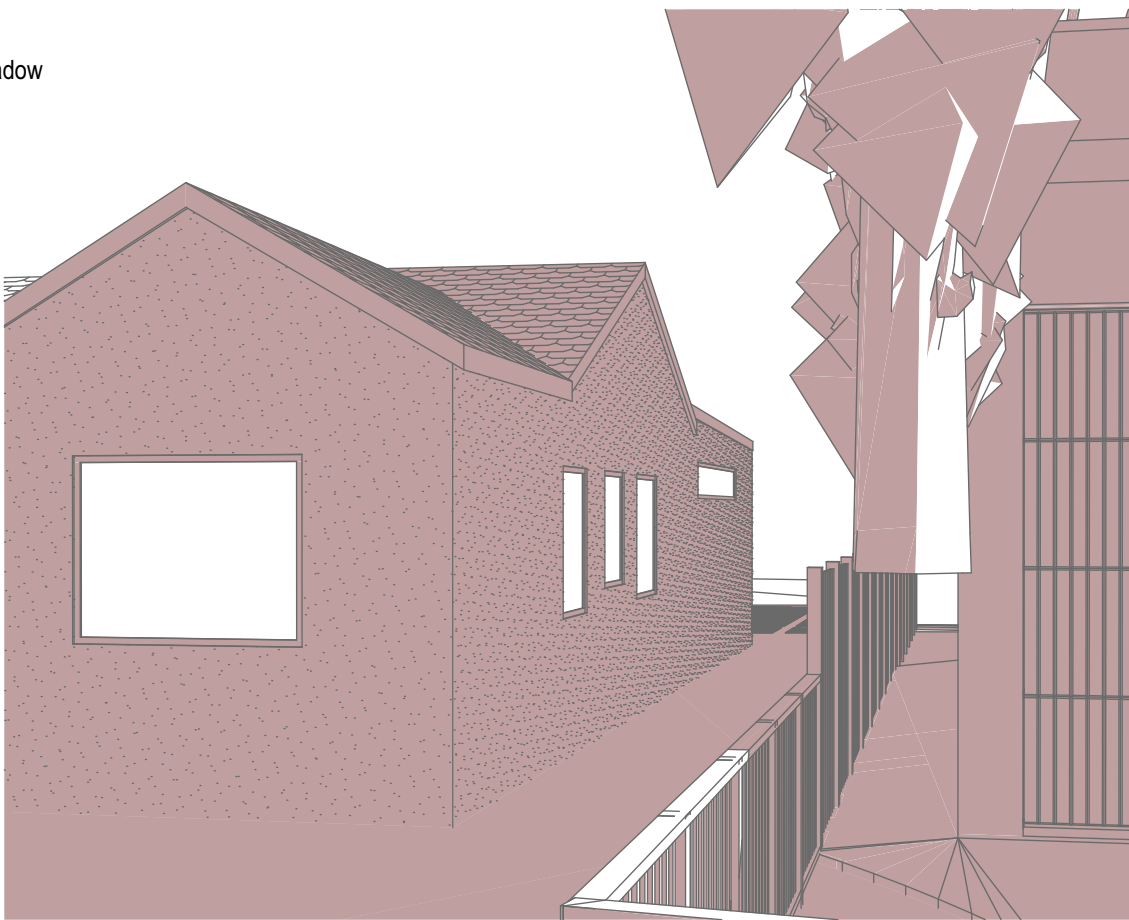
David Dowell
40 Riverview Parade North
Manly

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
3pm
PROJECT NAME : New Dwelling

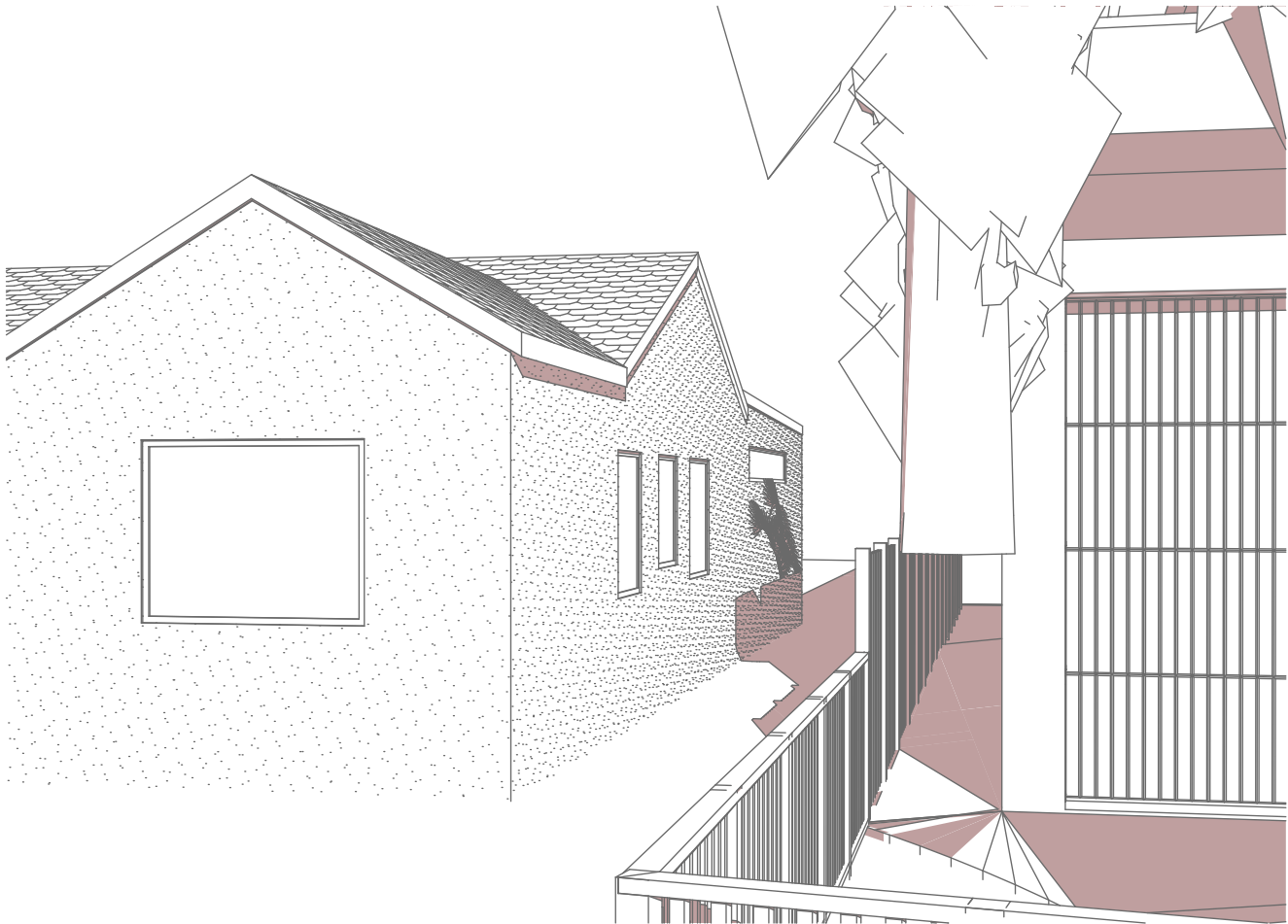
REVISION NO.
-
DATE:
05-02-2024
DRAWING NO.
DA5003



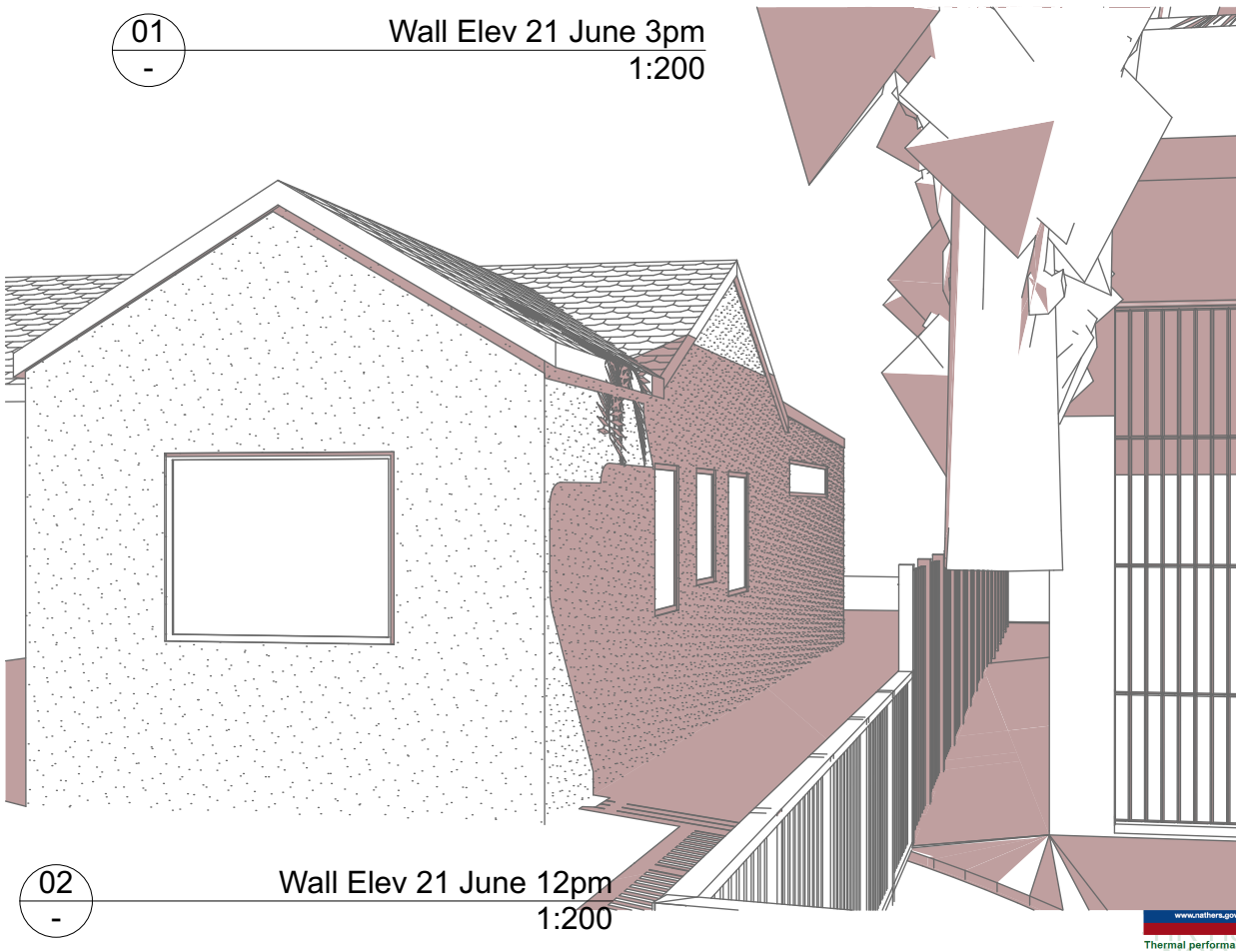
Denotes Proposed Shadow



01 - Wall Elev 21 June 3pm 1:200



03 - Wall Elev 21 June 9am 1:200



02 - Wall Elev 21 June 12pm 1:200

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Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP012220W
Project Status DA Final a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

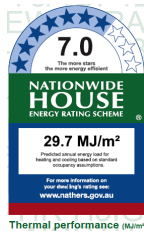
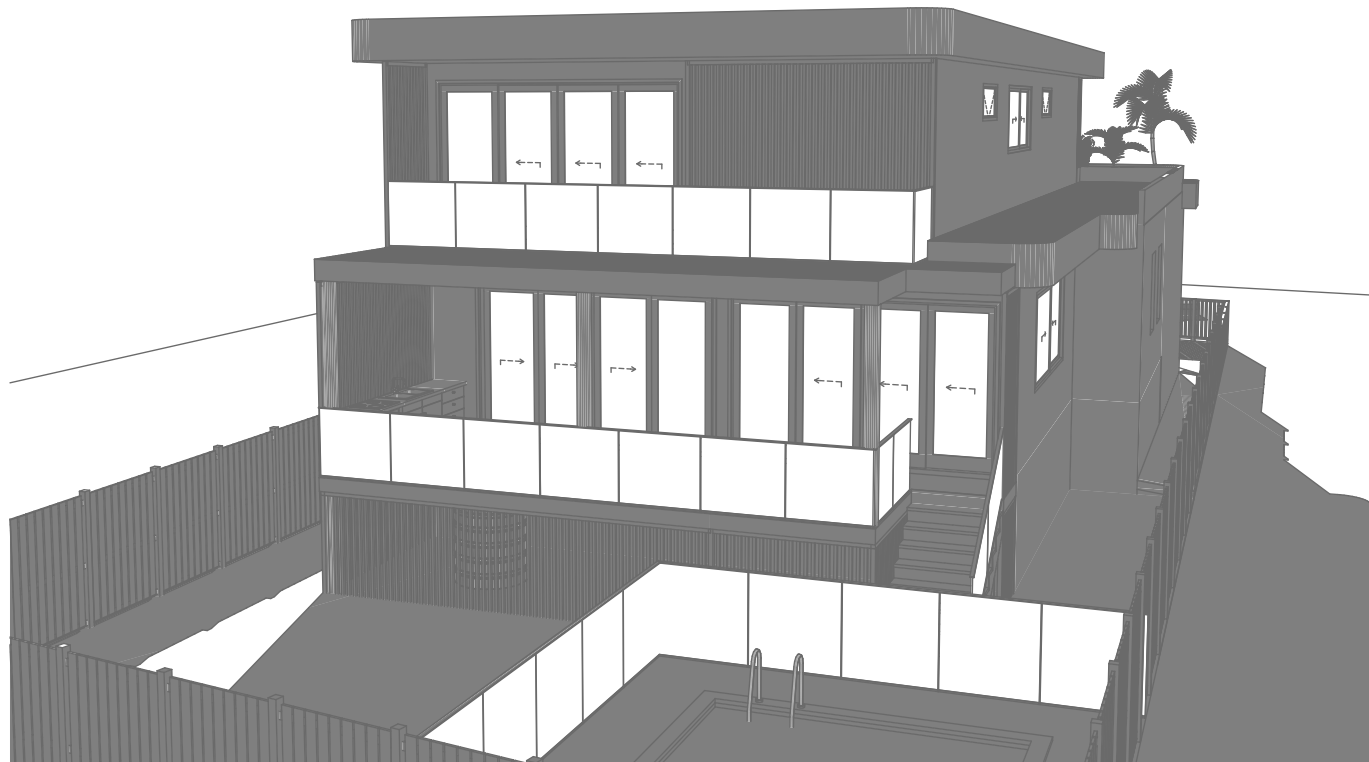
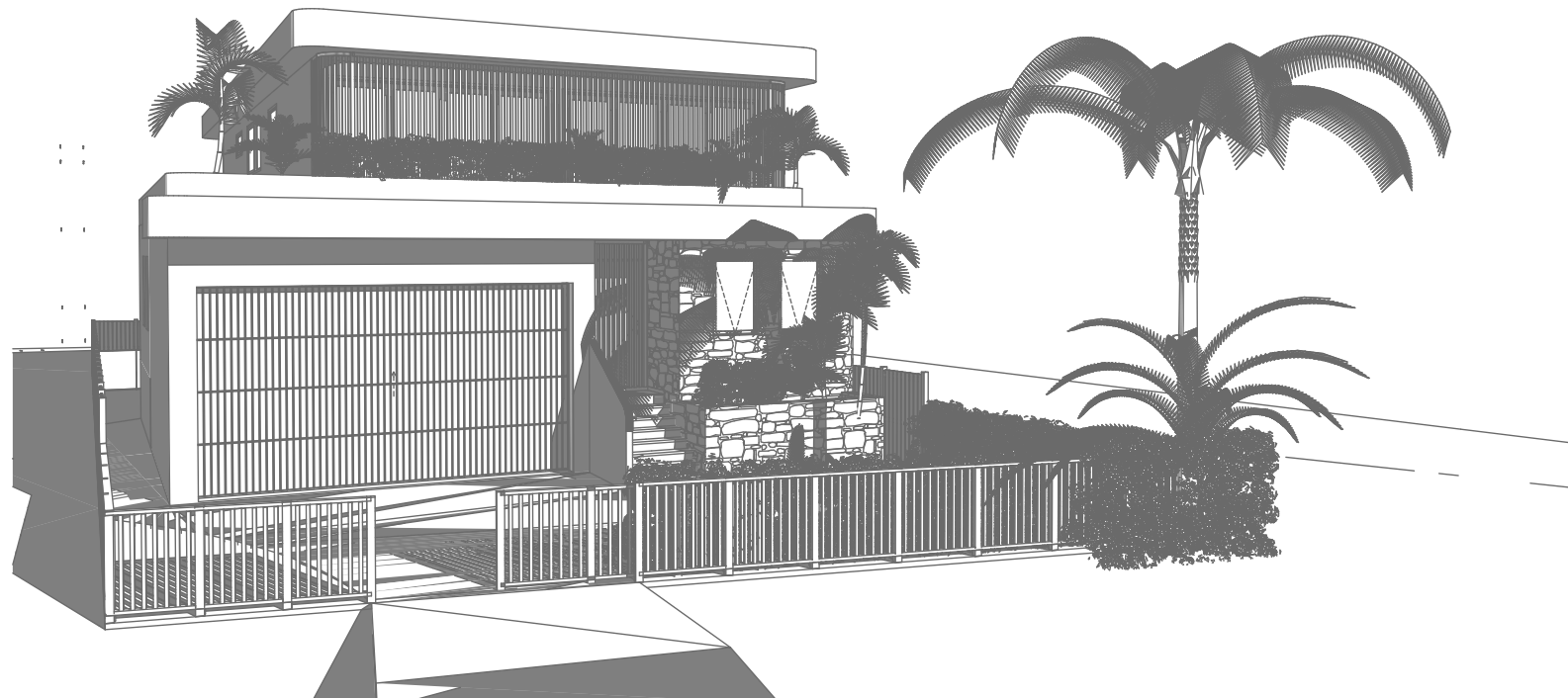
DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA5004

Plot Date: 27/2/24
Sheet Size: A3



Thermal performance (MJ/m²)

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Tel: (02) 9655-8888 Mobile: 0414-845-024
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NOTES

40 Riverview Parade North Manly is zoned R2

40 Riverview Parade North Manly is not considered a heritage place. Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Core: TC, TC BV Walls
Roof: TF to have Basic Insulation
Insulation to External TC BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2845
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number 1737451S

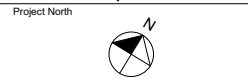
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	%	Yes
Maximum cut into gnd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RP0122DOW
Project Status DA Final is a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA5005

Plot Date: 27/2/24
Sheet Size: A3

Plot Date: 27/2/24
Sheet Size: A3

Single Dwelling

Certificate number: 1737451S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 26 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Dowell
Street address	40 RIVERVIEW Parade NORTH MANLY 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP12578
Lot no.	75
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	5
Site details	
Site area (m²)	500
Roof area (m²)	254
Conditioned floor area (m²)	236.0
Unconditioned floor area (m²)	14.4
Total area of garden and lawn (m²)	180
Roof area of the existing dwelling (m²)	0

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 170 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) • a tap that is located within 10 metres of the swimming pool in the development		✔	✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 36 kilolitres.	✔	✔	
The swimming pool must be outdoors.	✔	✔	

Project summary		
Project name	Dowell	
Street address	40 RIVERVIEW Parade NORTH MANLY 2100	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP12578	
Lot no.	75	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 93	Target 72
Materials	✔ -100	Target n/a

Certificate Prepared by	
Name / Company Name:	RAPID PLANS PTY LTD
ABN (if applicable):	43150064592

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	44.9	none
floor - suspended floor above enclosed subfloor, concrete - suspended, frame: no frame.	186.86	fibreglass batts or roll
floor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - untreated softwood.	118.25	fibreglass batts or roll
floor - suspended floor above garage, AAC panel (75 mm); frame: timber - untreated softwood.	22.2	fibreglass batts or roll
garage floor - concrete slab on ground.	44.9	none
external wall: brick veneer; frame: timber - untreated softwood.	126.6	fibreglass batts or roll
external wall: AAC veneer; frame: timber - untreated softwood.	136.9	fibreglass batts or roll
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	55	fibreglass batts or roll
external garage wall: brick veneer; frame: timber - untreated softwood.	70	fibreglass batts or roll
internal wall: plasterboard; frame: timber - untreated softwood.	271	fibreglass batts or roll
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	255	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✔	✔	✔

Frames	Maximum area - m2
aluminium	75.2
timber	0
uPVC	0
steel	0
composite	0

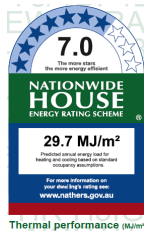
Glazing	Maximum area - m2
single	0
double	75.2
triple	0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar with a performance of 26 to 30 STCs or better.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s) and/or in the development for natural lighting.			
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (electric boosted)			
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 4 stars.			
The applicant must install a timer for the swimming pool pump in the development.			
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.			
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north east	✔	✔	
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.	✔		

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Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



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bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
40 Riverview Parade North Manly is zoned R2
40 Riverview Parade North Manly is not considered a heritage
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Core TC, TC, BV Walls
Roof TF to have Basic Insulation
Insulation to External TC, BV Walls Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2019:2017
Waterproofing to BCA and AS 3740
New Light Fixtures to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 1737451S
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	499.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45 Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	%	Yes
Maximum cut into grd (m)	2.1m	Yes
Maximum depth of fill (m)	NA	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/2/24
Project NO.: RPS21220DW
Project Status DA Finalis a DRAFT

Client David Dowell

Site: 40 Riverview Parade North Manly

DRAWING TITLE :
**SHADOW PLANS
BASIX**

PROJECT NAME :
New Dwelling

REVISION NO. DATE
- 05-02-2024

DRAWING NO.
DA5006

Plot Date: 27/2/24
Sheet Size: A3

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